

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: 5 Whitlam Court, Lewisham

**PROPOSED DEVELOPMENT:
DWELLING & CHANGE OF USE - DWELLING TO
SECONDARY DWELLING**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 28th April 2025**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Monday 28th April 2025**.

APPLICANT: Marcus Walters Building Designers

APPLICATION NO: DA 2025 / 52 1

DATE: 04 April 2025

Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use:
	Development:
	<i>Large or complex proposals should be described in a letter or planning report.</i>

Design and construction cost of proposal:	\$
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Is all, or some the work already constructed:	No: <input type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address:
	Suburb: Postcode:
	Certificate of Title(s) Volume: Folio:

Current Use of Site
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Current Owner/s:	Name(s).....
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Is the Property on the Tasmanian Heritage Register?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>

If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form
<https://www.sorell.tas.gov.au/services/engineering/>



Sorell Council
 Development Application: 5.2025.52.1 -
 Development Application - 5 Whitlam Court,
 Lewisham P1.pdf
 Plans Reference:P1
 Date Received:4/03/2025

Part B continued: Please note that Part B of this form is publicly exhibited

Declarations and acknowledgements

- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.
- I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council’s representatives to enter the land at any time during normal business hours.
- I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.
- I/we declare that, in accordance with s52(1) of the *Land Use Planning and Approvals Act 1993*, that I have notified the owner(s) of the intention to make this application.
- I/we declare that the information in this application is true and correct.

Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council’s Privacy Policy available on the Council website.

- I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

- Where the General Manager’s consent is also required under s.14 of the *Urban Drainage Act 2013*, by making this application I/we also apply for that consent.

Applicant Signature:	Signature: <u>MD Walters</u> Date:
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Crown or General Manager Land Owner Consent

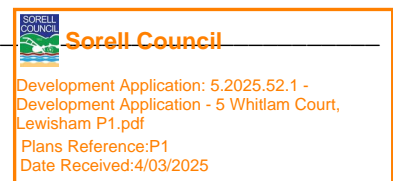
If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the *Land Use Planning and Approvals Act 1993*).

Please note:

- If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au
- If the application involves Crown land you will also need a letter of consent.
- Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.

I _____ being responsible for the administration of land at _____

declare that I have given permission for the making of this application for _____



Signature of General Manager, Minister or Delegate:	Signature: Date:
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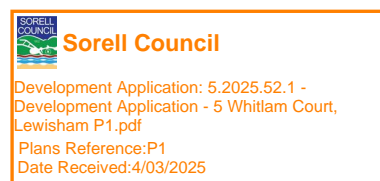
Marcus Walters BArch
Building Designer
(CBOS licence pending)

Ph: 0406 745 368
MWaltersBDesigner@gmail.com
ABN 91130586770

28 February 2025

Planning Authority

Sorell Council
PO Box 126
Sorell TAS 7172



RE: Planning Application Submission for Proposed Dwelling & existing Secondary Dwelling at 5 Whitlam Court Lewisham, 7173.

Please find attached a planning permit application form, certificate of title, planning drawing set, and wastewater report for the above project. The site is located within a Low Density Residential planning zone and has code overlays of Bushfire-prone areas & Airport obstacle limitation Area, as well as general overlays of Southern Beaches On-site Waste Water and Stormwater Management Specific Area Plan & Dispersive Soils Specific Area Plan.

The owners have previously gained approval (2019) and constructed a shed with part of it a class 1A dwelling (single bedroom) at the rear of the site with the longer-term plan to construct a main dwelling in the middle of the site.

Due to the site constraints of the existing (and proposed upgraded) waste water treatment system irrigation area the application is seeking discretionary approval for a reduced side setback for the proposal.

The north setback is less than the minimum of 5m required by A2 in 10.4.3, therefore please find below responses that addresses the criteria contained in P2;

- a) The site is the same as all other surrounding sites/lots that are on a consistent and relatively gentle slope with a westerly aspect. No lot in the immediate area is dominant due to the topography.
- b) The size, shape, and orientation of the site is similar to adjoining and nearby lots resulting in similar building footprints.
- c) The proposed dwelling setbacks are consistent with other dwelling and outbuildings on adjoining and nearby lots. The proposed dwelling has front setback is 23.3m, north side setback of 2.12m – 3.56m for dwelling walls and 2.50m – 1.17m for attached decks, rear setback 25.36m (existing shed 7.4m), and south side setback of 8.09m for dwelling wall and 7.29m for attached carport.

Below are the setbacks for dwellings on adjoining and nearby lots;

7 Whitlam Ct

– Front 23.5m, north side 3.9m dwelling wall and 3.0m for attached deck, rear 30.4m (shed 20.8m), south side 7.1m (shed 1.6m)

3 Whitlam Ct

– Front 22.5m, north side 1.04m, rear 30.0m (shed 3.8m approx.), south side 10.1m approx. (shed 7.6m approx.)





1 Whitlam Ct

– Front 27.5m approx., north side 2.5m approx., rear 7.5m approx., south side 5.0m approx.

2 Whitlam Ct

– Front 11.5m approx., north side 3.0m approx., rear 26.0m approx., south side 15.0m approx.

4 Whitlam Ct

– Front 18.0m approx. (shed 4.5m approx.) , north side 2.0m approx., rear 9.5m approx., south side 15.5m approx. (shed 2.0m approx.)

6 Whitlam Ct

– Front 5.5m approx., north side 26.0m approx., rear 16.0m approx., south side 5.0m approx.

Image of surrounding lots on Whitlam Court



- d) The proposed dwelling is single storey and has a maximum building height above natural ground of 6.26m that is similar to adjoining and nearby dwellings (3 Whitlam Ct 6.7m approx. and 7 Whitlam Ct 6.8m approx.). The existing shed is also single storey. The proposal therefore has building bulk and form that is consistent with dwellings/buildings in the immediate area.
- e) The proposed dwelling living spaces and decks are positioned on the north side of the site adjacent to neighbouring lot (7 Whitlam Ct) driveway, turning areas, and carport and therefore does not overlook private open space within 8.5m of the neighbouring lot boundary.






- f) The proposed dwelling side setback that is less than required in A2 is on north side so therefore does not overshadow the neighbouring lot dwelling (7 Whitlam Ct). The south side setback compiles with A2 with a setback of 8.09m for dwelling wall and 7.29m for attached carport greater than the minimum setback requirement reducing the impact on sunlight to neighbouring lot dwelling at 3 Whitlam Ct.
- g) The proposal is consistent with the character of development in the surrounding area with a single storey dwelling positioned in the middle of the site with a shed located at the rear of the site with both having either gable or skillion roofs.

Please contact me if you require any further information.

Regards,

Marcus Walters




Sorell Council
 Development Application: 5.2025.52.1 -
 Development Application - 5 Whittam Court,
 Lewisham P1.pdf
 Plans Reference:P1
 Date Received:4/03/2025

Jade & Jordon Mayne
mwaltersbdesigner@gmail.com

13/10/2024

GEOTECH 24-138

ROCK SOLID GEOTECHNICS PTY LTD
 Peter Hofto
 163 Orielton Road
 Orielton
 TAS 7172
 0417 960 769
peter@rocksolidgeotechnics.com.au

Onsite Wastewater System Design – 5 Whittam Court, Lewisham

An onsite wastewater assessment was completed for this site in 2018. A wastewater system design was issued for a 3-bedroom residence. It is now proposed to construct a new, 3-bedroom residence in the centre of the block, and maintain the current living quarters in the shed/residence as a 1-bedroom ancillary dwelling. The current wastewater system will need to be updated to reflect the potential additional wastewater load.

The current onsite wastewater system (Figure 1, Plate 1) consists of;

- All residential wastewater is collected and treated in an 'Econocycle' Aerated Wastewater Treatment System (AWTS), sited on the northern side of the block.
- Effluent from the AWTS discharges to a Land Application Area (LAA) consisting of subsurface dripline irrigation under 200m² of lawn sited on the western portion of the site (Plate 2). The LAA has a side-slope boundary setback on the northern side of 3m, and a downslope, western boundary setback of 7.5m.

It is proposed to continue to use the current 'Econocycle' AWTS to treat the effluent from the ancillary dwelling, and to extend the current irrigation area to cope with the potential additional loads.

As defined in the original site assessment (GEOTECH 18-320 – ROCK SOLID GEOTECHNICS P/L), the site is classified as CLASS 5 (light CLAY) with an Indicative Permeability of 0.06-0.12m/day and a Design Irrigation Rate (DIR) of 3mm/day for secondary treated effluent.

The size of the area required for subsurface dripline irrigation is;

3-bedroom residence + 1-bedroom ancillary dwelling	7 persons capacity
Tank Water	120 litres/person/day = 840 litres per day TOTAL
Design Irrigation Rate (DIR)	3 mm/day
Irrigation Area required	840/3 = 280m ²

An additional 80m² of LAA will be required.

Plate 1 – LAA and 'Econocycle' AWTS – looking to the northeast from Whitlam Court.



Plate 2 – LAA subsurface dripline irrigation under lawn - looking downslope to the west.



EXTENSION OF THE CURRENT LAA

It is proposed to extend the current 200m² LAA to 280m².

This will be attained by reducing the boundary setback distances as follows;

- Side or northern boundary setback distance reduced to 1m.
- Lower-slope or western boundary setback distance reduced to 3.5.
- See amended site plan.

I recommend that Adam Hall (Van Diemen Wastewater Systems) completes this work.

COMPLIANCE WITH THE 2016 DIRECTOR'S GUIDELINES FOR ONSITE WASTEWATER

Compliance Table Directors Guidelines for OSWM		
Acceptable Solutions	Performance Criteria	Compliance achieved by
7. Standards for Wastewater Land Application Areas		
A1 Horizontal separation distance from a building to a LAA must comply with one of the following: a) be no less than 6m; b) be no less than: (i) 3m from an upslope boundary or level building; (ii) If primary treated effluent to be no less than 4m plus 1m for every degree of average gradient from a downslope building; (iii) If secondary treated effluent and subsurface application, no less than 2m plus 0.25m for every degree of average gradient from a downslope building.	P1 The LAA is located so that the risk of wastewater reducing the bearing capacity of a building's foundations is acceptably low.	Complies with A1 LAA > 3m from upslope residence.
A2 Horizontal separation distance from downslope surface water to a LAA must comply with (a) or (b) (a) be no less than 100m; or (b) be no less than the following: (i) if primary treated effluent 15m plus 7m for every degree of average gradient to downslope surface water; or (ii) if secondary treated effluent and subsurface application, 15m plus 2m for every degree of average gradient to downslope surface water.	P2 Horizontal separation distance from downslope surface water to a LAA must comply with all of the following: a) Setbacks must be consistent with AS/NZS 1547 Appendix R; b) A risk assessment in accordance with Appendix A of AS/NZS 1547 has been completed that demonstrates that the risk is acceptable.	Complies with A2 LAA >100m from downslope surface water.
A3 Horizontal separation distance from a property boundary to a LAA must comply with either of the following: (a) be no less than 40m from a property boundary; or (b) be no less than: (i) 1.5m from an upslope or level property boundary; &	P3 Horizontal separation distance from a property boundary to a LAA must comply with all of the following: (a) Setback must be consistent with AS/NZS 1547 Appendix R; and (b) A risk assessment in accordance with Appendix A of AS/NZS 1547 has been completed that demonstrates that the risk is	Complies with P3 LAA 1m from side-slope property boundary. LAA 4m from downslope property boundary - 3° slope.

(ii) If primary treated effluent 2m for every degree of average gradient from a downslope property boundary; or (iii) If secondary treated effluent and subsurface application, 1.5m plus 1m for every degree of average gradient from a downslope property boundary.	acceptable.	See risk Assessment.
A4 Horizontal separation distance from a downslope bore, well or similar water supply to a LAA must be no less than 50m and not be within the zone of influence of the bore whether up or down gradient.	P4 Horizontal separation distance from a downslope bore, well or similar water supply to a LAA must comply with all of the following: (a) Setback must be consistent with AS/NZS 1547 Appendix R; and (b) A risk assessment completed in accordance with Appendix A of AS/NZS 1547 demonstrates that the risk is acceptable.	Complies with A4 No known potable bores in the immediate vicinity.
A5 Vertical separation distance between groundwater & a LAA must be no less than: (a) 1.5m if primary treated effluent; or (b) 0.6m if secondary treated effluent	P5 Vertical separation distance between groundwater and a LAA must comply with the following: (a) Setback must be consistent with AS/NZS 1547 Appendix R; and (b) A risk assessment completed in accordance with Appendix A of AS/NZS 1547 that demonstrates that the risk is acceptable.	Complies with A5 Groundwater not encountered.
A6 Vertical separation distance between a limiting layer & a LAA must be no less than: (a) 1.5m if primary treated effluent; or (b) 0.5m if secondary treated effluent.	P6 Vertical setback must be consistent with AS/NZS1547 Appendix R.	Complies with A6 Limiting layer >0.5m.

RISK ASSESSMENT

Each identified environmental aspect is subject to a qualitative risk analysis based on likelihood and consequences of environmental impact. The risk analysis matrix is as follows:

LIKELIHOOD	CONSEQUENCES				
	Catastrophic 1	Major 2	Moderate 3	Minor 4	Insignificant 5
A (almost certain)	Extreme	Extreme	High	High	Medium
B (likely)	Extreme	Extreme	High	High	Medium
C (possible)	Extreme	Extreme	High	Medium	Low
D (unlikely)	Extreme	High	Medium	Low	Low
E (rare)	High	Medium	Low	Low	Low

Criteria for the five categories of likelihood:

Almost certain: An environmental health impact is expected to occur in most circumstances.

Likely: An environmental health impact will probably occur in most circumstances

Possible: An environmental health impact could occur.

Unlikely: An environmental health impact could occur but is not expected.

Rare: An environmental health impact would occur only in exceptional circumstances.

Criteria for determining consequence to environmental health from an on-site wastewater management issue:

Catastrophic: Widespread, irreparable environmental damage; loss of human life or long-term human health effects; serious litigation; over \$1 million to manage consequences.

Major: Widespread, medium to long term impact; moderate human health impacts requiring medical treatment; major breach of legal requirements (prosecution); \$50,000 to \$1 million to manage consequences.

Moderate: Localised medium to long term impact; minor and reversible human health impacts treatable with first aid; moderate breach of legal requirements with fine (EIN/prosecution); \$5,000 to \$50,000 to manage consequences.

Minor: Localised short to medium term impact; no injury to people; minor breach of legal requirements (eg. legal notice, EIN); \$1000 to \$5,000 to manage consequences.

Insignificant: Limited impact to a local area but no long-term effects; concern or complaints from neighbours; no injury to people; minor technical nonconformity but no legal nonconformity; less than \$1000 cost to manage consequences.

Conducting a risk analysis results in the allocating of a risk level of *extreme, high, moderate* or *low* for each environmental aspect. Environmental health aspects with an *extreme* or *high* risk are considered to be *significant*, that is, they have or can have a significant environmental impact.

Defined risk is - **Boundary setback distances**.

The defined site constraint items of specific concern (as defined in Table R1) FOR THE ABOVE DEFINED RISKS are:

- A, D, J

A Microbial quality of effluent.

Risk is groundwater or surface pollution contamination.

- Effluent to be advanced secondary treated in an AWTS.
- Groundwater not encountered. Likelihood groundwater pollution unlikely.
- Possibility of surface pollution – Unlikely. Consequence - Minor.
- **Low risk level.**

D

Slope.

Risk is off-site export of effluent.

- 3-degree slope.
- Effluent to be advanced secondary treated in an AWTS.
- Risk of wastewater not being retained on-site – Unlikely. Consequence - Minor.
- Low risk level.

J

Application method.

- Effluent to be advanced secondary treated in an AWTS.
- Low risk level.

The risk assessment identifies the risks for wastewater application on this site, namely the requirement for relaxation of the recommended boundary setback distances for a LAA. There is a low risk of treated wastewater effluent exiting the site.

LAND APPLICATION AREA

The additional Land Application Area should be constructed as per the following specifications:

- Installation of an additional 80m² of subsurface dripline irrigation.
- A new 25mm diameter, lilac LDPE manifold will be installed down the northern side of the LAA – 1m off the northern property boundary.
- The current dripline irrigation will be extended to the new manifold.
- An additional 3.3m of LAA will be installed downslope from the current LAA
- The Flush Valve will need to be relocated to the downslope side of the modified LAA.

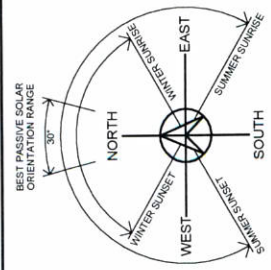
A plan of the proposed amended wastewater system is attached.

A new onsite wastewater Loading Certificate and appropriate Form 35 is appended.

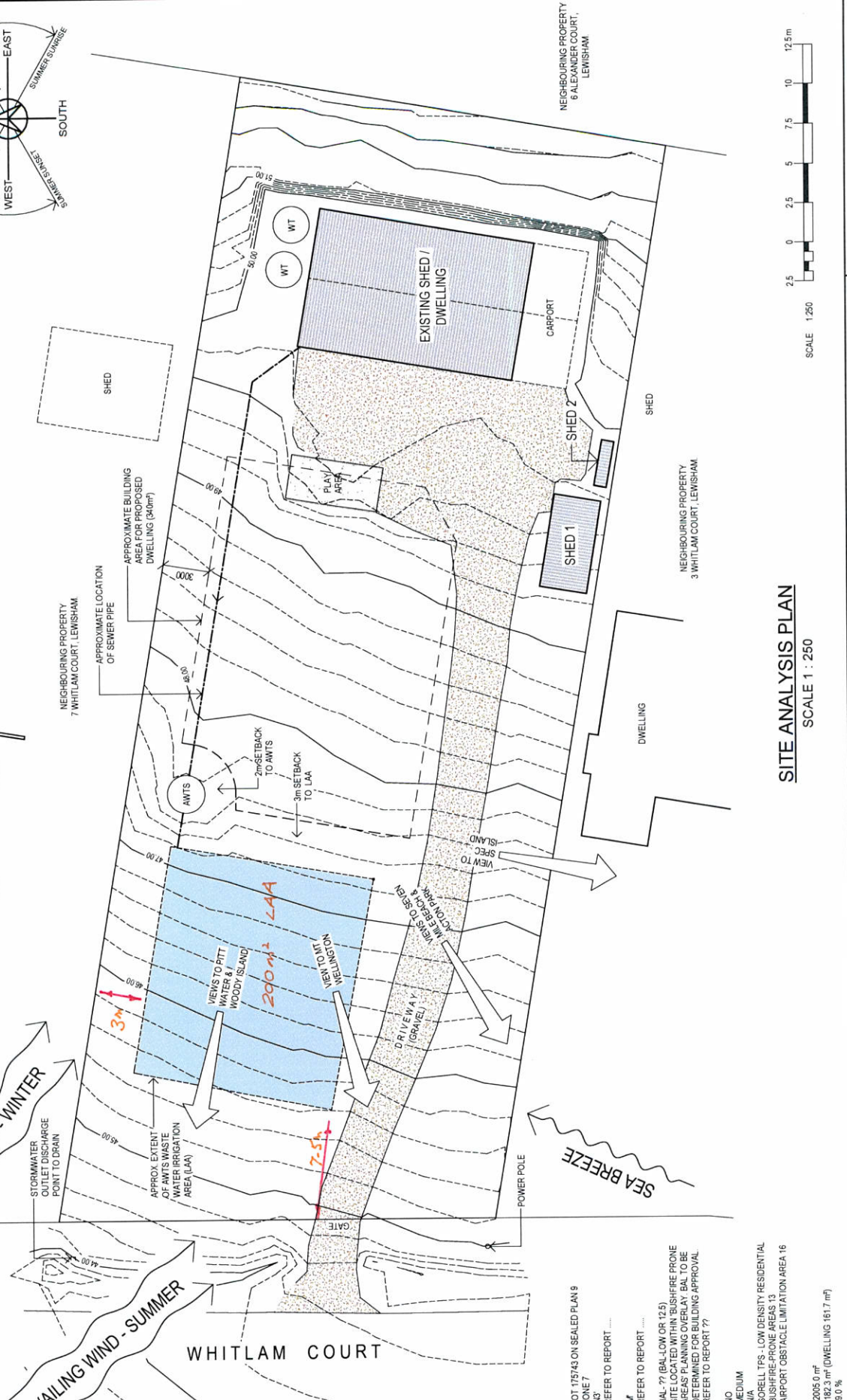


Peter Hofto

ROCK SOLID GEOTECHNICS P/L



- CONCEPT STAGE GENERAL NOTES:**
1. NOT FOR CONSTRUCTION OR PLANNING APPROVAL
 2. DESIGNS BASED ON THE PREPARED DESIGN BRIEF
 3. WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE
 4. SITE BOUNDARIES AND SETBACKS BASED ON LAND SURVEY PREPARED BY SURVEY PLUS
 5. ANY LAND IMAGES ARE APPROXIMATE SCALE AND ACCURACY AND ARE FOR CONTEXT ONLY



SITE ANALYSIS PLAN
SCALE 1 : 250



SITE DATA:

LAND TITLE REFERENCE : LOT 175743 ON SEALED PLAN 9
 CLIMATE ZONE : ZONE 7
 WIND CLASSIFICATION : 'N3'
 REFER TO REPORT :
 SOIL CLASSIFICATION : 'M'
 REFER TO REPORT :
 BAL RATING : BAL 2? (BAL LOW OR 12.5)
 SITE LOCATED WITHIN 'BUSHFIRE PRONE AREAS PLANNING OVERLAY BAL TO BE DETERMINED FOR BUILDING APPROVAL REFER TO REPORT ??'
 CORROSION ENVIRONMENT : NO
 OTHER HAZARDS : N/A
 PLANNING SCHEME & ZONE : SORELL TFS - LOW DENSITY RESIDENTIAL
 PLANNING OVERLAYS : BUSHFIRE-PRONE AREAS 13
 APPORT OBSTACLE LIMITATION AREA 16
 SITE AREAS : 2005.0 m²
 TOTAL FOOTPRINT : 182.3 m² (DWELLING 161.7 m²)
 SITE COVERAGE : 9.0 %

MARCUS WALTERS
 BUILDING DESIGNER
 Phone: 0408 745 388
 Email: mwalter@designer@gmail.com
 License No: 12689-pancbyg
 ADR : 91 181 869 776

REV	DATE	ISSUED TO	CLIENT	DESCRIPTION	DRAWING INDEX
0	23-09-2024	CLIENT	KADE & JORDAN MAYNE	FOR REVIEW	001 EXISTING SITE PLAN 002 EXISTING UNFINISHED FLOOR PLAN 003 EXISTING DWELLING ELEVATIONS 1 OF 2 004 EXISTING DWELLING ELEVATIONS 2 OF 2 005 EXISTING 3D ORTHO VIEWS SAC1 SITE ANALYSIS PLAN

DESIGNED	DRAWN	CHECKED	SCALE	As indicated @ A3
MW	MW	MW	MW	MW

DATE	ISSUE	REVIEW	Project Ref
23-09-2024	ISSUE	REVIEW	MAYNE

Drawing Title
SITE ANALYSIS PLAN
 Sheet No
SA01

NEIGHBOURING PROPERTY
7 WHITLAM COURT, LEWISHAM



SITE AND SOIL EVALUATION REPORT

<u>Soil Category:</u> (as stated in AS/NZS 1547-2000) 1,...2,...3,...4,...5,...6	Modified Emerson Test Required If Yes, Emerson Class No.	No
<u>Measured or Estimated Soil Permeability (m/d):</u>	0.06-0.12m/d	
Design Irrigation Rate (DIR)	3mm/day (Secondary Treated Effluent)	
<u>Geology:</u>	Jurassic dolerite.	
<u>Slope:</u>	6 degrees to the northeast	
<u>Drainage lines / water courses:</u>	Nil	
<u>Vegetation:</u>	Grass	
<u>Site History: (land use)</u>	Residential block	
<u>Aspect:</u>	West/Northwest	
<u>Pre-dominant wind direction:</u>	Northwest to southwest	
<u>Site Stability:</u> Will on-site wastewater disposal affect site stability?	No	
<u>Is geological advice required?</u>	No	
<u>Drainage/Groundwater:</u>	Not encountered	
<u>Depth to seasonal groundwater (m):</u>	Not Encountered	
<u>Are surface or sub-surface drains required upslope of the land application area</u>	No	
<u>Water Supply:</u>		
<input type="checkbox"/> Water Tanks		
<u>Date of Site Evaluation:</u>	October 2024	
<u>Weather Conditions:</u>	Fine	

ROCK SOLID GEOTECHNICS PTY LTD

Peter Hofto

163 Orierton Rd

Orierton

TAS 7172

0417960769

peter@rocksolidgeotechnics.com.au

Jade & Jordon Mayne

mwaltersbdesigner@gmail.com

13/10/2024

Loading Certificate for Onsite Wastewater System - 5 Whitlam Court, Lewisham

- System Capacity: (medium/long term)
 - 3-bedroom residence, 1-bedroom ancillary dwelling, 7 persons total 840 litres/day
- Design Criteria Summary:
 - Secondary Treated Effluent Aerated Wastewater Treatment System (AWTS)
 - Soil Category Class 5 light CLAY
 - Land Application System 280m² of subsurface irrigation
- Reserve Area:
 - Suitable reserve area if required in the future.
- Variation from design flows etc:
 - The system should successfully assimilate additional peak loadings which may result from occasional social gatherings provided that this does not exceed use by more than 10 persons in a 24-hour period, Visitors should be advised of the requirement to minimise time spent in showers, not unduly running taps, and other common-sense water conservation measures.
- Consequences of overloading the system:
 - Long term use by more than 7 residents or equivalent may result in overloading of the system, surfacing of effluent, public and environmental health nuisances, pollution of surface water etc.
- Consequences of under-loading the system:
 - The system will work effectively with as few as 1-person in the residence, however long periods of zero occupancy may result in poor functioning of the system when normal use recommences. If the building is left unoccupied for more than one month, it is advised to inform the maintenance contractor.
- Consequences of lack of operation, maintenance and monitoring attention:
 - The AWTS must be maintained by a contracted maintenance provider.

Peter Hofto

Rock Solid Geotechnics Pty Ltd

CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94
Section 106
Section 129
Section 155

Form **35**

To: Owner name
 Address
 Suburb/postcode

Designer details:

Name: Category:
 Business name: Phone No:
 Business address:
 Fax No:
 Licence No: Email address:

Details of the proposed work:

Owner/Applicant Designer's project reference No.
Address: Lot No:

Type of work: Building work Plumbing work (X all applicable)

Description of work:

(new building / alteration / addition / repair / removal / re-erection water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)

Description of the Design Work (Scope, limitations or exclusions): (X all applicable certificates)

Certificate Type:	Certificate	Responsible Practitioner
<input type="checkbox"/>	Building design	Architect or Building Designer
<input type="checkbox"/>	Structural design	Engineer or Civil Designer
<input type="checkbox"/>	Fire Safety design	Fire Engineer
<input type="checkbox"/>	Civil design	Civil Engineer or Civil Designer
<input checked="" type="checkbox"/>	Hydraulic design	Building Services Designer
<input type="checkbox"/>	Fire service design	Building Services Designer
<input type="checkbox"/>	Electrical design	Building Services Designer
<input type="checkbox"/>	Mechanical design	Building Service Designer
	Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
<input type="checkbox"/>	Other (specify)	

Deemed-to-Satisfy: Performance Solution: (X the appropriate box)

Other details:

Design documents provided:

The following documents are provided with this Certificate –

Document description:

Drawing numbers:	Prepared by: ROCK SOLID GEOTECHNICS	Date: 13/10/2024
Schedules:	Prepared by:	Date:
Specifications:	Prepared by: ROCK SOLID GEOTECHNICS	Date: 13/10/2024
Computations:	Prepared by: ROCK SOLID GEOTECHNICS	Date: 13/10/2024
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by:	Date:

Standards, codes or guidelines relied on in design process:

AS 1547:2021 On-site domestic wastewater management
Director's Guidelines for Onsite Wastewater Management

Any other relevant documentation:

Attribution as designer:

I Peter Hofto – ROCK SOLID GEOTECHNICS P/L am responsible for the design of that part of the work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	<input type="text" value="Peter Hofto"/>	<input type="text" value="Peter Hofto"/>	<input type="text" value="13/10/2024"/>
Licence No:	<input type="text" value="CC6159I"/>		

Assessment of Certifiable Works: (TasWater)

Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.

If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.

TasWater must then be contacted to determine if the proposed works are Certifiable Works.


I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:

- The works will not increase the demand for water supplied by TasWater
- The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater's sewerage infrastructure
- The works will not require a new connection, or a modification to an existing connection, to be made to TasWater's infrastructure
- The works will not damage or interfere with TasWater's works
- The works will not adversely affect TasWater's operations
- The works are not within 2m of TasWater's infrastructure and are outside any TasWater easement
- I have checked the LISTMap to confirm the location of TasWater infrastructure
- If the property is connected to TasWater's water system, a water meter is in place, or has been applied for to TasWater.

Certification:

IPeter Hofto – ROCK SOLID GEOTECHNICS P/L.....
being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: The Guidelines for TasWater Certification of Certifiable Works Assessments are available at: www.taswater.com.au

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	Peter Hofto		13/10/2024



Sorell Council

Development Application: 5.2025.52.1 -
Response to Request For Information - 5
Whitlamm Court, Lewisham P2.pdf
Plans Reference: P2
Date Received: 28/03/2025



BUSHFIRE HAZARD ASSESSMENT REPORT

PROPOSED DWELLING
5 WHITLAM COURT,
LEWISHAM

Dated February 2025

Report by Samuel Walters BFP-130

Report Code: A24-8

**Bushfire
Tasmania**

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APPENDICES

Appendix A – Site Photographs
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Appendix C – Bushfire Hazard Management Plan

1. Report Summary

This report provides a Bushfire Hazard Management Plan (BHMP) and Bushfire Attack Level (BAL) assessment for a proposed class 1a dwelling at 5 Whitlam Court, Lewisham (C.T 175743/9).

Our findings conclude that the proposal is >50m from grassland bushfire prone vegetation and >100m from woodland bushfire prone vegetation. The site was assessed as BAL-Low in accordance with Australian Standard 3959 2018 (incorporating Amendments 1 & 2) and the Director's Determination – Bushfire Hazard Areas Version 1.2 2024 (Director's Determination).

Bushfire prone G. Grassland vegetation on the north western aspect and B. Woodland vegetation on the north eastern aspect pose the greatest threat to the development. Grassland is approximately 75m away from the western boundary of the subject property with woodland approximately 115-150m away from the northern boundary. Low threat managed urban vegetation exists on the eastern and southern aspects.

All land within 50m on the north western aspect and within 100m on all other aspects of the site complies with low fuel/threat vegetation consistent with Clause 2.2.3.2(d)(e)(f) in AS3959 2018. As such the proposal is assessed as BAL-Low and not subject to any bushfire construction measures.

The subject property is well maintained in a low fuel state and this must be perpetuated. Current site conditions effectively form a hazard management area (HMA) that should be managed in accordance with Clause 2.2.3.2(d)(e)(f) of AS3959 2018 and in line with report recommendations. The HMA is the entire property.

Whilst a static firefighting water supply is not imposed, if one was to be installed it should be in accordance with Table 3B of the Director's Determination.

2. Introduction

2.1. The Proposal

The proposal involves a new class 1a dwelling at 5 Whitlam Court, Lewisham (C.T 175743/9).

2.2. Scope of Report

Bushfire Tasmania was engaged by Kade and Jordan Mayne to undertake a Bushfire Hazard Management Plan (BHMP) and BAL assessment to determine vegetation management requirements, water supply requirements, site access requirements and construction requirements to comply with Australian Standard 3959 – Construction of Buildings in Bushfire Prone Areas 2018 (incorporating Amendments 1 & 2) and the Director's Determination – Bushfire Hazard Areas Version 1.2 2024.

The proposal is assessed in accordance with Table 2(A), Table 3B, and Table 4(B) of the Director's and a Fire Danger Index (FDI) of 50. The area assessed includes a radius of 150m from the proposal.

2.3. Property Information

Address: 5 Whitlam Court, Lewisham

Zoning: Low Density Residential

Municipality: Sorell

Planning Scheme: Tasmanian Planning Scheme Sorell

2.4. Planning Overlays

Based on the Sorell Local Provisions Schedule:

- Bushfire Prone Area Code
- Safeguarding of Airports Code – Airport obstacle limitation area

3. Site Conditions and Observations

3.1. Site Description

The subject property is located on the up-slope eastern side of Whitlam Court toward the northern end of the Lewisham township. It is situated within similar types of developed properties that make up a relatively new subdivision (compared to much older areas of Lewisham).

Topography is consistent over the proposal with gentle to moderate slopes that fall toward Whitlam Court. Site slopes range from approximately 5-8 degrees with a west north westerly aspect.

Vegetation on the site is managed lawns and shrubs.

There is an existing dwelling and shed toward the up-slope eastern boundary on the property with a gravel driveway directly off Whitlam Court.



Figure 1: contoured listmap. www.thelist.tas.gov.au. Property in blue outline, proposed dwelling in orange and black. White outline is 100m from HMA, pink line 50m from HMA.

3.2. Surrounding Area

The subject site is located in a low density residential zoned area. This zoning includes properties for at least several hundred meters to the north and east as well as 250-350m to the west and south.

All lots within this zone to the west and south (old/original section of Lewisham) are similar in size, development and use with the exception of the Lewisham Tavern and a slightly larger property adjoining. Almost all have dwellings and sheds with managed garden settings. Pitt Water borders these properties (and Lewisham Scenic Drive) to the north west, west and south west.

Low density residential lots from the subject site toward the north east and south are slightly larger in size. Again, most are developed or in the process of being built on and largely have managed lawns and gardens. Some have remnant trees, mostly sparse in nature.

Beyond low density residential to the south, east and north are rural living zone D zoned properties. These extend for approximately 400-1000m and contain larger sized allotments with a dwelling, outbuildings and managed gardens within paddocks and some sparse remnant and regenerating wooded vegetation.

Figure 2 below gives the TasVeg4.0 listmap of the area and bushfire prone vegetation within 100m of the proposal.



Figure 2: contoured TasVeg4.0 listmap. www.thelist.tas.gov.au. Property in blue outline, proposed dwelling in orange and black. White outline is 100m from HMA, pink line 50m from HMA.

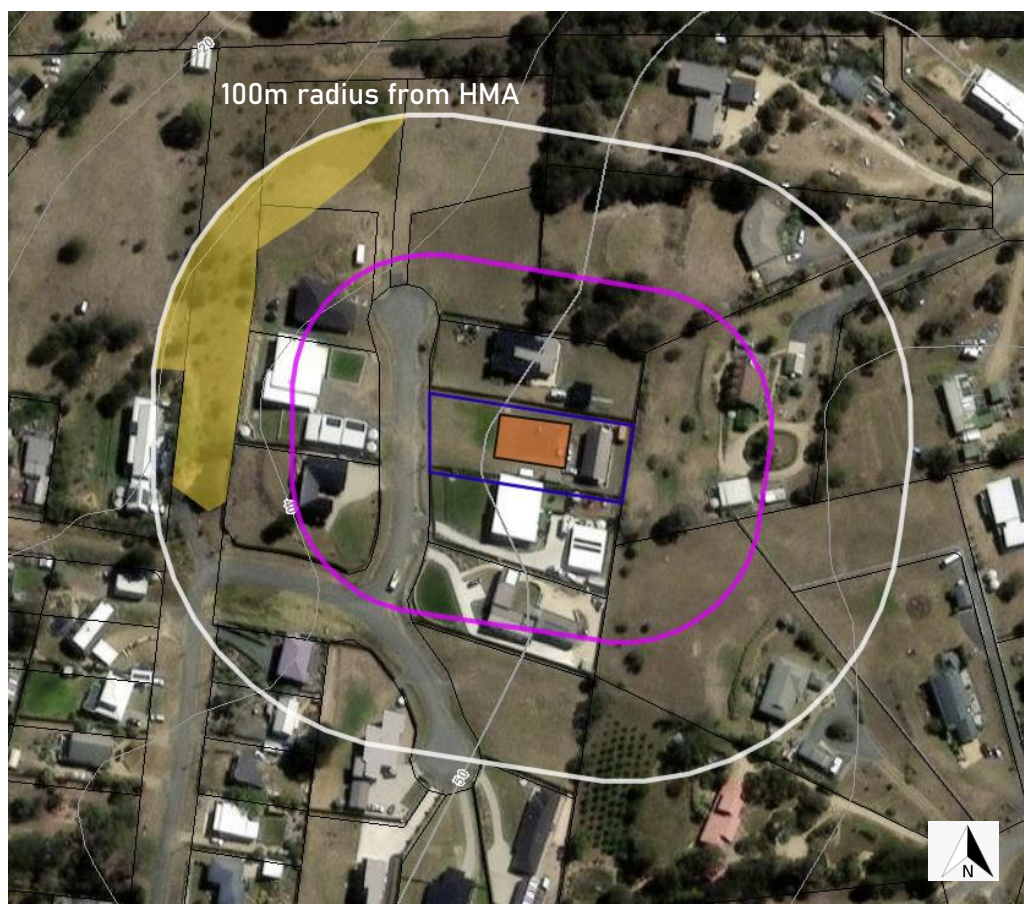


Figure 3: contoured listmap. www.thelist.tas.gov.au Property outline in blue, proposed dwelling in orange and black. White outline is 100m from HMA, pink line 50m from HMA. Yellow shading shows bushfire prone grassland vegetation within 100m of the subject property boundaries.

3.3. Additional Information

Construction not expected to be staged.

There has been bushfire activity in the general area according to the fire history overlay on thelist overlay.

Two separate 2022 fires, one an accidental escape on the Seven Mile Beach spit, the other of unknown cause approximately 500m south of the subject site on rural living zoned land.

Another small 2018 accidental escape fire immediately adjacent to the 2022 unknown cause fire, approximately 850m south-south east of the proposal.

Another fire on the Seven Mile Beach spit occurred in 2014 with the cause undetermined.

The very large 2013 accidental escape fire that burned large areas from Copping to the Tasman Peninsula was approximately 3.5-4kms to the east.

See Figure 4 below for these events on a listmap.



Figure 4: Fire History listmap. www.thelist.tas.gov.au Fire events denoted by hashed areas with dates inserted.

4. Bushfire Attack Level Assessment

4.1. Vegetation

According to TasVeg4.0, the proposal is shown to be situated on vegetation classified as (FUR) urban areas and extends for at least several hundred meters on all aspects and coincides with low density residential zoning. For the most part this appears accurate for the subject site as well as surrounding properties. Most lots have existing dwellings and outbuildings surrounded by mown grass and assorted shrubs as well as small to medium sized trees. Undeveloped lots have been maintained with grass mown on a regular basis.

This continues for 300m to the west, 500m to the south west, 250m to the south, 400m to the south east, >500m to the east, 200m to the north east, 115m to the north and 75m to the north west.

Beyond 115m to the north and >200m to the north east is a stand of remnant sheoaks. These are located on private land, 3 lots of which were the subject of a recent subdivision. They are owned by a builder and are in the process of being cleared and built on. Whilst the stand is >125m from the proposed HMA on the subject property, the removal of vegetation over those 3 lots will create a 80-100m gap in sheoaks with dwellings on all lots.

To the north west is grassland. This consists of patchy and rocky grass contained on a road reserve and larger sized residential lot (11 Franklin Street). Whilst assessed as grassland, it appears to be managed semi regularly, particularly in summer months. This is an area of approximately 1-1.2 hectares in size.

Fire Behaviour

Fire behaviour suggests that possible threats to the proposal may arise from land to the north west, north and north east. This includes:

- Possible ember attack/ash and smoke impact from a small woodland (sheoak) stand fire burning across- and down-slope toward the subject site. This type of fire may be fanned by north westerly to northerly to north easterly winds. If winds are predominantly from the north east, the level of possible ember attack may be greater,
- Possible ember attack/ash and smoke from grassfires to the north west, burning up-slope toward the proposal. This type of fire may be fanned by westerly to north westerly to northerly winds,
- Possible ember attack/ash from grassland and woodland on the bluff containing Gunns Point and Shellfish Point. This is approximately 450m from the proposal but westerly to north westerly winds may carry embers and ash depending on fire conditions on the day.

The subject site may experience some form of ember attack and possible spot fires. Any possible impact may be unpredictable/erratic depending on wind conditions. It is recommended that occupants treat any possible fires with due caution and remain vigilant. Despite a potentially lower likelihood of significant fire, it is recommended occupants develop a bushfire survival plan in line with TFS Bushfire Emergency Planning Guidelines V3.0 2021 and consult this if any fire is in the vicinity.

The following tables give the predominant bushfire prone vegetation types for ground cover, middle growth and canopy for the surrounding area within 150m:

Table 1: Predominant bushfire-prone grassland vegetation on north western aspect.

Vegetation Height	Species
Canopy	N/A
Middle Growth	N/A
Ground Cover	Assorted native and introduced pasture species Assorted weed species

Table 2: Predominant bushfire-prone woodland vegetation on northern and north eastern aspect.

Vegetation Height	Species
Canopy	<i>Allocasuarina verticillata</i> (Drooping Sheoak)
Middle Growth	<i>Allocasuarina verticillata</i> (Drooping Sheoak)
Ground Cover	Assorted native and introduced pasture species Assorted weed species

Vegetation on the north western aspect within 50m of the subject property boundaries is assessed as managed low threat in line with Clause 2.2.3.2(d)(e)(f) in AS3959 2018. Vegetation on all other aspects within 100m of the subject property boundaries is assessed as managed low threat in line with Clause 2.2.3.2(d)(e)(f) in AS3959 2018. See photographs in appendix A for an indication of the surrounding vegetation.

4.2. Slope

Effective slopes beneath down-slope grassland bushfire prone vegetation ranges between approximately 10-15° with a north westerly aspect.

4.3. Separation Distances

Refer to Table 3 indicating the minimum defensible space distances required from the nearest bushfire prone vegetation of greatest threat in order to achieve a minimum BAL-Low.

Table 3: Defendable Space Table for proposed dwelling

	North West	North East	South East	South West
Vegetation Type	G. Grassland	Managed [AS3959 clause 2.2.3.2(d)(e)(f)]	Managed [AS3959 clause 2.2.3.2(d)(e)(f)]	Managed [AS3959 clause 2.2.3.2(d)(e)(f)]
Surrounding land relative to site	Down-slope 10-15°	Up-slope / Across/flat	Up-slope / Across/flat	Down-slope 0-5°
Minimum Defendable Space Required to achieve BAL-Low	≥50m	≥100m	≥100m	≥100m
Defendable Space achieved with HMA	≥75m	≥100m	≥100m	≥100m

All separation distances are in accordance with Table 2.6 in AS3959 2018. The entire site is greater than 50m from grassland vegetation on the north western aspect and >100m from bushfire prone vegetation on all other aspects.

It is highly recommended that the subject property be maintained in a low fuel state with a HMA to the property boundary on all aspects. For future reference and a guide to managing HMA's, please see below.

To satisfy HMA vegetation requirements, grass must be regularly mown to a nominal 100mm or less height as per AS3959 2018 clause 2.2.3.2(f). Vegetation should be planted and managed in line with below as a guide in addition to the TFS Building for Bushfire Booklet 2020:

General Vegetation Management Information:

New vegetation may be planted within and existing vegetation may be retained within the HMA but must satisfy low threat conditions in accordance with AS3959 2018 clause 2.2.3.2(d)(e)(f). Note, dwellings refer to any class 1a building and/or class 10a building within 6m of a class 1a building.

Vegetation 0.1-1m in height may be planted/retained not closer than 2m from a dwelling with spacing between foliage of at least 1.5m.

Shrubs up to 2m in height can be planted/retained either individually or in single rows but must be spaced with a minimum 6m between foliage and should not be within 6m of a dwelling.

Large plants 4m or more in height can be planted/retained and should have low and mid-level growth up to 2m in height to be trimmed and maintained over time. Spacing between crowns is to be a minimum of 25m.

Vegetation 2m or more in height should not be planted/retained within 10m of dwellings. All vegetation 1-2m in height should be spaced from large vegetation (>4m) at least 8m from tree crown (measured vertically) and all vegetation 2-4m in height should be at least 10m from tree crowns.

Plant debris should be regularly cleared/removed and firewood be stored appropriately either undercover, protected from possible ember attack or stacked more than 6m from the dwelling.

Future plantings must take into account the requirement to maintain the HMA as low threat. Site should not impede firefighter access to bushfire prone vegetation.

HMA should be designed and maintained in line with the TFS guidelines for HMA's contained within the Building for Bushfire Booklet dated June 2020 at www.fire.tas.gov.au.

4.4. BAL

Based on all the assessed variables, the BAL rating can be seen in Table 4. This is in accordance with Table 2.6 of AS3959 2018. Table 3.1 of AS3959, 2018 (incorporating Amendments 1 & 2) describes BAL-Low:

Table 4: BAL Ratings

Bushfire Attack Level (BAL)	Heat flux exposure thresholds for classified vegetation within 100m of site	Predicted bushfire attack and levels of exposure	Construction Sections
BAL-Low Proposed Dwelling All aspects	See clause 2.2.3.2 in AS3959 2018	There is insufficient risk to warrant specific construction requirements	4

5. Construction Requirements

There are no specific construction requirements for this proposal, refer to section 4 in AS3959, 2018.

6. Access and Water

6.1. Property Access

For reference, site access does not provide access to a firefighting water supply. If a static firefighting water supply was installed and the length of access to this water supply exceeded 30m in length it is advisable it complies with table 2(B) of Director's Determination.

Refer to Table 2 in the Director's Determination:

Table 2 - Requirements for Property Access

Column 1 Element		Column 2 Requirement
A.	Property access length is less than 30 metres, or access is not required for a fire appliance to access a firefighting water point.	There are no specified design and construction requirements.
B.	Property access length is 30 metres or greater, or access is required for a fire appliance to access a firefighting water point.	The following design and construction requirements apply to property access: (a) all-weather construction; (b) load capacity of at least 20 tonnes, including for bridges and culverts; (c) minimum carriageway width of 4 metres; (d) minimum vertical clearance of 4 metres; (e) minimum horizontal clearance of 0.5 metres from the edge of the carriageway, excluding gate posts; (f) cross falls of less than 3 degrees (1:20 or 5%); (g) dips less than 7 degrees (1:8 or 12.5%) entry and exit angle; (h) curves with a minimum inner radius of 10 metres; (i) maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads; and (j) terminate with a turning area for fire appliances provided by one of the following: (i) a turning circle with a minimum outer radius of 10 metres; (ii) a property access encircling the building; or (iii) a hammerhead "T" or "Y" turning head 4 metres wide and 8 metres long.
C.	Property access length is 200 metres or greater.	The following design and construction requirements apply to property access: (a) complies with requirements for B above; and (b) passing bays of 2 metres additional carriageway width and 20 metres length provided every 200 metres.

6.2. Water Supply

Whilst a static firefighting water supply is not imposed, if one was to be installed it should be in accordance with Table 3B of the Director's Determination.

Refer to Table 3B:

Table 3B - Requirements for Static Water Supply for Firefighting

Column 1 Element		Column 2 Requirement
A.	Distance between building to be protected and water supply	The following requirements apply: (a) the building to be protected must be located within 90 metres of the firefighting water point of a static water supply; and (b) the distance must be measured as a hose lay between the firefighting water point and the furthest part of the building.
B.	Static Water Supplies	A static water supply: (a) may have a remotely located offtake connected to the static water supply; (b) may be a supply for combined use (firefighting and other uses) but the specified minimum quantity of firefighting water must be available at all times; (c) must be a minimum of 10,000 litres per building including associated Class 10 Building or deck to be protected. This volume of water must not be used for any other purpose, including firefighting sprinkler or spray systems; (d) must be metal, concrete or lagged by non-combustible materials if above ground; and (e) if a tank can be located, so it is shielded in all directions in compliance with Section 3.5 of AS 3959, the tank may be constructed of any material provided that the lowest 400 mm of the tank exterior is protected by: (i) metal; (ii) non-combustible material; or (iii) fibre-cement a minimum of 6 mm thickness.
C.	Fittings, pipework and accessories (including stands and tank supports)	Fittings and pipework associated with a firefighting water point for a static water supply must: (a) have a minimum nominal internal diameter of 50mm; (b) be fitted with a valve with a minimum nominal internal diameter of 50mm; (c) be metal or lagged by non-combustible materials if above ground; (d) if buried, have a minimum depth of 300mm;
		(e) provide a DIN or NEN standard forged Storz 65 mm coupling fitted with a suction washer for connection to firefighting equipment; (f) ensure the coupling is accessible and available for connection at all times; (g) ensure the coupling is fitted with a blank cap and securing chain (minimum 220mm length); (h) ensure underground tanks have either an opening at the top of not less than 250mm diameter or a coupling compliant with this Table; and (i) where a remote offtake is installed, ensure the offtake is in a position that is: (i) visible; (ii) accessible to allow connection by firefighting equipment; (iii) at a working height of 450mm – 600mm above ground level; and (iv) protected from possible damage, including damage by vehicles.
D.	Signage for static water connections	The firefighting water point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must: (a) comply with water tank signage requirements within AS 2304; or (b) comply with the Tasmania Fire Service Water Supply Signage Guideline published by the Tasmania Fire Service.
E.	Hardstand	A hardstand area for fire appliances must be provided: (a) no more than three metres from the firefighting water point measured as a hose lay (including the minimum water level in dams, swimming pools and the like); (b) no closer than six metres from the building to be protected; (c) with a minimum width of three metres and a minimum length of six metres constructed to the same standard as the carriageway; and (d) connected to the property access by a carriageway equivalent to the standard of the property access.

7. Regulations

Regulations governing construction in bushfire prone areas encompass all documents relating to planning, design and implementation. These documents include:

- Tasmania Building Act 2016
- Tasmania Building Regulations 2016
- Director's Determination – Bushfire Hazard Areas Version 1.2 2024
- Tasmania Planning Scheme – State Planning Provisions 2023
- National Construction Code – 2022
- AS3959 (2018) (incorporating Amendments 1 & 2) – Construction of buildings in bushfire prone areas
- The ABCB Performance Standard for Private Bushfire Shelters Part 1

8. Report Limitations and General Information

This report aims to provide sound advice, best practice strategies and measures in accordance with AS3959 2018 (incorporating Amendments 1 & 2), Tasmania Planning Scheme 2023 and the Director's Determination – Bushfire Hazard Areas Version 1.2 2024 relevant to the site assessed.

We rely on information provided to us by clients and agents on behalf of clients. The assessment provided in this report relates only to the subject proposal/land/property, which has been identified in this report.

It is outside the scope of our accreditation to provide performance solutions. Bushfire Tasmania can provide performance solutions only with the advice and approval of the Tasmania Fire Service.

The purpose of recommendations contained in this report are to deliver clarity of circumstances relating to potential bushfire hazard(s). In addition, they are designed to assist in developing mitigation measures and on-going management of the site and surrounding area to provide a tolerable level of risk in accordance with all relevant standards. Any proposed future building(s) or changes in vegetation that may impact this site from a bushfire hazard perspective have not been considered in this report. No responsibility is taken for any loss as a result of actions taken which may be contrary to AS3959 2018 or the Directors Determinations. All findings and conclusions in this report are based on these.

Of particular note and importance from AS3959:

This standard is primarily concerned with improving the ability of buildings in designated bushfire-prone areas to better withstand attack from bushfire thus giving a measure or protection to the building occupants (until the fire front passes) as well to the building itself.

Improving the design and construction of buildings to minimize damage from the effects of bushfire is but one of several measures available to property owners and occupiers to address damage during bushfire. Property owners should be aware that this Standard is part of a process that aims to lessen the risk of damage to buildings occurring in the event of the onslaught of bushfire. Other measures of mitigating damage from bushfire fall within the areas of planning, subdivision, siting, building design, landscaping and maintenance.

Furthermore, compliance with AS3959 does not guarantee that no loss will occur to life or property as a result of bushfire, as stated in AS3959:

It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions.

The survivability of buildings is also dependent on a combination of measures such as landscaping, water supplies, access, building design and maintenance. Care should also be exercised when siting and designing for these measures when constructing a building under this Standard.

Monitoring current TFS advice is imperative and landowners should be aware in Catastrophic Fire Danger Rating conditions, even very well-prepared buildings may not be safe. Residents in bushland areas should not plan to defend any building, regardless of any preparations they have made.

It is the intention that based on the implementation of sound bushfire prevention measures in conjunction with on-going maintenance and keeping informed of possible fire threats that loss of property and/or life may be reduced.

If your property is within a bushfire prone area or if likely to be impacted by bushfire in some way, it is highly recommended that property owners/managers develop and implement a bushfire survival plan. This should address all aspects of bushfire safety and bushfire prevention measures applicable to the property. In addition, an evacuation plan should be developed and rehearsed to ensure occupants can realistically enforce it should the need arise. Please read the attached TFS Bushfire Emergency Planning Guidelines V3.0 2021 as a reference to better plan evacuation procedures as part of any bushfire survival plan and listen to ABC local radio for updates in the event of a fire in your area.

This report and corresponding BHMP is valid for 6 years from the date of issue.

9. Recommendations

The proposal is greater than 50m from grassland bushfire prone vegetation to the north west and >100m from bushfire prone vegetation on all other aspects. All properties and land within 50m of the subject property boundary to the north west and within 100m on all other aspects satisfies low fuel/threat managed vegetation in line with Clause 2.2.3.2(d)(e)(f) in AS3959 2018.

Proposal is assessed as BAL-Low and no bushfire construction requirements are imposed. It is recommended the entire property be maintained as a low fuel/threat garden/HMA.

10. Conclusion

Grassland bushfire prone vegetation is present on the north western aspect >50m from the western boundary of the subject site. All properties and land within 50m of the subject property boundary to the north west and within 100m on all other aspects satisfies low fuel/threat managed vegetation in line with Clause 2.2.3.2(d)(e)(f) in AS3959 2018.

The proposal has been assessed as BAL-Low in accordance with Table 2.6 in AS3959 2018.

The site has been assessed in accordance with Australian Standard 3959 – *Construction of Buildings in Bushfire Prone Areas 2018* (incorporating Amendments 1 & 2) and the Director's Determination – Bushfire Hazard Areas Version 1.2 2024.



Samuel Walters B.Agr Sc.; BFP-130

Bushfire Tasmania

11. References

- AS3959-2018 Construction of buildings in bushfire prone areas, Standards Australia, Sydney (incorporating Amendments 1 & 2).
- Wiltshire,R and Jordan,G. *Treeflip*, School of Plant Science, University of Tasmania, 2009.
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- Tasmania Planning Scheme – State Planning Provisions 2023.
- Director's Determination – Bushfire Hazard Areas Version 1.2 2024.
- Tasmania Building Act 2016.
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- From Forest to Fjaeldmark, *Descriptions of Tasmania's Vegetation*. Department of Primary Industries, Water and Environment, 2005.
- Tasmanian Planning Scheme Sorell.
- www.thelist.tas.gov.au
- Chladil, M and Sheridan, J. *Fire Resisting Garden Plants for the urban fringe and rural areas*. Tasmania Fire Service, 2017.
- TasVeg4.0 Tasmanian Vegetation Monitoring and Mapping Program, Biodiversity Conservation Branch, DPIPWE, 2013.
- Bushfire Planning Group, *Guidelines for Development in Bushfire Prone Areas of Tasmania*, Tasmania Fire Service, Hobart, 2017.
- www.fire.tas.gov.au
- TFS *Bushfire Emergency Planning Guidelines* Version 3.0, November 2021. Tasmania Fire Service.
- TFS *Building for Bushfire booklet*, Tasmania Fire Service, June 2020.
- TFS *Water Supply Signage Guideline* Version 1.0, Tasmania Fire Service, February 2017.
- TFS *Firefighting Water Supplies booklet*, Tasmania Fire Service.

Appendix A – Site Photographs

Photograph 1 – Looking north from the north western roadside corner of 7 Whitlam Court.



Photograph 2 – Looking south from northern boundary of 11 Whitlam Court. Dwelling upper middle left is 7 Whitlam Court.



Photograph 3 – Looking west south west from same location as photo 2.



Photograph 4 – Looking west from cross-over of subject property.



Photograph 5 – Looking south-south west from cross-over of subject property.



Photograph 6 – Looking east south east from in front of 2 Whitlam Court. Dwellings pictured are south of the subject site.



Photograph 7 – Looking east over the proposed site from the western roadside boundary.



Photograph 8 – Looking south east from eastern boundary of subject site toward 6 Alexander Court (foreground) and 5 Perry Court (mid to upper photo).



Photograph 9 – Looking east toward 6 Alexander Court from eastern boundary of subject property.



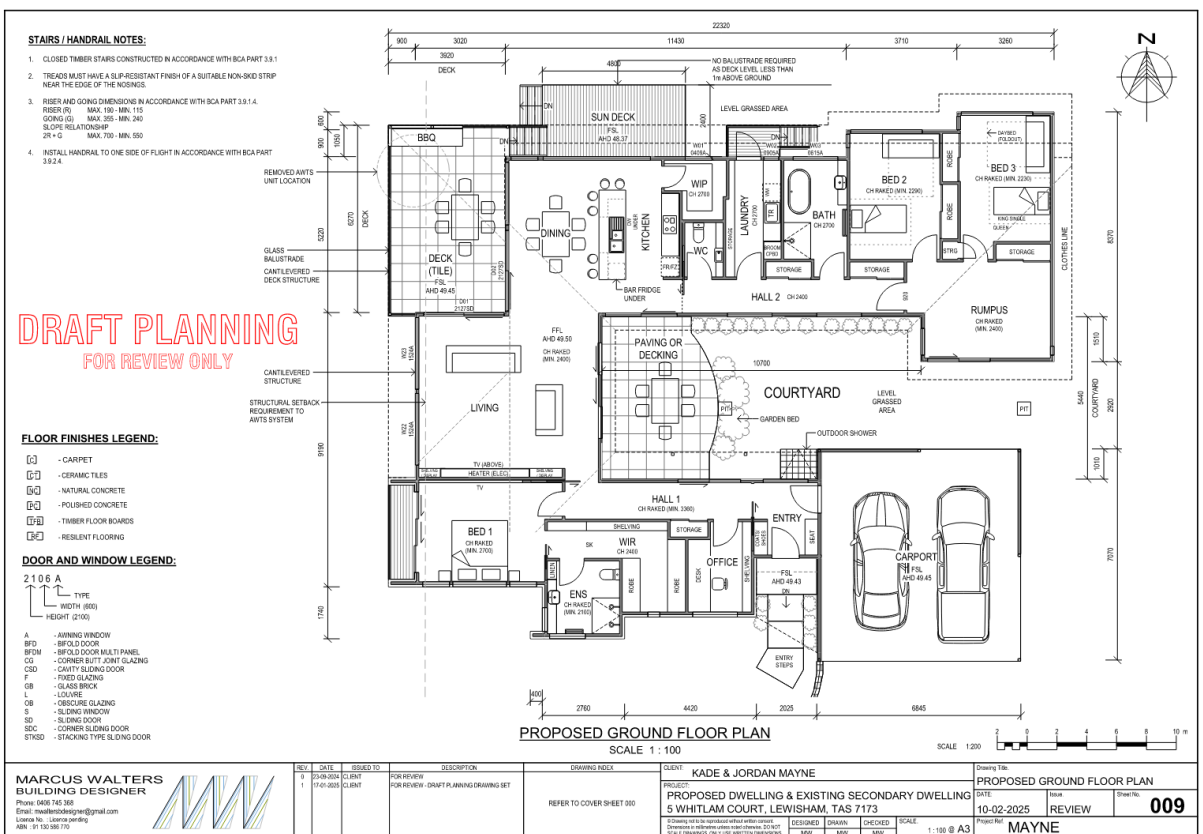
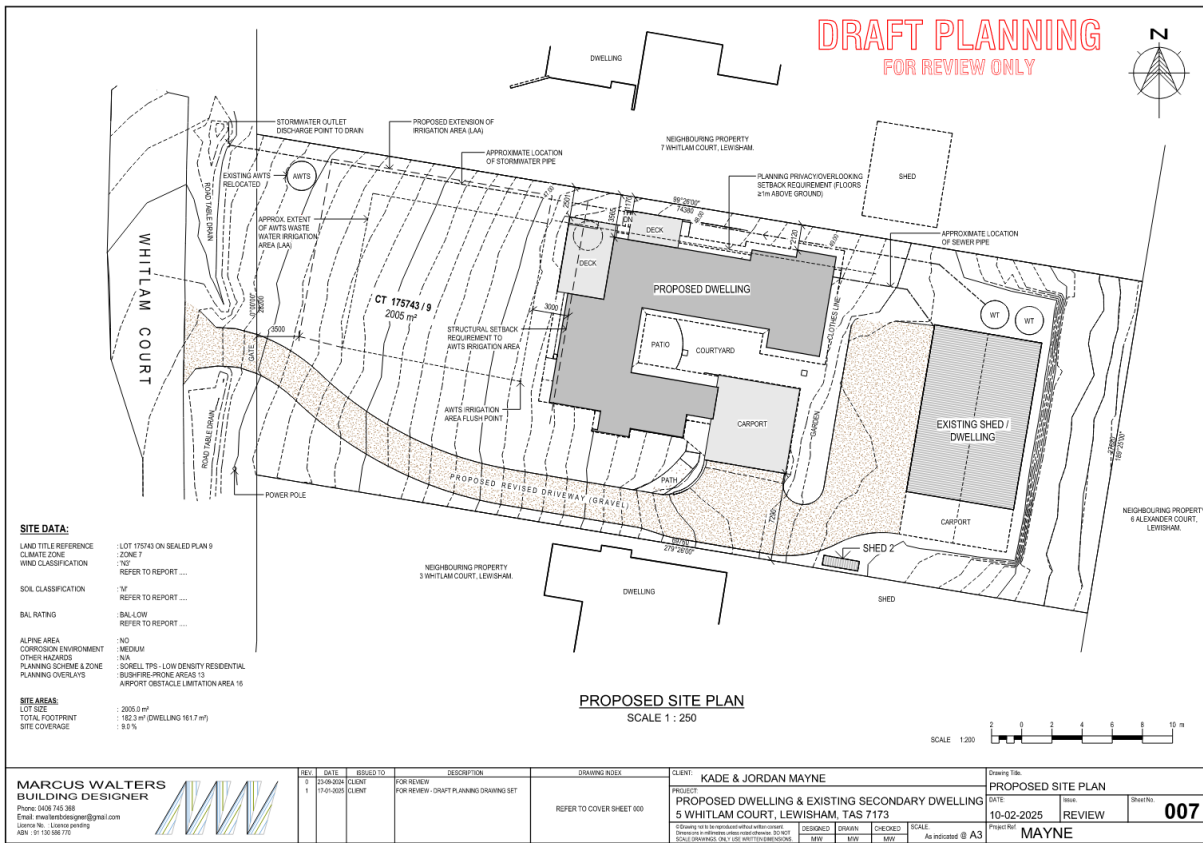
Photograph 10 – Looking north east toward 6 Alexander Court from same location as photo 9.



Photograph 11 – Looking east from the end of Whitlam Court toward 5 Alexander Court (top of dwelling can be seen upper mid left). Dwelling on right is 7 Whitlam Court.



Appendix B – Architectural/Designer Plans



DRAFT PLANNING
FOR REVIEW ONLY

STAIRS / HANDRAIL NOTES:

- CLOSED TIMBER STAIRS CONSTRUCTED IN ACCORDANCE WITH BCA PART 3.8.1
- TREADS MUST HAVE A slip-RESISTANT FINISH OF A SUITABLE NON-SLIP STRIP NEAR THE EDGE OF THE TREADS.
- RISER AND GOING DIMENSIONS IN ACCORDANCE WITH BCA PART 3.8.1.4.
RISER (R) MAX. 190. MIN. 115
GOING (G) MAX. 305. MIN. 240
SLOPE RELATIONSHIP
R/R + G MAX. 700. MIN. 550
- INSTALL HANDRAIL TO ONE SIDE OF FLIGHT IN ACCORDANCE WITH BCA PART 3.8.2.4.

PROPOSED NORTH ELEVATION
SCALE 1 : 100

PROPOSED WEST ELEVATION
SCALE 1 : 100

MARCUS WALTERS BUILDING DESIGNER Phone: 0488 745 368 Email: mwaltdesigner@gmail.com Licence No.: 14698-000-0000 ABN: 91 130 386 170	REV	DATE	ISSUED TO	DESCRIPTION	DRAWING INDEX	CLIENT	PROJECT	DATE	ISSUE	SHEET NO.
	1	11-01-2025	CLIENT	FOR REVIEW - DRAFT PLANNING DRAWING SET	REFER TO COVER SHEET 010	KADE & JORDAN MAYNE	PROPOSED DWELLING & EXISTING SECONDARY DWELLING 5 WHITLAM COURT, LEWISHAM, TAS 7173	10-02-2025	REVIEW	010
							DESIGNED	DRAWN	CHECKED	SCALE
							MW	MW	MW	1:100 @ A3
							DRAWING TITLE: PROPOSED ELEVATIONS 1 OF 3			
							DRAWING DATE: MAYNE			

DRAFT PLANNING
FOR REVIEW ONLY

STAIRS / HANDRAIL NOTES:

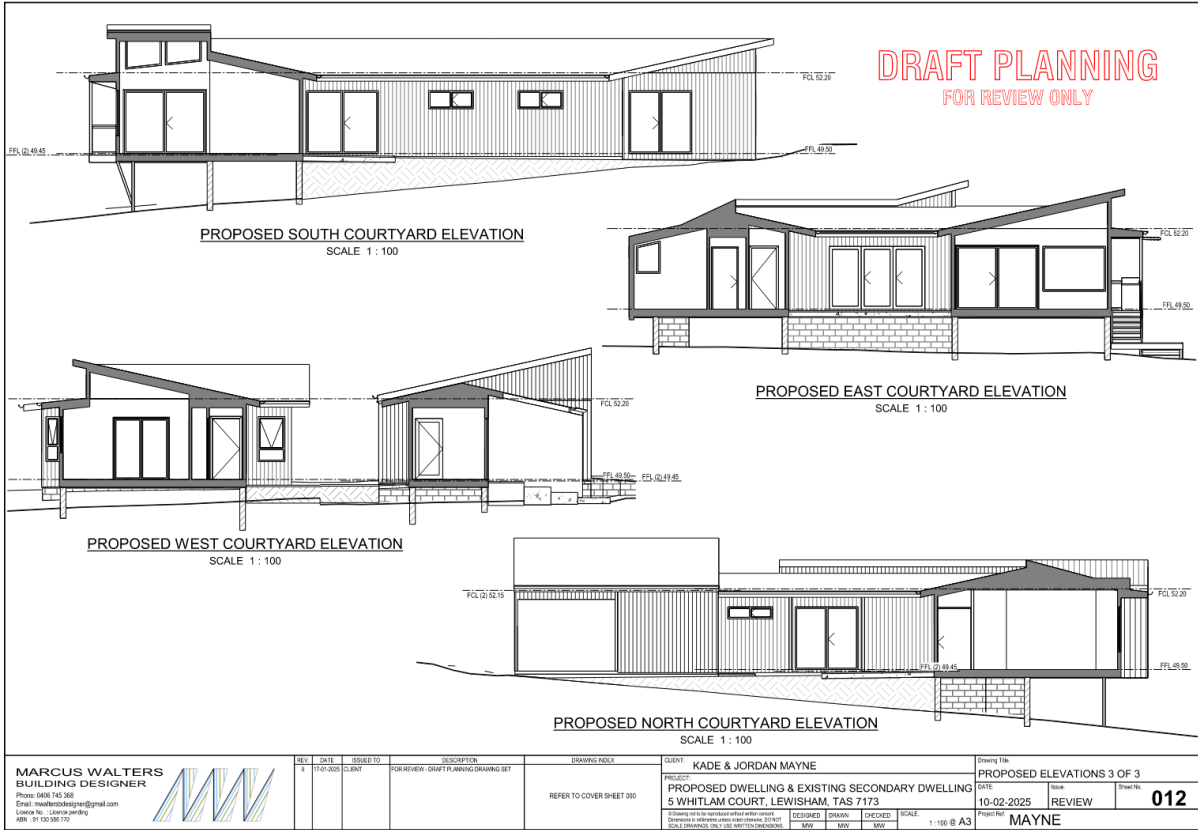
- CLOSED TIMBER STAIRS CONSTRUCTED IN ACCORDANCE WITH BCA PART 3.8.1
- TREADS MUST HAVE A slip-RESISTANT FINISH OF A SUITABLE NON-SLIP STRIP NEAR THE EDGE OF THE TREADS.
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R/R + G MAX. 700. MIN. 550
- INSTALL HANDRAIL TO ONE SIDE OF FLIGHT IN ACCORDANCE WITH BCA PART 3.8.2.4.

PROPOSED SOUTH ELEVATION
SCALE 1 : 100

PROPOSED EAST ELEVATION
SCALE 1 : 100

MARCUS WALTERS BUILDING DESIGNER Phone: 0488 745 368 Email: mwaltdesigner@gmail.com Licence No.: 14698-000-0000 ABN: 91 130 386 170	REV	DATE	ISSUED TO	DESCRIPTION	DRAWING INDEX	CLIENT	PROJECT	DATE	ISSUE	SHEET NO.
	1	11-01-2025	CLIENT	FOR REVIEW - DRAFT PLANNING DRAWING SET	REFER TO COVER SHEET 010	KADE & JORDAN MAYNE	PROPOSED DWELLING & EXISTING SECONDARY DWELLING 5 WHITLAM COURT, LEWISHAM, TAS 7173	10-02-2025	REVIEW	011
							DESIGNED	DRAWN	CHECKED	SCALE
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							DRAWING TITLE: PROPOSED ELEVATIONS 2 OF 3			
							DRAWING DATE: MAYNE			

Bushfire Hazard Assessment Report
5 Whitlam Court, Lewisham



MARCUS WALTERS BUILDING DESIGNER Phone: 0466 745 368 Email: mwalter@bushfire.com.au Licent. No. 14969-000-0000 A/N: 91 130 366 775			REV. DATE ISSUED TO DESCRIPTION 0 10-02-2025 CLIENT FOR REVIEW - DRAFT PLANNING DRAWING SET	DRAWING INDEX REFER TO COVER SHEET 000	CLIENT KADE & JORDAN MAYNE	Drawing Title PROPOSED ELEVATIONS 3 OF 3
	PROJECT PROPOSED DWELLING & EXISTING SECONDARY DWELLING 5 WHITLAM COURT, LEWISHAM, TAS 7473			DATE 10-02-2025		SHEET NO. 012
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Appendix C – Bushfire Hazard Management Plan

See attached



= HAZARD MANAGEMENT AREA



VEGETATION:
 IN ACCORDANCE WITH TABLE 2.6 IN AS3959, 2018.
 FROM THE PROPOSAL, SEPARATION DISTANCES ARE REQUIRED TO THE PROPERTY BOUNDARY ON ALL ASPECTS TO FORM A HAZARD MANAGEMENT AREA (HMA).

TO SATISFY HMA VEGETATION REQUIREMENTS, GRASS MUST BE REGULARLY MOWN TO A NOMINAL 100mm OR LESS HEIGHT AS PER AS3959 2018 CLAUSE 2.2.3.2(F). EXISTING SHRUBS WITHIN HMA CAN BE RETAINED AND MANAGED OVER TIME. HMA TO BE MAINTAINED IN LINE WITH BELOW AS A GUIDE IN CONJUNCTION WITH TFS BUILDING FOR BUSHFIRE BOOKLET (2020).

GENERAL VEGETATION MANAGEMENT INFORMATION:
 NEW VEGETATION MAY BE PLANTED AND EXISTING VEGETATION MAY BE RETAINED WITHIN THE HMA BUT MUST SATISFY LOW THREAT CONDITIONS IN ACCORDANCE WITH AS3959 2018 CLAUSE 2.2.3.2(D)(E)(F). DWELLING REFERS TO ANY CLASS 1A BUILDING AND/OR CLASS 10A BUILDING WITHIN 6m OF A CLASS 1A BUILDING.
 AS A GENERAL RULE/GUIDE:
 VEGETATION 0.1-1m IN HEIGHT MAY BE PLANTED NOT CLOSER THAN 2m FROM ANY DWELLING WITH SPACING BETWEEN FOLIAGE OF AT LEAST 1.5m.
 SHRUBS UP TO 2m IN HEIGHT CAN BE PLANTED EITHER INDIVIDUALLY OR IN SINGLE ROWS BUT MUST BE SPACED WITH A MINIMUM 6m BETWEEN FOLIAGE AND SHOULD NOT BE WITHIN 6m OF A DWELLING.
 LARGE PLANTS 4m OR MORE IN HEIGHT CAN BE PLANTED AND SHOULD HAVE LOW AND MID-LEVEL GROWTH UP TO 2m IN HEIGHT TO BE TRIMMED AND MAINTAINED OVER TIME. SPACING BETWEEN CROWNS IS TO BE A MINIMUM OF 25m.
 VEGETATION 2m OR MORE IN HEIGHT SHOULD NOT BE PLANTED WITHIN 10m OF A DWELLING.
 ALL VEGETATION 1-2m IN HEIGHT SHOULD BE SPACED FROM LARGE VEGETATION (>4m) AT LEAST 8m FROM TREE CROWN (MEASURED VERTICALLY) AND VEGETATION 2-4m IN HEIGHT SHOULD BE AT LEAST 10m FROM TREE CROWNS.
 PLANT DEBRIS SHOULD BE REGULARLY CLEARED/REMOVED AND FIREWOOD BE STORED APPROPRIATELY EITHER UNDERCOVER, PROTECTED FROM POSSIBLE EMBER ATTACK OR STACKED MORE THAN 6m FROM DWELLINGS.
 HIGHLY RECOMMENDED THE HMA IS DESIGNED AND MAINTAINED IN LINE WITH ADVICE FROM THE TFS BUILDING FOR BUSHFIRE BOOKLET (JUNE 2020).

PROPERTY ACCESS:
 PROPERTY ACCESS DOES NOT PROVIDE ACCESS TO A FIREFIGHTING WATER SUPPLY POINT. IF A STATIC FIREFIGHTING WATER SUPPLY WAS INSTALLED AND IT WAS >30m FROM THE ROADSIDE PROPERTY BOUNDARY - WHILST NOT REQUIRED - IT IS ADVISABLE ACCESS COMPLIES WITH TABLE 2(B) OF DIRECTOR'S DETERMINATION - BUSHFIRE HAZARD AREAS VERSION 1.2 2024.

WATER SUPPLY:
 WHILST A STATIC FIREFIGHTING WATER SUPPLY POINT IS NOT REQUIRED, IF ONE WAS TO BE INSTALLED IT SHOULD COMPLY WITH TABLE 3B OF DIRECTOR'S DETERMINATION - BUSHFIRE HAZARD AREAS VERSION 1.2 2024.


RECOMMENDATIONS:
 THE HMA IS TO BE MAINTAINED AS LOW THREAT AND IN ACCORDANCE WITH CLAUSE 2.2.3.2 OF AS3959 2018, BHMP AND REPORT.
 THE HMA CREATED BY THESE SETBACKS WILL ALLOW A BAL-LOW OUTCOME AS THE ENTIRE PROPERTY IS >50m FROM GRASSLAND BUSHFIRE PRONE VEGETATION TO THE NORTH WEST/WEST AND >100m FROM WOODLAND TO THE NORTH/NORTH EAST.

WE RECOMMEND ANY LANDSCAPING USE PLANTS OF LOW FLAMMABILITY RATINGS AS LISTED IN THE TASMANIA FIRE SERVICE BOOKLET FIRE RESISTING GARDEN PLANTS FOR THE URBAN FRINGE AND RURAL AREAS, 2017. EXAMPLE OF A LOW THREAT MANAGED GARDEN/HMA IN THE TFS BUILDING FOR BUSHFIRE BOOKLET (JUNE 2020) AT WWW.FIRE.TAS.GOV.AU

NO CONSTRUCTION REQUIREMENTS FOR THE PROPOSED DWELLING ARE IMPOSED AS PER AS3959, 2018 SECTION 4 RELATING TO BAL-LOW.

BUSHFIRE HAZARD MANAGEMENT PLAN

SCALE 1:200

		 <p>21 Dysart Street Clifton Beach 0438 559 371 sam@bushfiretasmania.com.au</p>	CLIENT: KADE & JORDAN MAYNE	SHEET: BUSHFIRE HAZARD MANAGEMENT PLAN	DRAWN: SW	APPROVED: SW BFP-130
			ADDRESS: 5 WHITLAM COURT LEWISHAM	PROJECT: PROPOSED CLASS 1a DWELLING	SCALE: 1:200	SIZE: A3
REV. A	BUILDING APPROVAL	14/10/2024	ISSUE: BUILDING APPROVAL		PROJECT No. A24-8	SHEET No. A
REV.	DESCRIPTION	DATE				

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To: Owner /Agent
 Address
 Suburb/postcode

Qualified person details:

Qualified person:
Address: Phone No:
 Fax No:
Licence No: Email address:

Qualifications and Insurance details: *(description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)*

Speciality area of expertise: *(description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)*

Details of work:

Address: Lot No:
 Certificate of title No:

The assessable item related to this certificate: *(description of the assessable item being certified)*
Assessable item includes –

- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: *(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)*

This certificate is in relation to the above assessable items, at any stage, as part of – (tick one)

building work, plumbing work or plumbing installation or demolition work

OR

a building, temporary structure or plumbing installation

In issuing this certificate the following matters are relevant –

Documents:	Bushfire Hazard Assessment Report for 5 Whitlam Court, Lewisham dated February 2025 report code A24-8 Rev 1.0 and Bushfire Hazard Management Plan for 5 Whitlam Court, Lewisham dated 14/10/2024 Rev A
Relevant calculations:	
References:	Australian Standard 3959, 2018 Director's Determination – Bushfire Hazard Areas Version 1.2 2024 NCC 2022

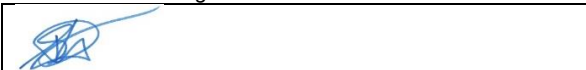
Substance of Certificate: (what it is that is being certified)

<p>Bushfire Hazard Assessment report that includes bushfire attack level assessment to AS3959 2018 and Director's Determination – Bushfire Hazard Areas Version 1.2 2024.</p> <p>Conclusion: proposed dwelling and entire subject property are >50m from grassland bushfire prone vegetation on the western and north western aspects as well as >100m from woodland vegetation on the northern and north eastern aspects. All properties and land within 50m of the subject property on the western and north western aspects and within 100m on the northern and north eastern aspects satisfies low fuel/threat conditions consistent with Clause 2.2.3.2(d)(e)(f) in AS3959 2018 (including amendments 1&2) and as such satisfies requirements for a BAL-Low assessment. No bushfire construction requirements are imposed.</p> <p>Entire subject property to be maintained in a low fuel/threat state in line with clause 2.2.3.2 in AS3959 2018.</p> <p>Whilst not imposed, if a static firefighting water supply was installed it is advisable to be in accordance with Table 3B of the Directors Determination.</p>

Scope and/or Limitations

<p>Scope: to provide assessment of potential hazard relating to bushfire and classifying of bushfire prone vegetation in relation to the site. All recommendations and conclusions in this report are in accordance with, and subject to compliance with AS 3959-2018, Director's Determination – Bushfire Hazard Areas Version 1.2 2024, NCC 2022 and the Building Code of Australia.</p> <p>Limitations: Report is based on site investigations at the time of inspection and from information provided to us by proposal agent/owner and is limited to bushfire hazard assessment only. The assessment is based solely on this proposal and confined to the site only. Any proposed future building(s) or changes in vegetation not part of the assessment that may impact this site from a bushfire hazard perspective have not been considered in this report.</p> <p>Bushfire hazard assessment report and BHMP is valid for a period of 6 years from certified date.</p>


I certify the matters described in this certificate.

Qualified person:	<p>Signed: </p>	Certificate No: A24-8 008	Date: 16.02.2025
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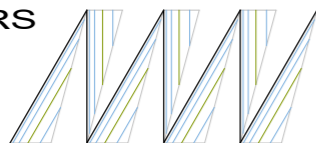
DRAWING INDEX

COVER SHEET	MAYNE-000
EXISTING SITE PLAN	MAYNE-001
EXISTING SHED / DWELLING FLOOR PLAN	MAYNE-002
EXISTING DWELLING ELEVATIONS 1 OF 2	MAYNE-003
EXISTING DWELLING ELEVATIONS 2 OF 2	MAYNE-004
EXISTING 3D ORTHO VIEWS	MAYNE-005
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PROPOSED SITE PLAN	MAYNE-007
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PROPOSED ELEVATIONS 2 OF 3	MAYNE-011
PROPOSED ELEVATIONS 3 OF 3	MAYNE-012
PROPOSED 3D ORTHO VIEWS	MAYNE-013
PROPOSED 3D VIEWS	MAYNE-014
PROPOSED DRIVEWAY PLAN	MAYNE-015
PROPOSED DRIVEWAY SECTIONS	MAYNE-016


Sorell Council
 Development Application: 5.2025.52.1 -
 Development Application - 5 Whitlam Court,
 Lewisham P1.pdf
 Plans Reference: P1
 Date Received: 4/03/2025

**MARCUS WALTERS
BUILDING DESIGNER**

Phone: 0406 745 368
 Email: mwaltersbdesigner@gmail.com
 Licence No. : Licence pending
 ABN : 91 130 586 770



**PROPOSED DWELLING & EXISTING SECONDARY DWELLING
 AT 5 WHITLAM COURT, LEWISHAM, TAS 7173
 FOR KADE & JORDAN MAYNE**

Drawing Title.

COVER SHEET

DATE:

28-02-2025

Issue.

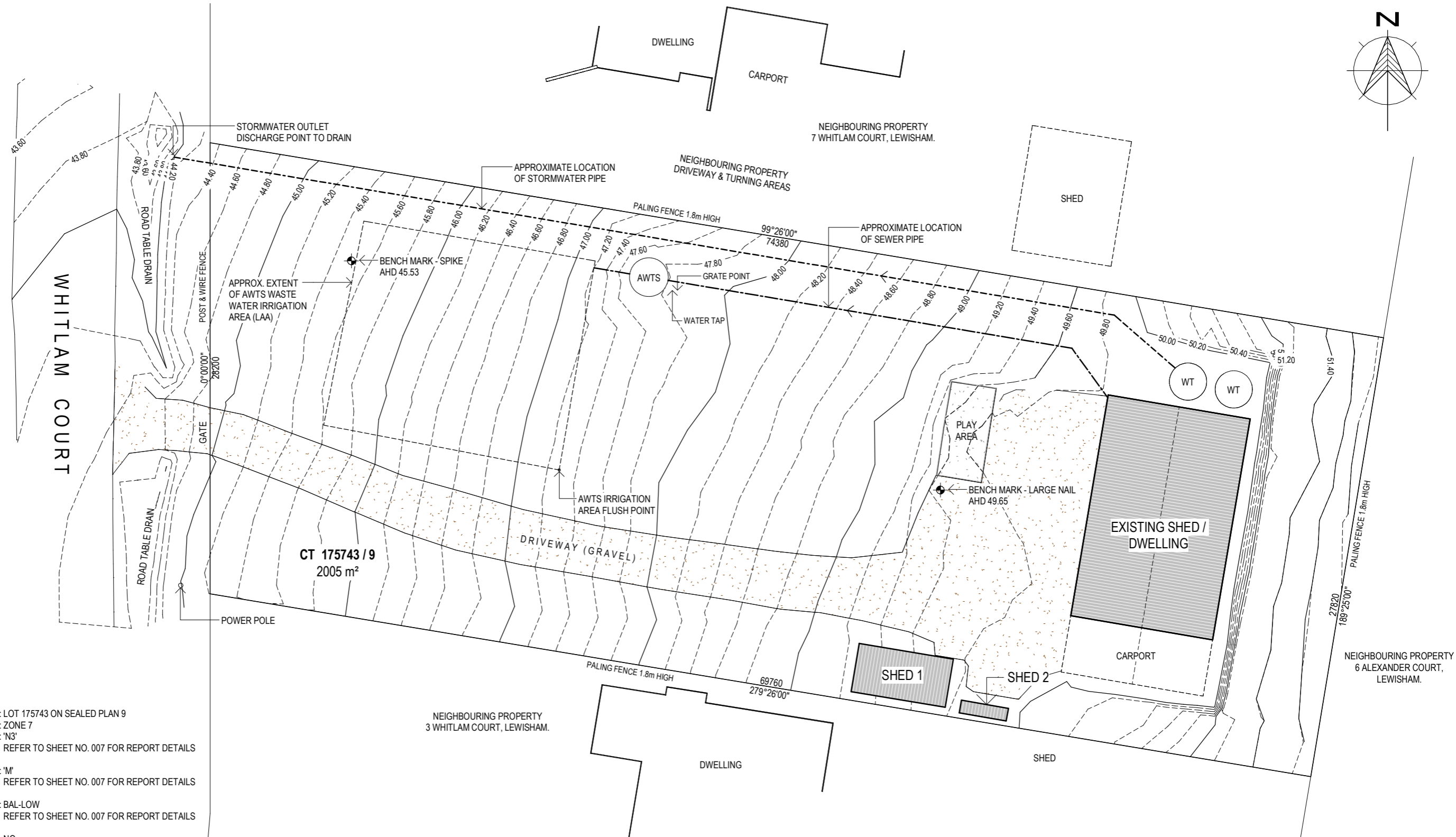
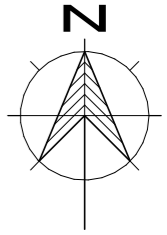
PLANNING

Sheet No.

000

Project Ref.

MAYNE



SITE DATA:

LAND TITLE REFERENCE : LOT 175743 ON SEALED PLAN 9
 CLIMATE ZONE : ZONE 7
 WIND CLASSIFICATION : 'N3'
 REFER TO SHEET NO. 007 FOR REPORT DETAILS

SOIL CLASSIFICATION : 'M'
 REFER TO SHEET NO. 007 FOR REPORT DETAILS

BAL RATING : BAL-LOW
 REFER TO SHEET NO. 007 FOR REPORT DETAILS

ALPINE AREA : NO
 CORROSION ENVIRONMENT : MEDIUM
 OTHER HAZARDS : N/A
 PLANNING SCHEME & ZONE : SORELL TPS - LOW DENSITY RESIDENTIAL
 PLANNING OVERLAYS : BUSHFIRE-PRONE AREAS 13
 AIRPORT OBSTACLE LIMITATION AREA 16

SITE AREAS:

LOT SIZE : 2005.0 m²
 TOTAL FOOTPRINT : 182.3 m² (DWELLING 161.7 m²)
 SITE COVERAGE : 9.0 %

Sorell Council
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 Development Application - 5 Whitlam Court,
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 Plans Reference:P1
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EXISTING SITE PLAN

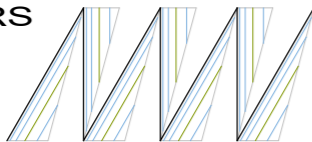
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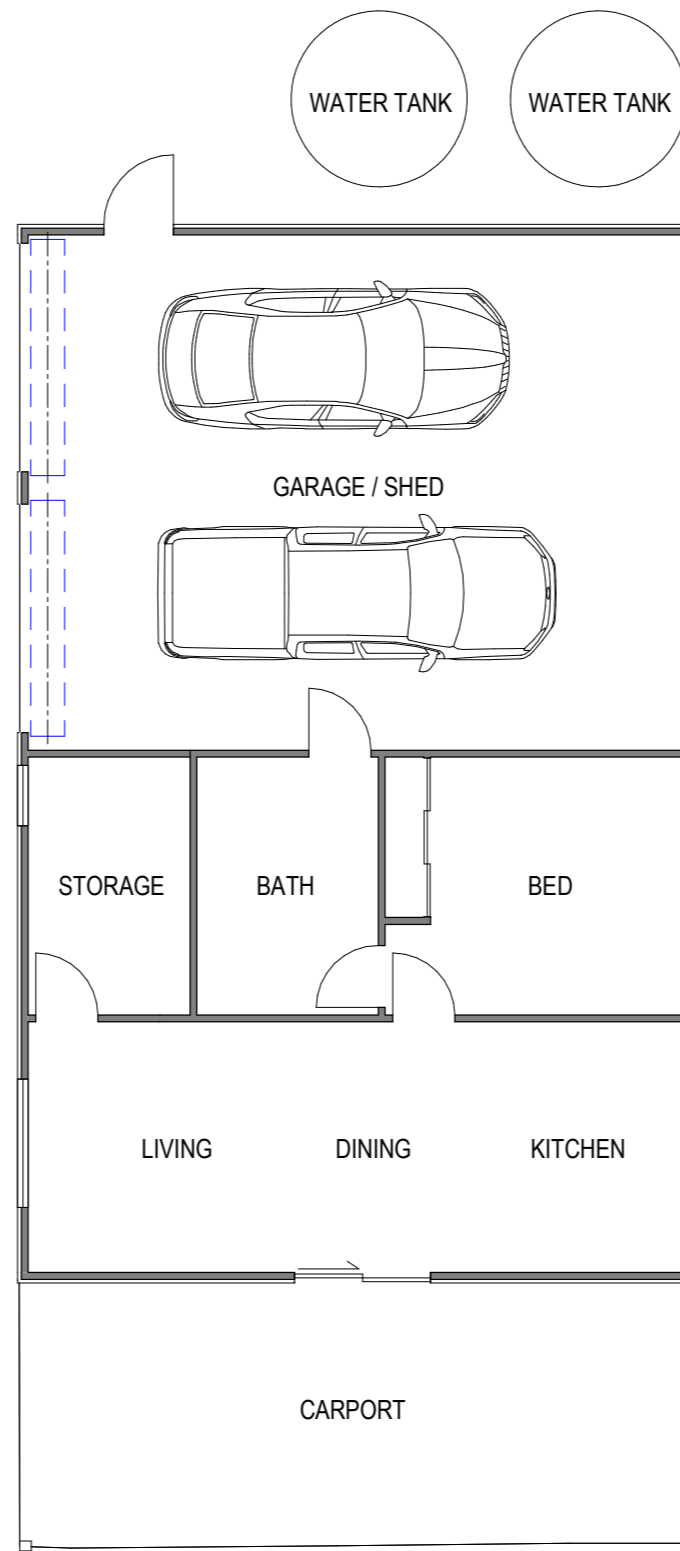
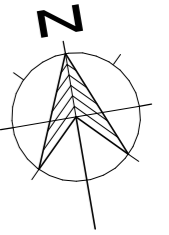


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1	17-01-2025	CLIENT	FOR REVIEW - DRAFT PLANNING DRAWING SET	
2	28-02-2025	COUNCIL	FOR PLANNING APPROVAL	

REFER TO COVER SHEET 000

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PROJECT:	PROPOSED DWELLING & EXISTING SECONDARY DWELLING 5 WHITLAM COURT, LEWISHAM, TAS 7173		
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DATE:	Issue:	Sheet No.
28-02-2025	PLANNING	001
Project Ref. MAYNE		



EXISTING SHED / DWELLING GROUND FLOOR PLAN

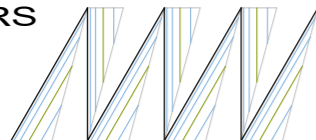
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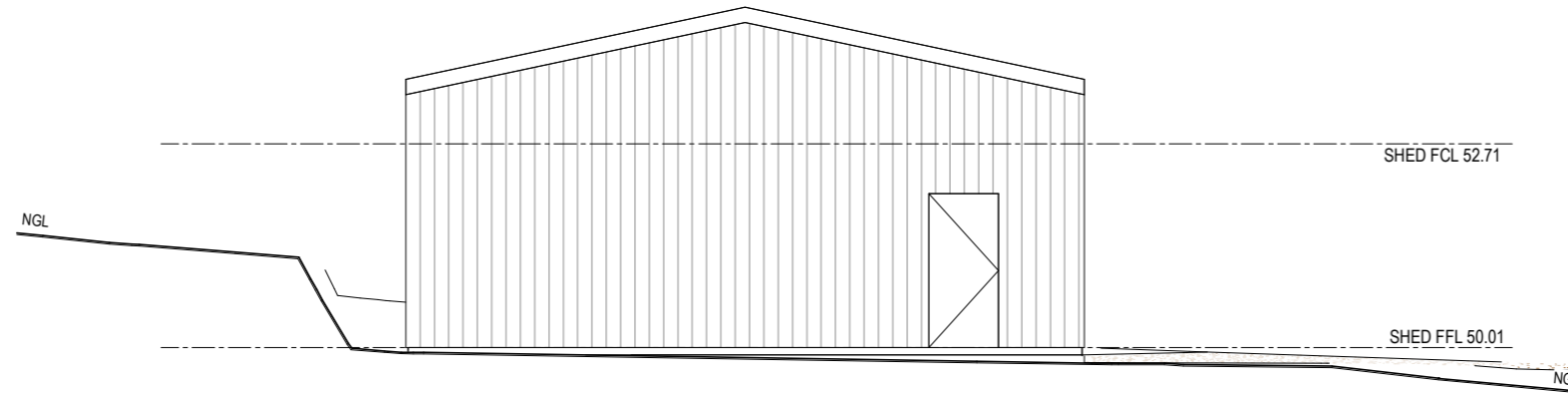


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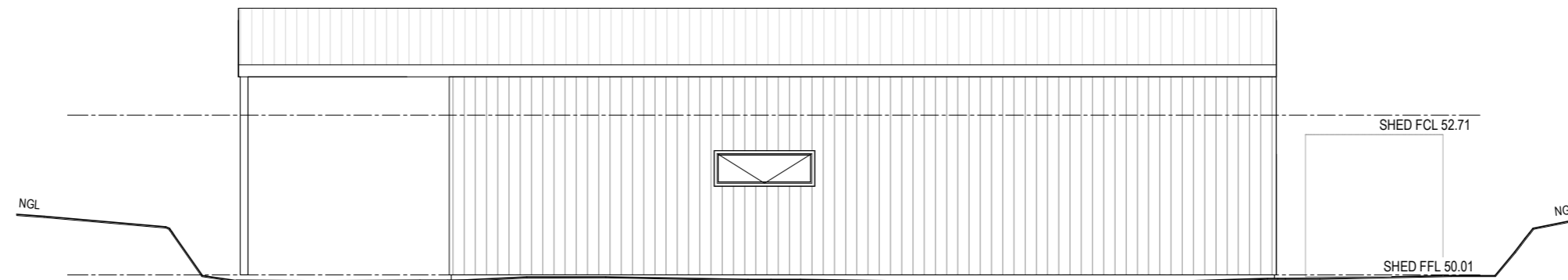
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DATE: 28-02-2025	Issue: PLANNING	Sheet No. 002
Project Ref. MAYNE		

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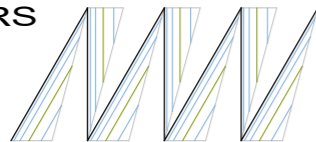


EXISTING EAST ELEVATION
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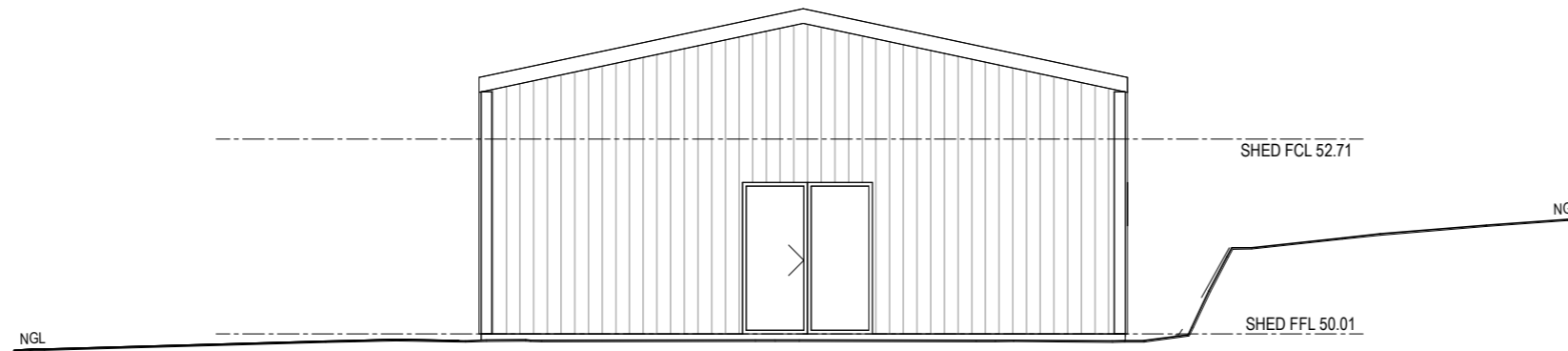


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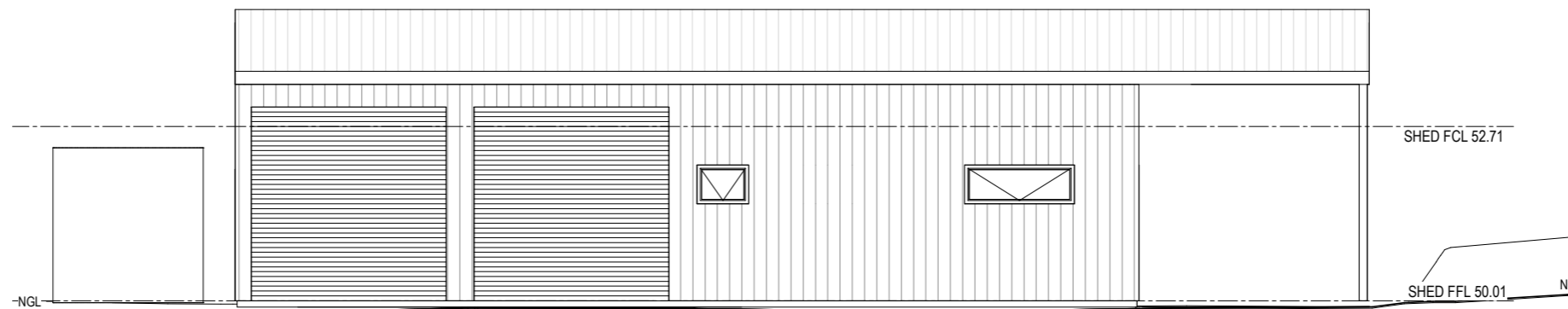
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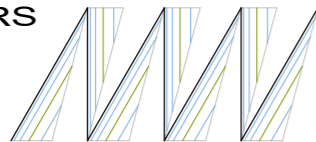
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SCALE 1 : 100



EXISTING WEST ELEVATION
SCALE 1 : 100

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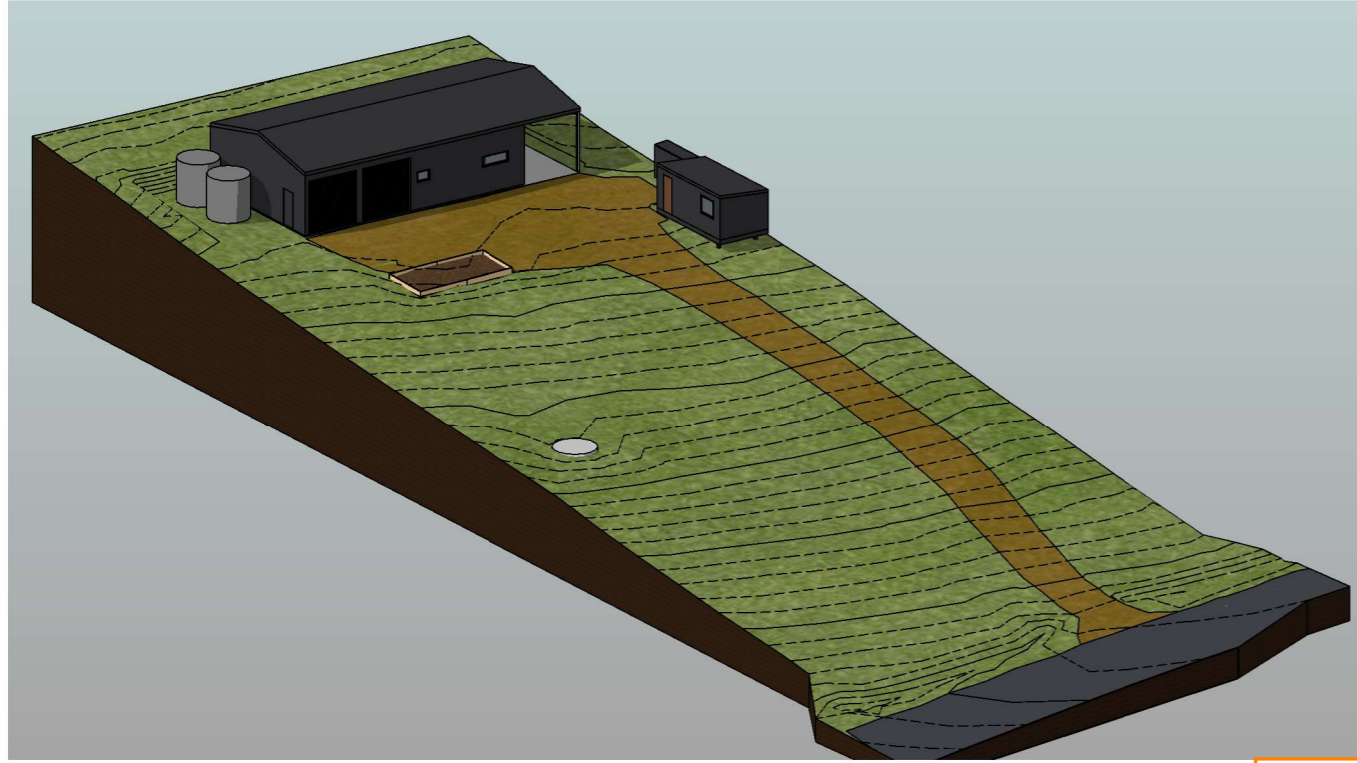


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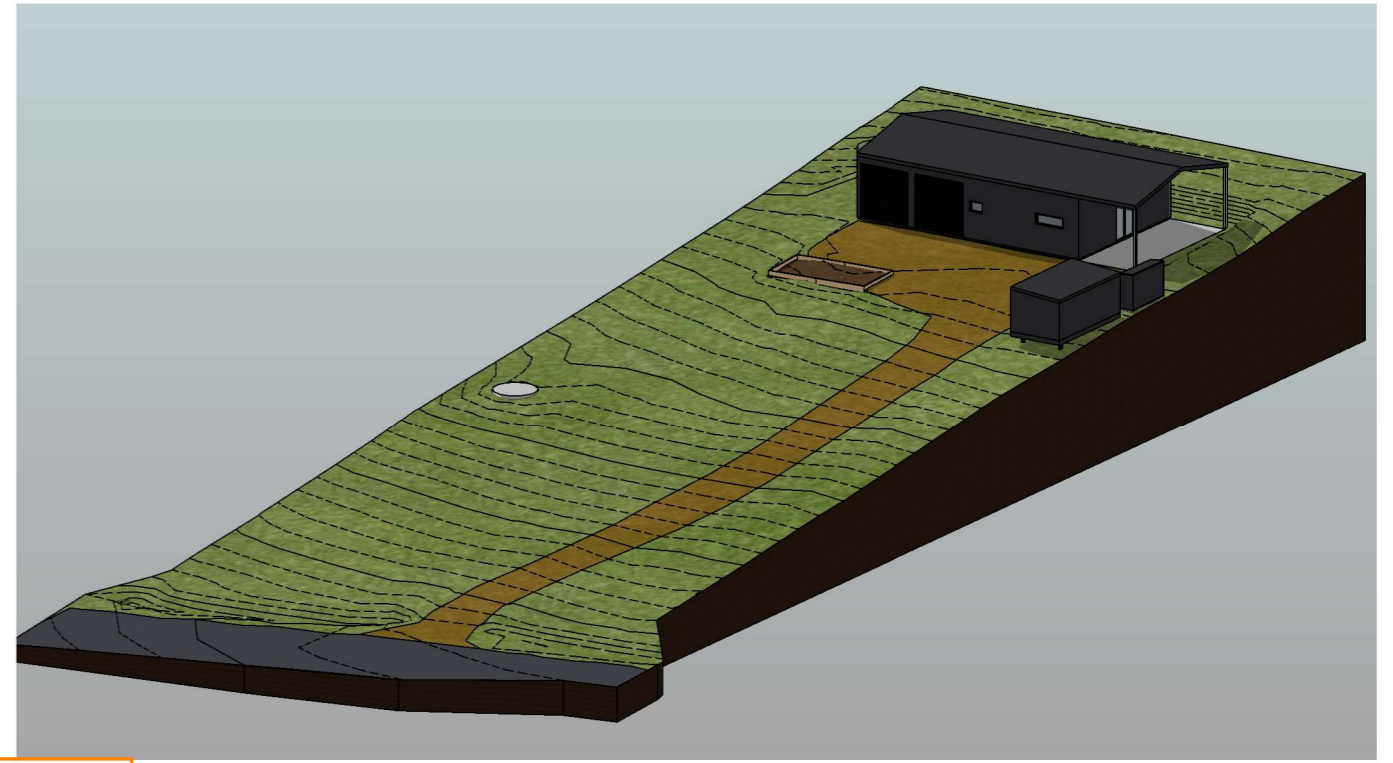
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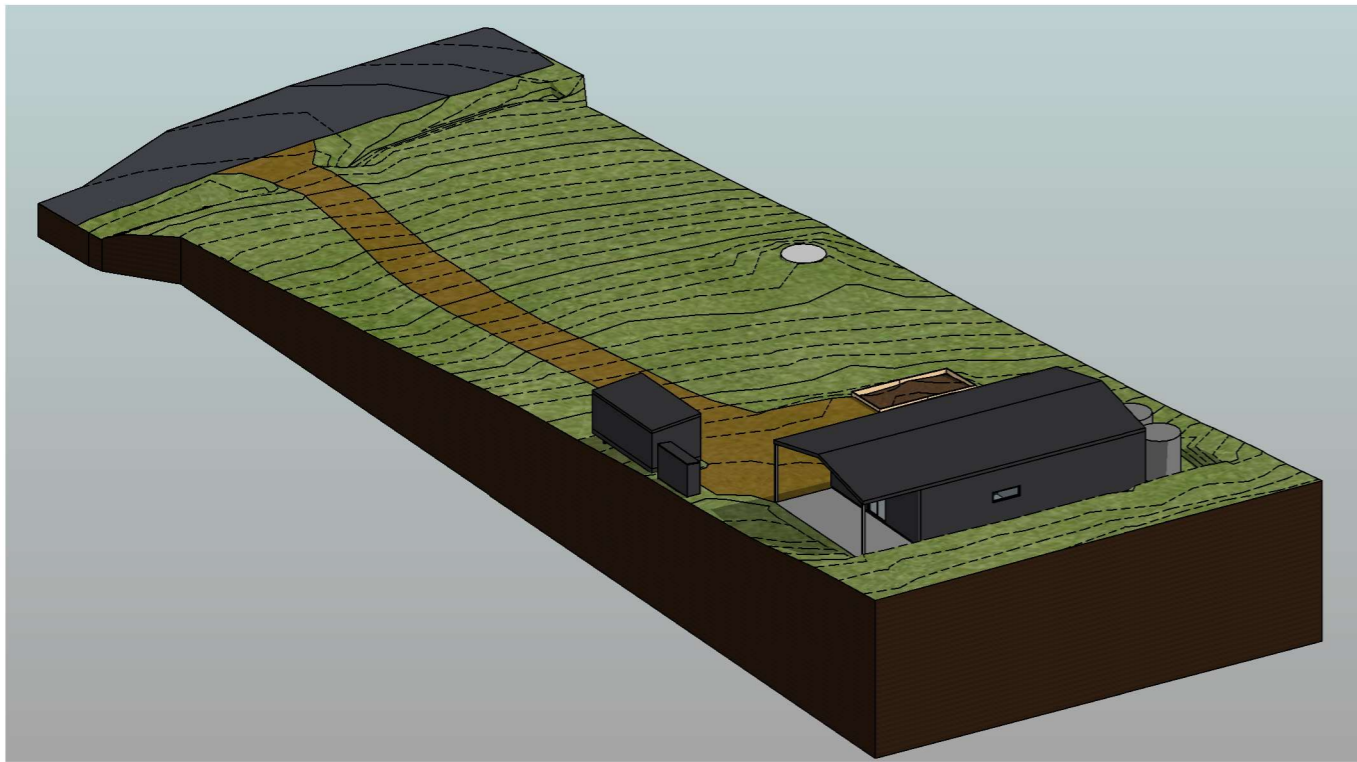
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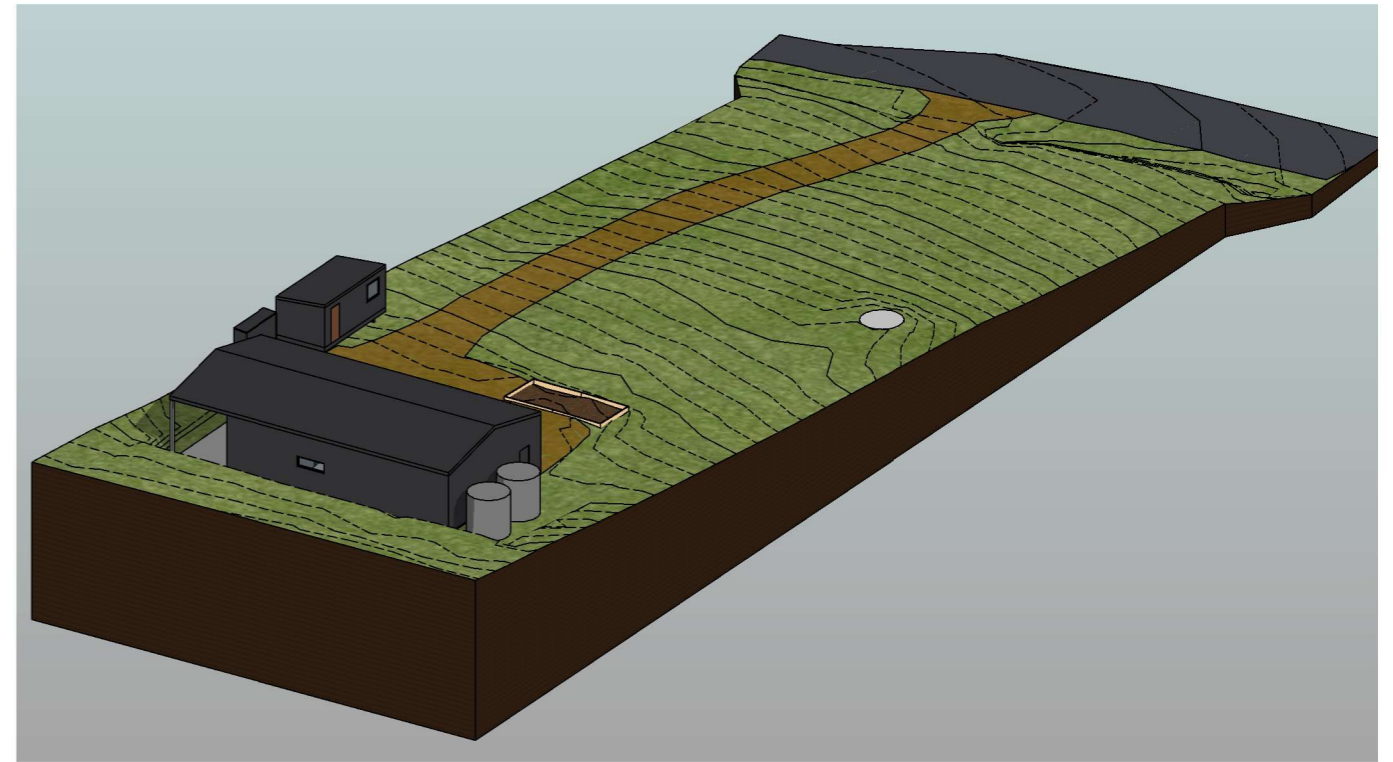
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EXISTING ORTHO VIEW 3

SUN - 12 NOON SEPT 23

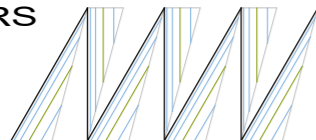


EXISTING ORTHO VIEW 4

SUN - 12 NOON SEPT 23

**MARCUS WALTERS
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0	23-09-2024	CLIENT	FOR REVIEW
1	17-01-2025	CLIENT	FOR REVIEW - DRAFT PLANNING DRAWING SET
2	28-02-2025	COUNCIL	FOR PLANNING APPROVAL

DRAWING INDEX
REFER TO COVER SHEET 000

CLIENT:	KADE & JORDAN MAYNE		
PROJECT:	PROPOSED DWELLING & EXISTING SECONDARY DWELLING 5 WHITLAM COURT, LEWISHAM, TAS 7173		
DESIGNED	DRAWN	CHECKED	SCALE.
MW	MW	MW	NTSA3

Drawing Title.		
EXISTING 3D ORTHO VIEWS		
DATE:	Issue.	Sheet No.
28-02-2025	PLANNING	005
Project Ref. MAYNE		

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DEMOLITION NOTES:

1. ALL DEMOLITION WORKS SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE DEMOLITION WORK CODE OF PRACTICE.
2. ALL DEMOLITION TO BE CARRIED OUT DURING PERMIT HOURS ONLY.
3. EXISTING FENCES AND DRIVEWAY CROSSOVER TO REMAIN.
4. BUILDER TO PROVIDE ADEQUATE MEASURES TO PREVENT TRACKING OF MUD AND DEBRIS ONTO ROAD.
5. SEDIMENT TO BE ADEQUATELY CONTROLLED TO PREVENT ENTRY INTO COUNCIL INFRASTRUCTURE.
6. SITE TO BE KEPT CLEAN AND TIDY DURING DEMOLITION
7. ALL EXISTING STRUCTURES SHALL BE MAINTAINED IN A STABLE MANNER AND ALL TEMPORARY PROPPING SHALL BE DESIGNED AND CHECKED BY A QUALIFIED STRUCTURAL ENGINEER.
8. THE BUILDER IS RESPONSIBLE TO ENSURE THAT THE STRUCTURE REMAINS STABLE AND NO PART SHALL BE OVERSTRESSED.
9. RETAIN / RE-USE ANY BUILDING MATERIALS AS A CONSEQUENCE OF DEMOLITION.
10. DISPOSAL OF ALL WASTE MATERIAL SHALL BE AT AN APPROVED REFUSE SITE.
11. ISOLATE ELECTRICAL CONNECTIONS WHERE REQUIRED, REMOVE FITTINGS AND MAKE SAFE, BY LICENSED ELECTRICAL CONTRACTOR.
12. TERMINATE AND CAP PLUMBING TO THE SATISFACTION OF THE RELEVANT AUTHORITIES
13. ANY ASBESTOS REMOVAL IS TO COMPLY WITH STATE REMOVAL GUIDELINES
14. ALL TELEPHONE SERVICES TO BE CAPPED AND TERMINATED TO THE SATISFACTION OF THE RELEVANT AUTHORITIES, AS REQUIRED
15. GAS SUPPLY TO BE CAPPED AND TERMINATED TO THE SATISFACTION OF THE RELEVANT AUTHORITIES, AS REQUIRED





PROTECTION WORKS NOTES:

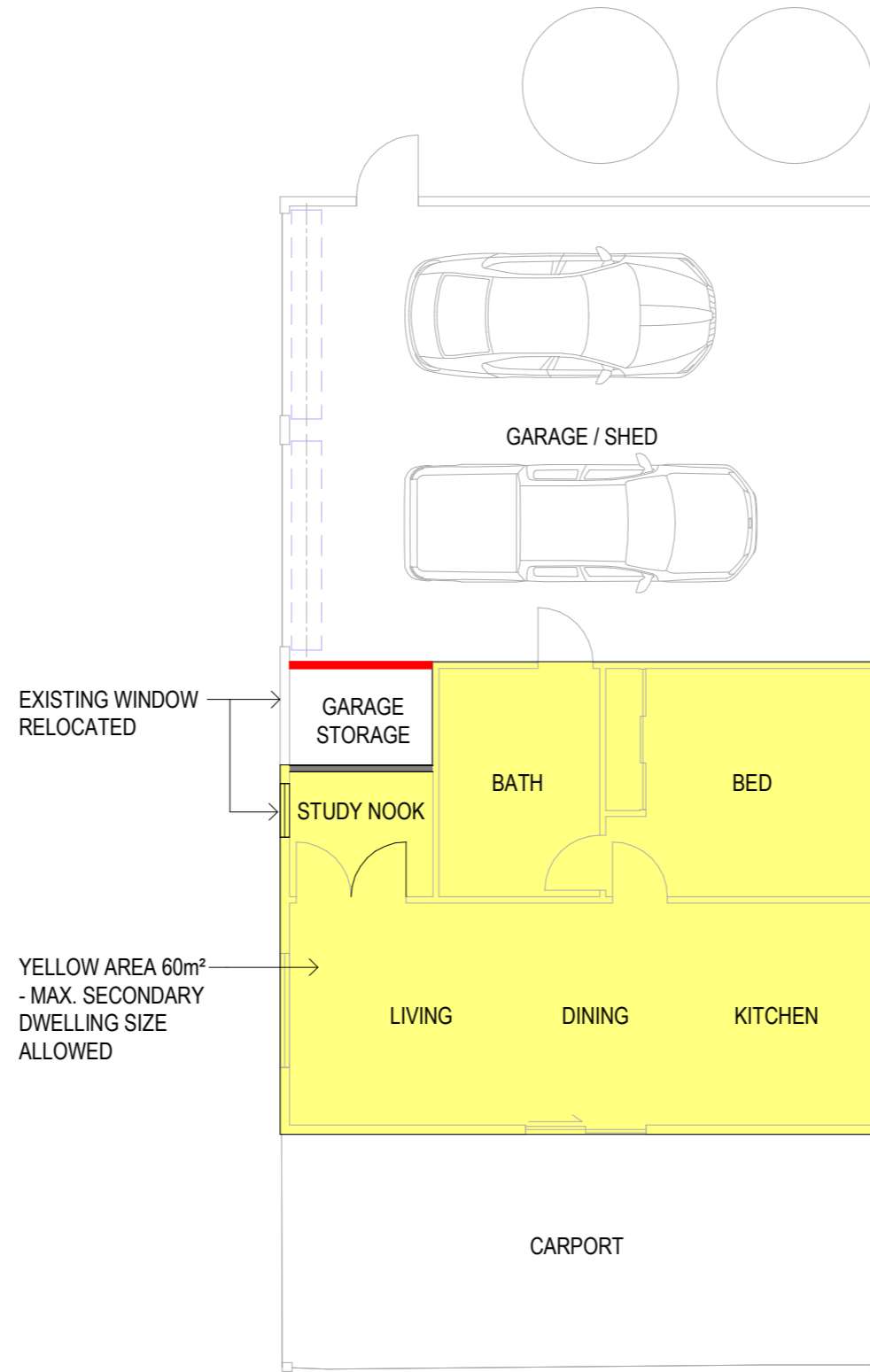
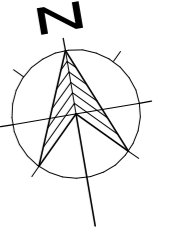
1. THE SITE / AREAS BEING DEMOLISHED SHALL BE ADEQUATELY BARRICADED TO PROTECT THE OCCUPANTS OR PUBLIC FROM INJURY.

WALL LEGEND - EXISTING AND PROPOSED:

-  EXISTING WALL
-  PROPOSED WALL

WALL LEGEND - DEMOLITION:

-  EXISTING WALL RETAINED
-  EXISTING WALL DEMOLISHED
-  EXISTING ITEM / AREA RETAINED
-  EXISTING ITEM / AREA DEMOLISHED



EXISTING DWELLING/SHED ALTERATIONS FLOOR PLAN

SCALE 1 : 100



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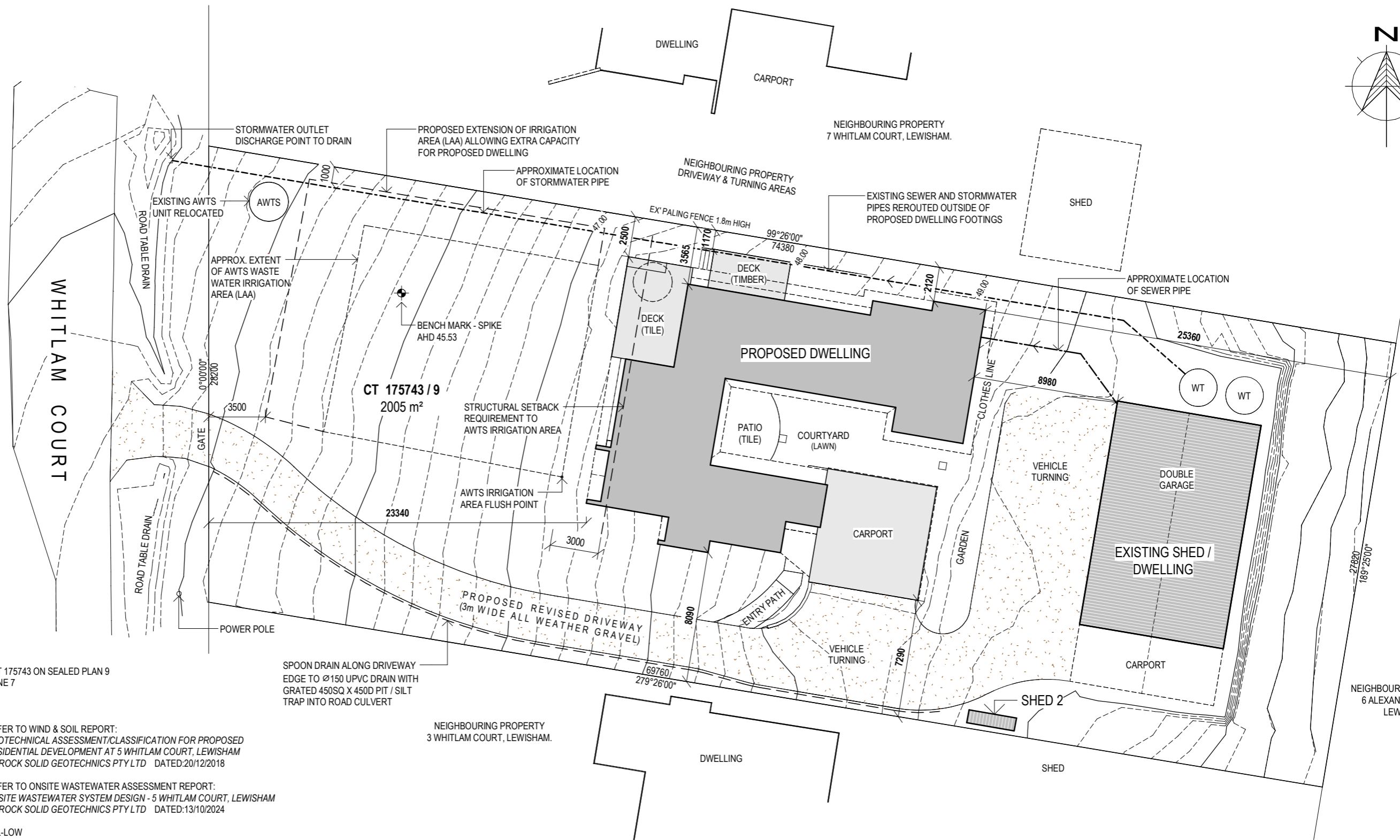
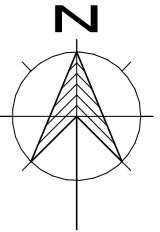
MARCUS WALTERS
 BUILDING DESIGNER
 Phone: 0406 745 368
 Email: mwaltersbdesigner@gmail.com
 Licence No. : Licence pending
 ABN : 91 130 586 770

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0	23-09-2024	CLIENT	FOR REVIEW	
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REFER TO COVER SHEET 000

CLIENT: KADE & JORDAN MAYNE				
PROJECT: PROPOSED DWELLING & EXISTING SECONDARY DWELLING 5 WHITLAM COURT, LEWISHAM, TAS 7173				
DESIGNED	DRAWN	CHECKED	SCALE: 1:100 @ A3	
MW	MW	MW		

Drawing Title: EXISTING DWELLING/SHED ALTERATIONS		
DATE: 28-02-2025	Issue: PLANNING	Sheet No. 006
Project Ref. MAYNE		



SITE DATA:

LAND TITLE REFERENCE : LOT 175743 ON SEALED PLAN 9
 CLIMATE ZONE : ZONE 7

WIND CLASSIFICATION : 'N3'
 SOIL CLASSIFICATION : 'M'

REFER TO WIND & SOIL REPORT:
 GEOTECHNICAL ASSESSMENT/CLASSIFICATION FOR PROPOSED
 RESIDENTIAL DEVELOPMENT AT 5 WHITLAM COURT, LEWISHAM
 BY ROCK SOLID GEOTECHNICS PTY LTD DATED:20/12/2018

WASTEWATER ASSESSMENT : REFER TO ONSITE WASTEWATER ASSESSMENT REPORT:
 ONSITE WASTEWATER SYSTEM DESIGN - 5 WHITLAM COURT, LEWISHAM
 BY ROCK SOLID GEOTECHNICS PTY LTD DATED:13/10/2024

BAL RATING : BAL-LOW
 REFER TO REPORT:
 BUSHFIRE HAZARD ASSESSMENT REPORT FOR 5 WHITLAM COURT LEWISHAM
 BY BUSHFIRE TASMANIA DATED: FEB 2025

ALPINE AREA : NO
 CORROSION ENVIRONMENT : MEDIUM
 OTHER HAZARDS : N/A
 PLANNING SCHEME & ZONE : SORELL TPS - LOW DENSITY RESIDENTIAL
 PLANNING OVERLAYS : BUSHFIRE-PRONE AREAS 13
 AIRPORT OBSTACLE LIMITATION AREA 16

SITE AREAS:
 LOT SIZE : 2005.0 m²
 TOTAL FOOTPRINT : 440.4 m² (PROPOSED DWELLING 276.3 m²)
 SITE COVERAGE : 21.9 %

SPOON DRAIN ALONG DRIVEWAY
 EDGE TO Ø150 UPVC DRAIN WITH
 GRATED 450SQ X 450D PIT / SILT
 TRAP INTO ROAD CULVERT

NEIGHBOURING PROPERTY
 3 WHITLAM COURT, LEWISHAM.

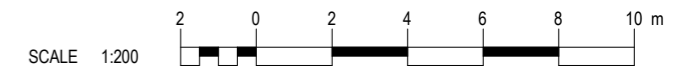
NEIGHBOURING PROPER
 6 ALEXANDER COURT,
 LEWISHAM.

PROPOSED SITE PLAN

SCALE 1 : 250

NOTE: PROPOSED DWELLING TO SHARE ALL EXISTING SERVICES WITH NO NEW INDEPENDENT SERVICES. SERVICES TO PROPOSED SECONDARY DWELLING TO BE APPURTENANT TO PROPOSED SINGLE DWELLING.

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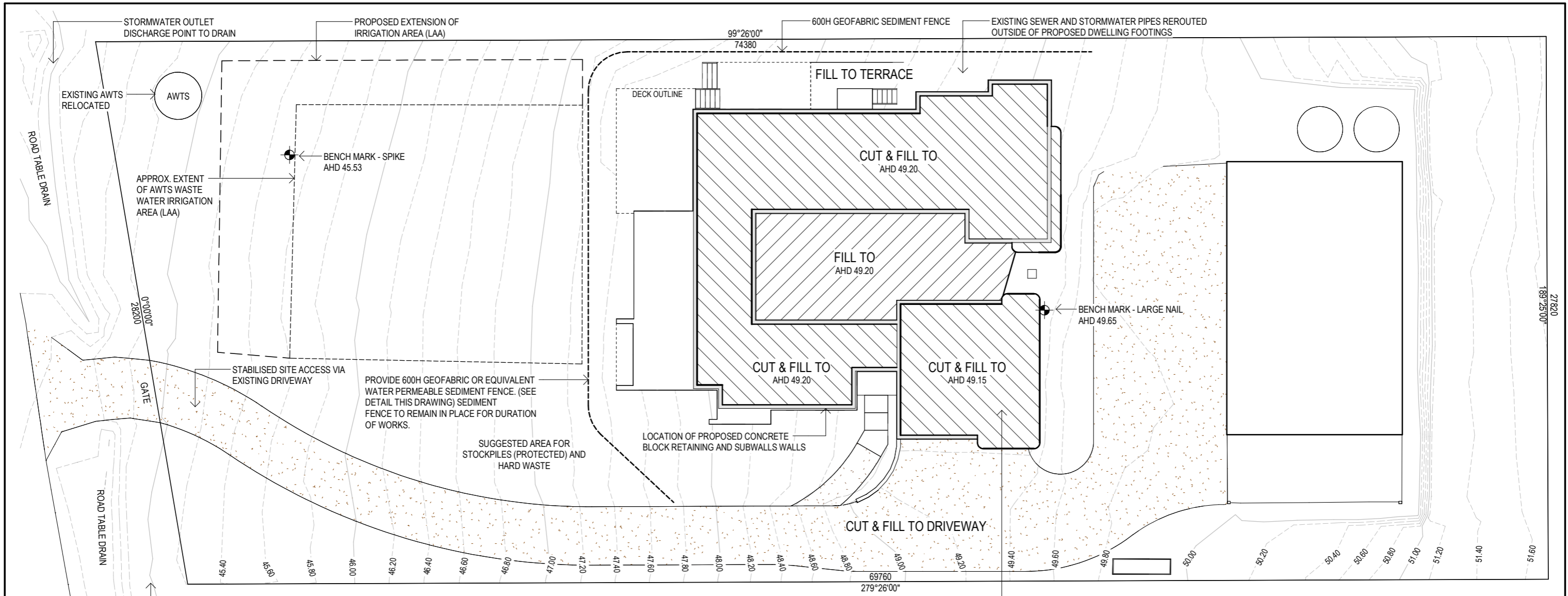
MARCUS WALTERS
BUILDING DESIGNER
 Phone: 0406 745 368
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 Licence No. : Licence pending
 ABN : 91 130 586 770

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MW	MW	MW	As indicated @ A3

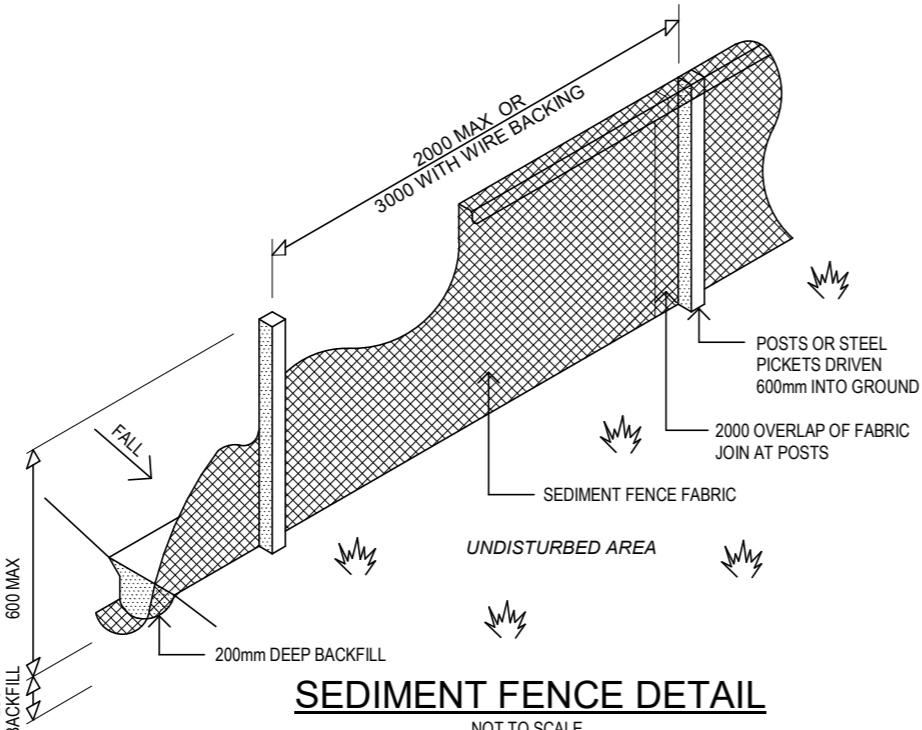
Drawing Title: PROPOSED SITE PLAN		
DATE: 28-02-2025	Issue: PLANNING	Sheet No. 007
Project Ref. MAYNE		



STORMWATER OUTLET DISCHARGE POINT TO DRAIN
 PROPOSED EXTENSION OF IRRIGATION AREA (LAA)
 EXISTING AWTS RELOCATED
 AWTS
 APPROX. EXTENT OF AWTS WASTE WATER IRRIGATION AREA (LAA)
 BENCH MARK - SPIKE AHD 45.53
 ROAD TABLE DRAIN
 0°00'00" 28200
 GATE
 ROAD TABLE DRAIN
 POWER POLE

- NOTES:**
- IT IS THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL, MAINTAIN AND (UPON COMPLETION) REMOVE ALL SEDIMENT CONTROL MEASURES.
 - SEDIMENT FENCE TO BE CHECKED AND CLEANED DAILY TO PREVENT BREAKAGE AND OVERTOPPING.
 - PROVIDE TEMPORARY CONNECTION FROM DOWNPIPES TO STORMWATER DRAIN IMMEDIATELY FOLLOWING COMPLETION OF ROOF CLADDING, FASCIA AND GUTTER INSTALLATION. PERMANENT DOWNPIPE CONNECTION TO BE INSTALLED AT APPROPRIATE TIME OF DWELLING CONSTRUCTION.

- PROTECTION WORKS NOTES:**
- THE SITE/AREAS BEING EXCAVATED SHALL BE ADEQUATELY BARRICADED TO PROTECT THE CONTRACTORS OR PUBLIC FROM INJURY.



SEDIMENT FENCE DETAIL
 NOT TO SCALE

IDENTIFY AREAS OF BARE SOIL ESPECIALLY ON SLOPES GREATER THAN 1 IN 3 THAT MAY NEED EROSION CONTROL MATS OR EROSION CONTROL BLANKETS

EXCAVATED MATERIAL FROM FOUNDATIONS SHALL REMAIN STOCKPILED ON SITE FOR ANY REQUIRED SITE REHABILITATION / FILL AND LANDSCAPING AT COMPLETION. ANY EXCESS TO BE TAKEN TO LOCAL REFUSE SITE. EXCAVATED MATERIAL STOCKPILED ON SITE TO BE PROTECTED AND DIVERSION DRAINAGE PROVIDED.

NOTE: AREAS OF CUT & FILL TO BE CONFIRMED ONCE STRUCTURAL ENGINEERING DESIGN IS COMPLETED

CUT / FILL & SOIL / WATER MANAGEMENT PLAN
 SCALE 1 : 200

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 Plans Reference: P1
 Date Received: 4/03/2025

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 Email: m.waltersbdesigner@gmail.com
 Licence No.: Licence pending
 ABN: 91 130 586 770

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DESIGNED	DRAWN	CHECKED	SCALE:
MW	MW	MW	As indicated @ A3

Drawing Title: CUT/FILL MANAGEMENT PLAN		
DATE: 28-02-2025	Issue: PLANNING	Sheet No. 008
Project Ref: MAYNE		

STAIRS / HANDRAIL NOTES:

- CLOSED TIMBER STAIRS CONSTRUCTED IN ACCORDANCE WITH BCA PART 3.9.1
- TREADS MUST HAVE A SLIP-RESISTANT FINISH OF A SUITABLE NON-SKID STRIP NEAR THE EDGE OF THE NOSINGS.
- RISER AND GOING DIMENSIONS IN ACCORDANCE WITH BCA PART 3.9.1.4.
 RISER (R) MAX. 190 - MIN. 115
 GOING (G) MAX. 355 - MIN. 240
 SLOPE RELATIONSHIP
 2R + G MAX. 700 - MIN. 550
- INSTALL HANDRAIL TO ONE SIDE OF FLIGHT IN ACCORDANCE WITH BCA PART 3.9.2.4.

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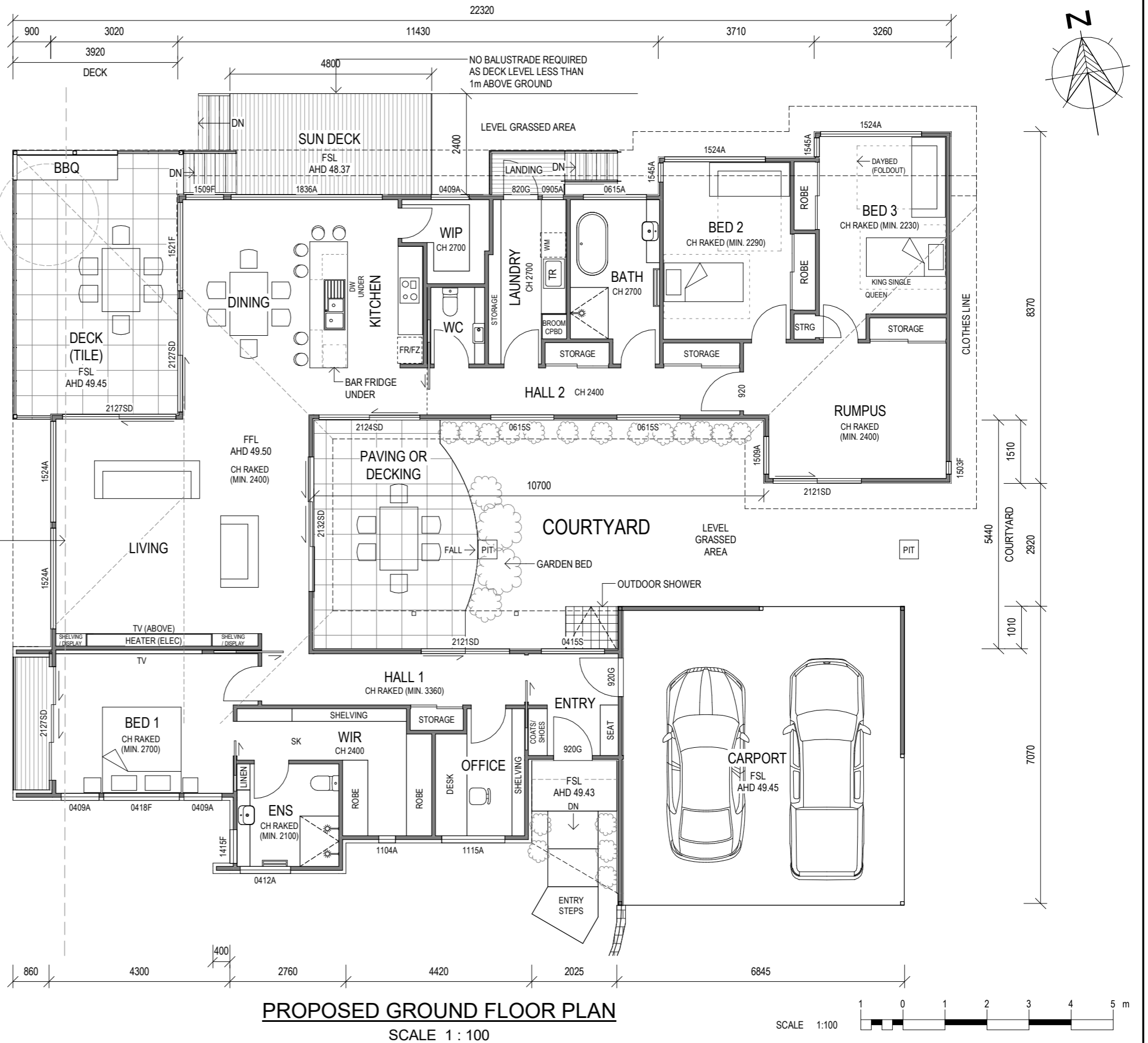
FLOOR FINISHES LEGEND:

- [C] - CARPET
- [CT] - CERAMIC TILES
- [NC] - NATURAL CONCRETE
- [PC] - POLISHED CONCRETE
- [TFB] - TIMBER FLOOR BOARDS
- [RF] - RESILIENT FLOORING

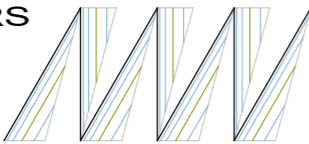
DOOR AND WINDOW LEGEND:

- 2106 A
 TYPE
 WIDTH (600)
 HEIGHT (2100)
- A - AWNING WINDOW
 - BFD - BIFOLD DOOR
 - BFDM - BIFOLD DOOR MULTI PANEL
 - CG - CORNER BUTT JOINT GLAZING
 - CSD - CAVITY SLIDING DOOR
 - F - FIXED GLAZING
 - GB - GLASS BRICK
 - L - LOUVRE
 - OB - OBSCURE GLAZING
 - S - SLIDING WINDOW
 - SD - SLIDING DOOR
 - SDC - CORNER SLIDING DOOR
 - STKSD - STACKING TYPE SLIDING DOOR

NOTE: PROPOSED DWELLING TO SHARE ALL EXISTING SERVICES WITH NO NEW INDEPENDENT SERVICES. SERVICES TO PROPOSED SECONDARY DWELLING TO BE APPURTENANT TO PROPOSED SINGLE DWELLING.



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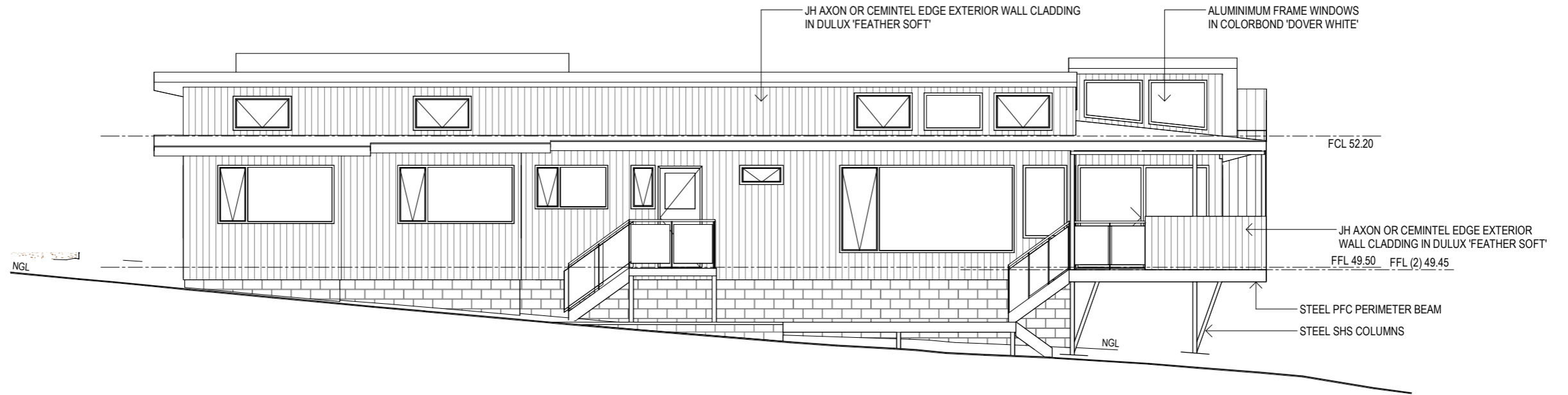
REFER TO COVER SHEET 000

CLIENT: KADE & JORDAN MAYNE			
PROJECT: PROPOSED DWELLING & EXISTING SECONDARY DWELLING 5 WHITLAM COURT, LEWISHAM, TAS 7173			
DESIGNED	DRAWN	CHECKED	SCALE:
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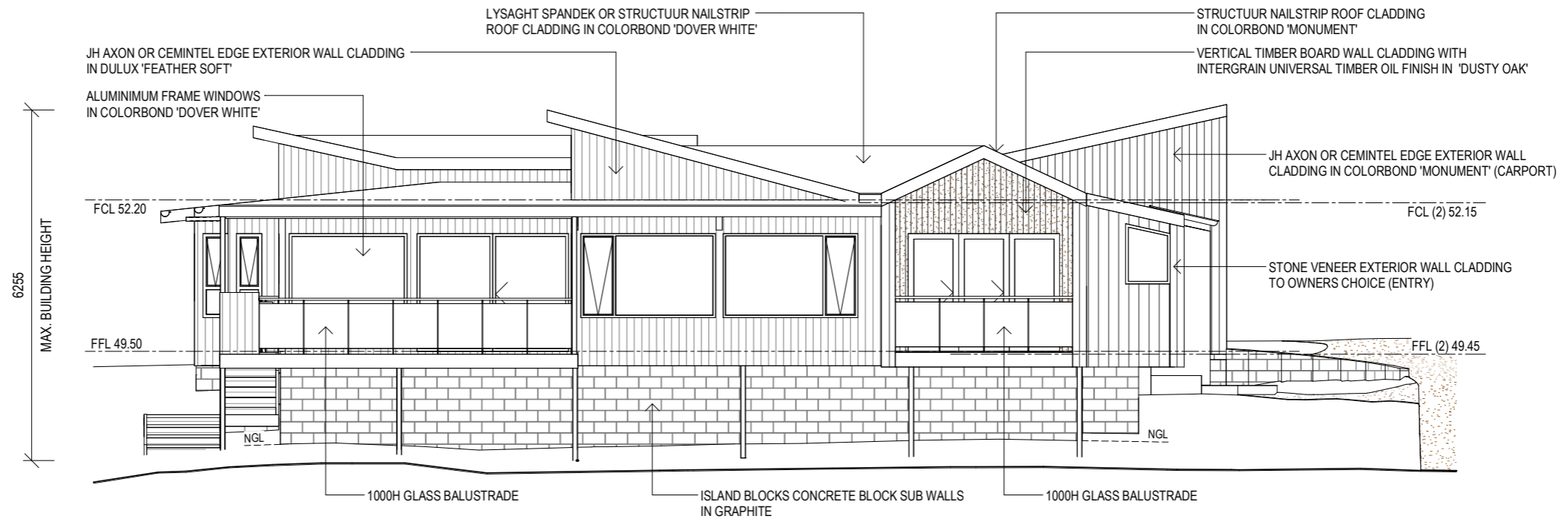
Drawing Title: PROPOSED GROUND FLOOR PLAN		
DATE: 28-02-2025	Issue: PLANNING	Sheet No. 009
Project Ref. MAYNE		

STAIRS / HANDRAIL NOTES:

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 GOING (G) MAX. 355 - MIN. 240
 SLOPE RELATIONSHIP
 2R + G MAX. 700 - MIN. 550
4. INSTALL HANDRAIL TO ONE SIDE OF FLIGHT IN ACCORDANCE WITH BCA PART 3.9.2.4.



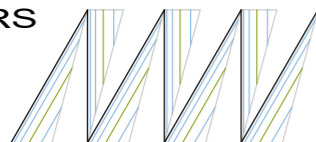
PROPOSED NORTH ELEVATION
SCALE 1 : 100



PROPOSED WEST ELVATION
SCALE 1 : 100

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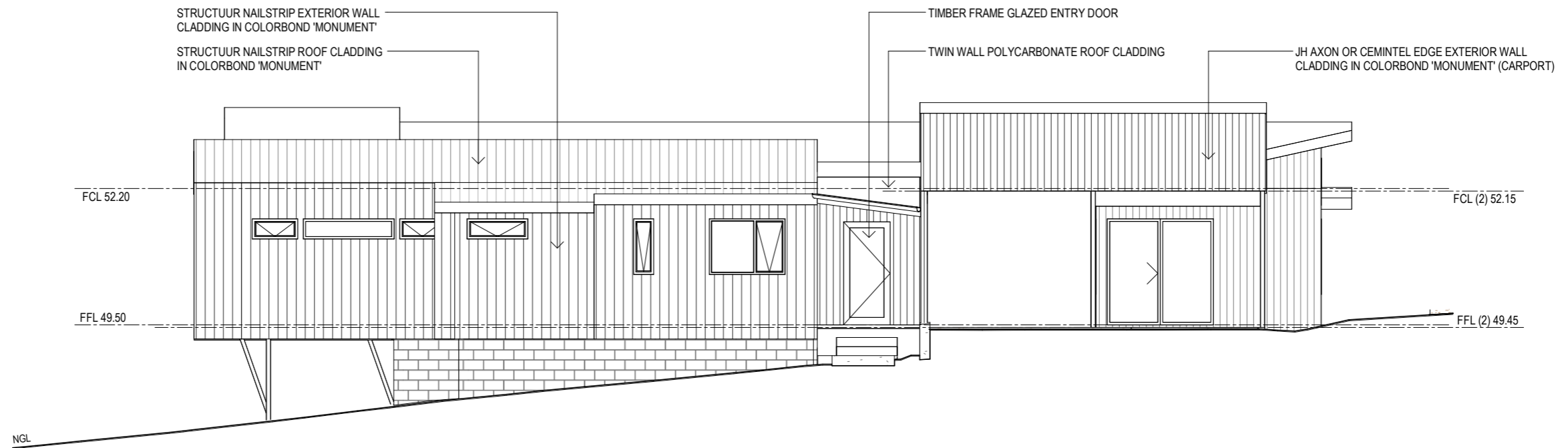
CLIENT: KADE & JORDAN MAYNE			
PROJECT: PROPOSED DWELLING & EXISTING SECONDARY DWELLING 5 WHITLAM COURT, LEWISHAM, TAS 7173			
DESIGNED	DRAWN	CHECKED	SCALE:
MW	MW	MW	1:100 @ A3

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Drawing Title: PROPOSED ELEVATIONS 1 OF 3		
DATE: 28-02-2025	Issue: PLANNING	Sheet No. 010
Project Ref. MAYNE		

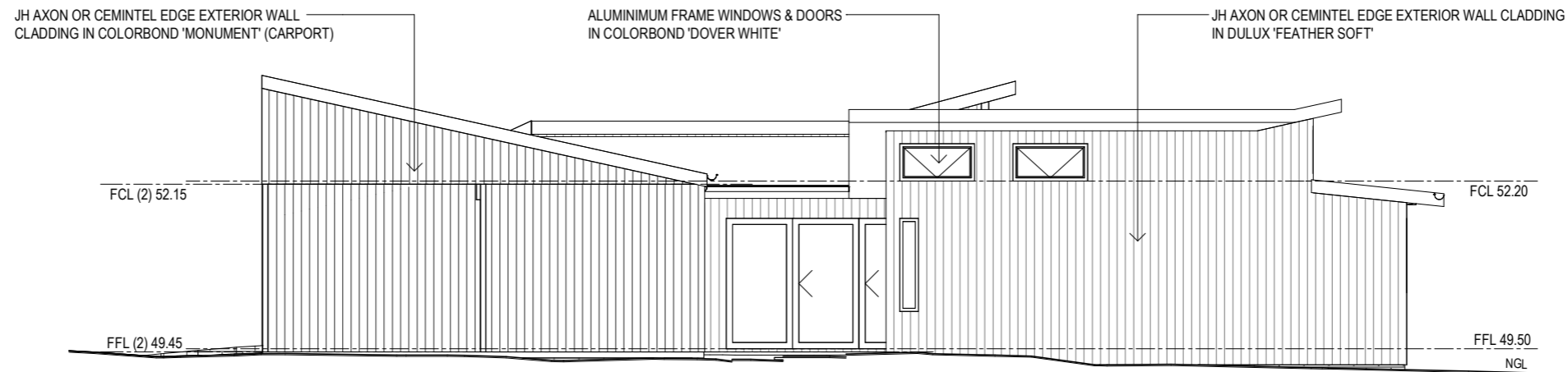
STAIRS / HANDRAIL NOTES:

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 GOING (G) MAX. 355 - MIN. 240
 SLOPE RELATIONSHIP
 2R + G MAX. 700 - MIN. 550
4. INSTALL HANDRAIL TO ONE SIDE OF FLIGHT IN ACCORDANCE WITH BCA PART 3.9.2.4.



PROPOSED SOUTH ELEVATION

SCALE 1 : 100

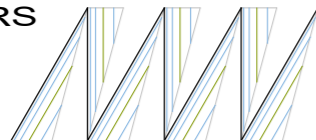


PROPOSED EAST ELEVATION

SCALE 1 : 100

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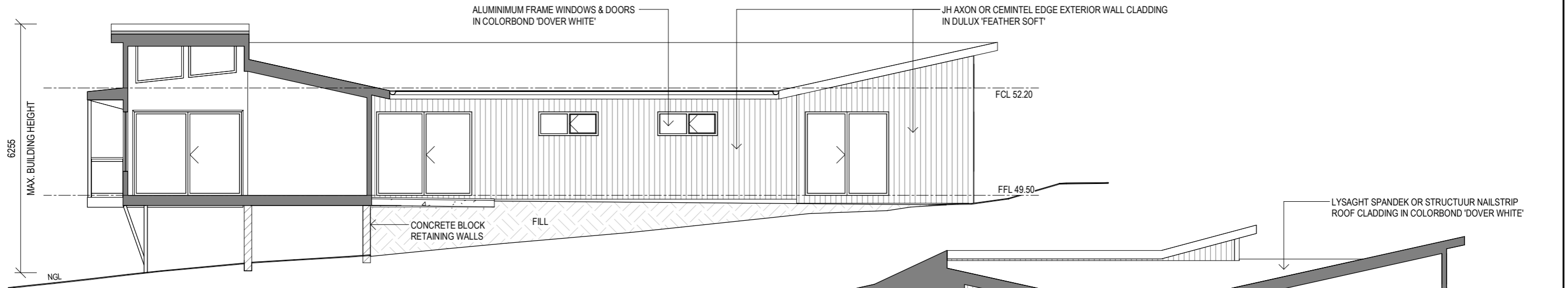


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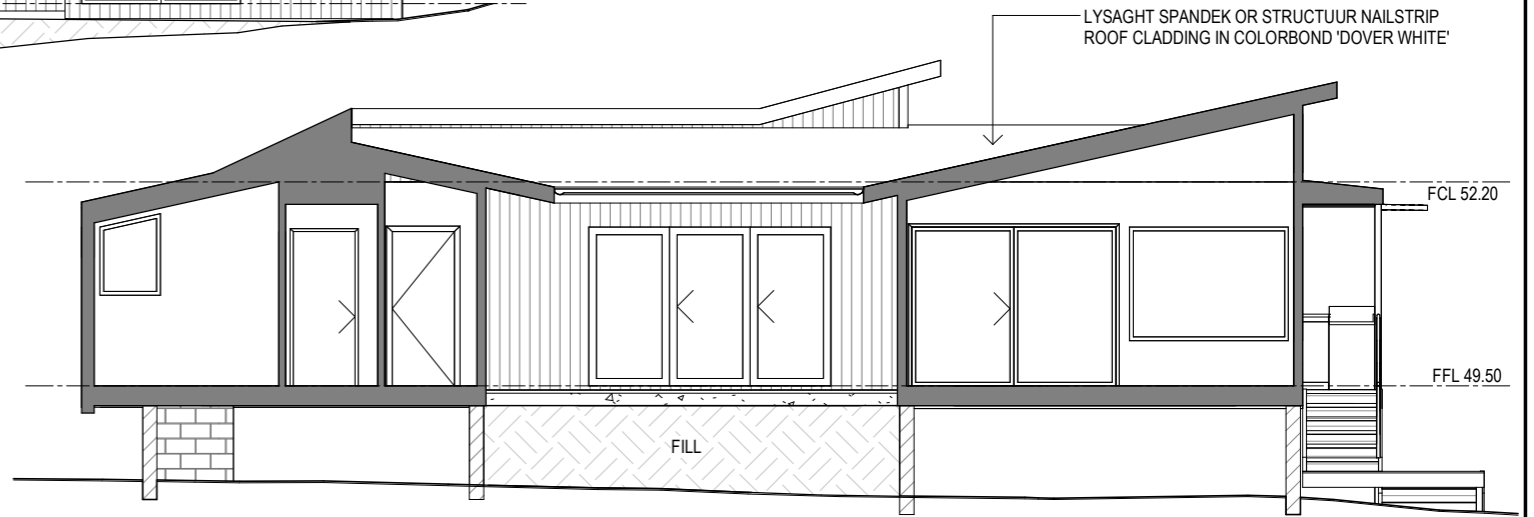
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PROJECT: PROPOSED DWELLING & EXISTING SECONDARY DWELLING 5 WHITLAM COURT, LEWISHAM, TAS 7173			
DESIGNED	DRAWN	CHECKED	SCALE:
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Drawing Title: PROPOSED ELEVATIONS 2 OF 3		
DATE: 28-02-2025	Issue: PLANNING	Sheet No. 011
Project Ref. MAYNE		

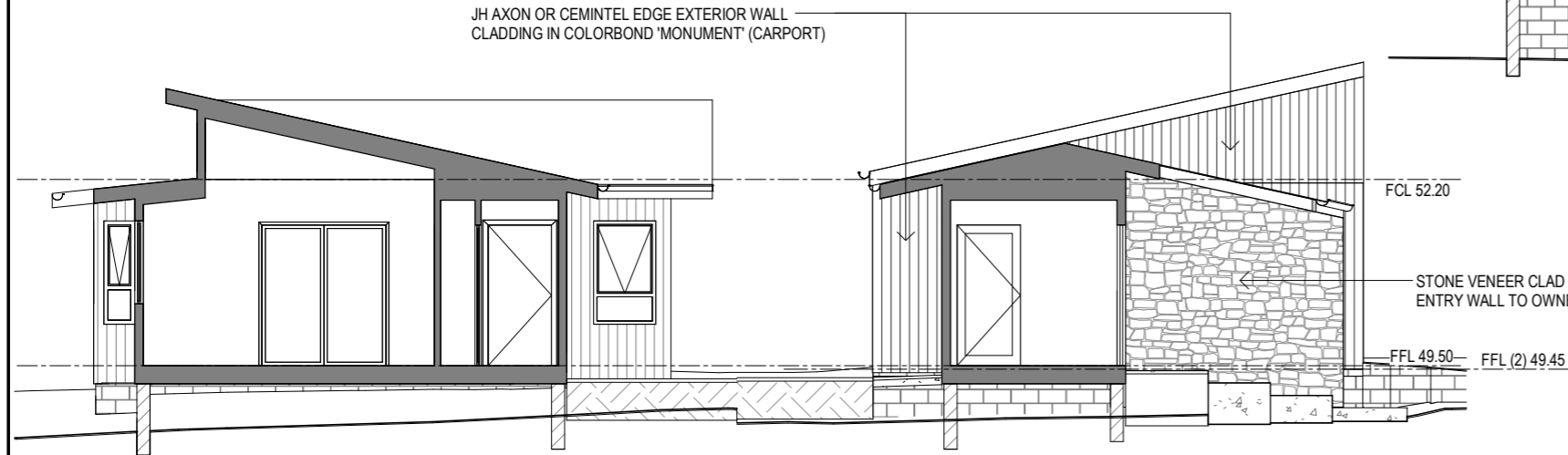
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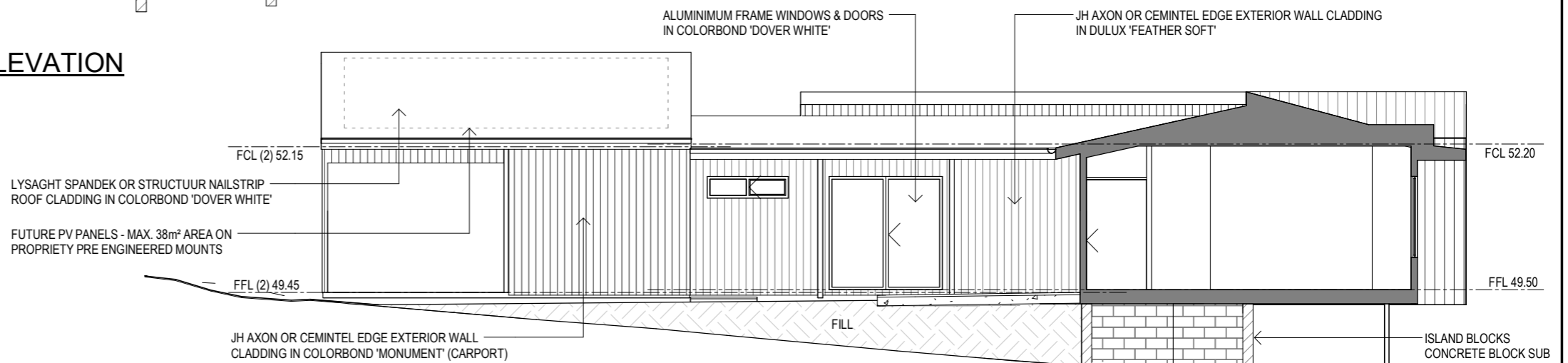
PROPOSED SOUTH COURTYARD ELEVATION
SCALE 1 : 100



PROPOSED EAST COURTYARD ELEVATION
SCALE 1 : 100



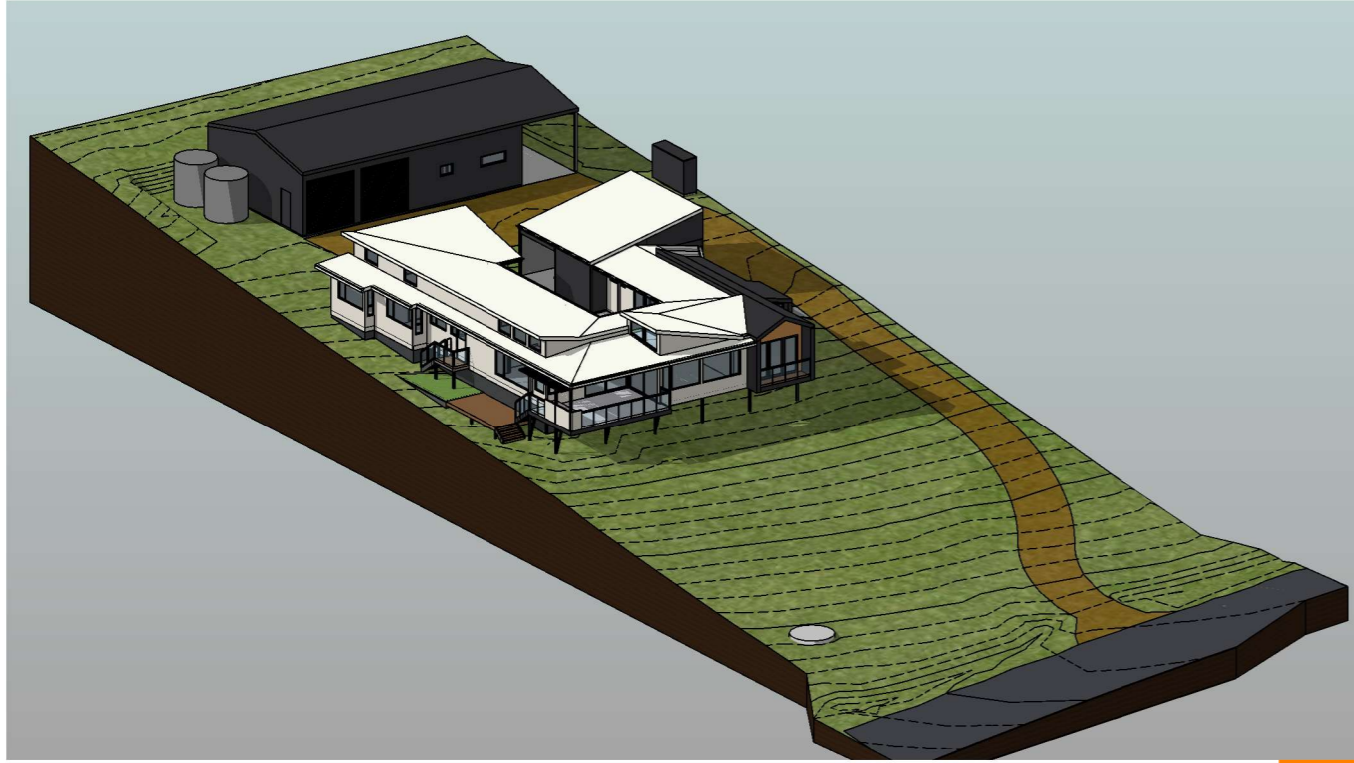
PROPOSED WEST COURTYARD ELEVATION
SCALE 1 : 100



PROPOSED NORTH COURTYARD ELEVATION
SCALE 1 : 100

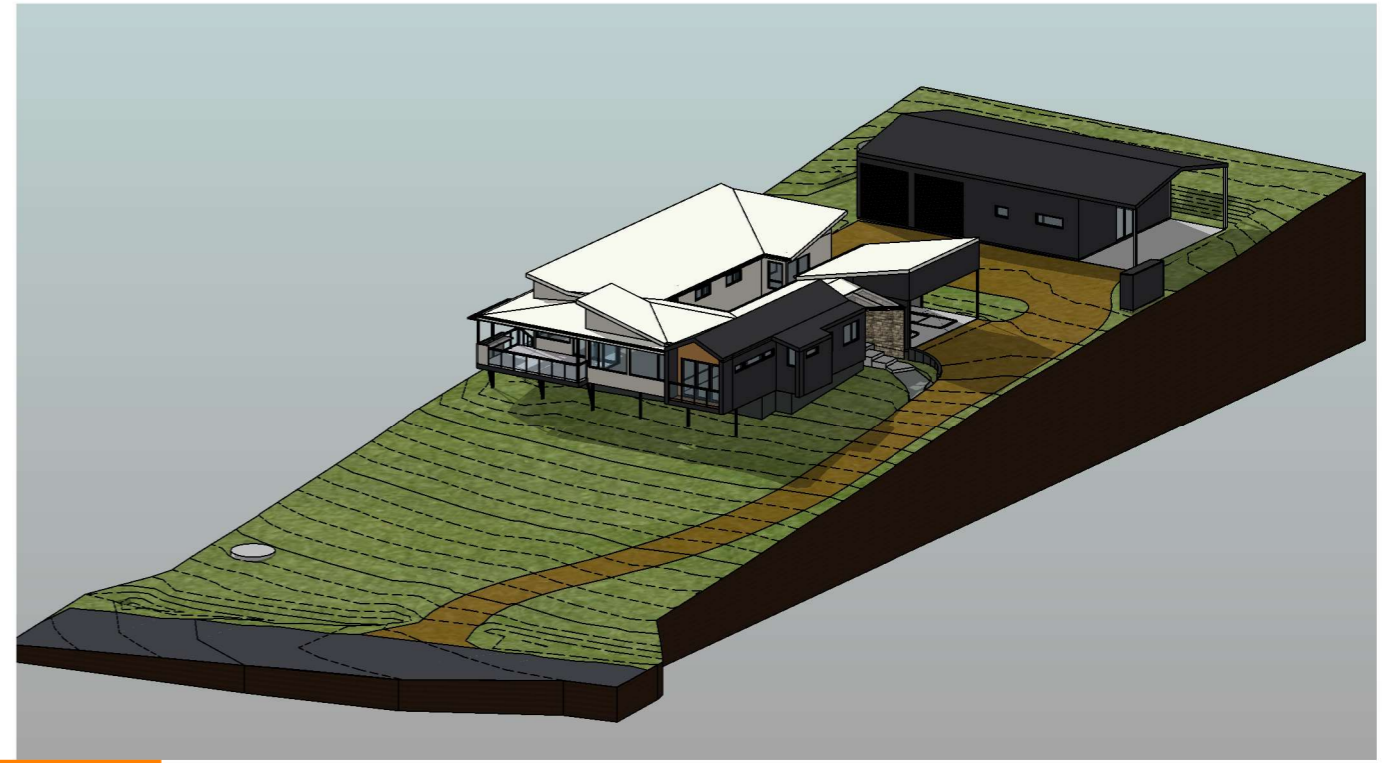
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		0	17-01-2025	CLIENT	FOR REVIEW - DRAFT PLANNING DRAWING SET	REFER TO COVER SHEET 000	KADE & JORDAN MAYNE	PROPOSED ELEVATIONS 3 OF 3			
							PROJECT:	DATE:	Issue.	Sheet No.	
							PROPOSED DWELLING & EXISTING SECONDARY DWELLING	28-02-2025	PLANNING	012	
							5 WHITLAM COURT, LEWISHAM, TAS 7173	Project Ref.	MAYNE		
							DESIGNED	DRAWN	CHECKED	SCALE.	
							MW	MW	MW	1:100 @ A3	
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PROPOSED ORTHO VIEW 1

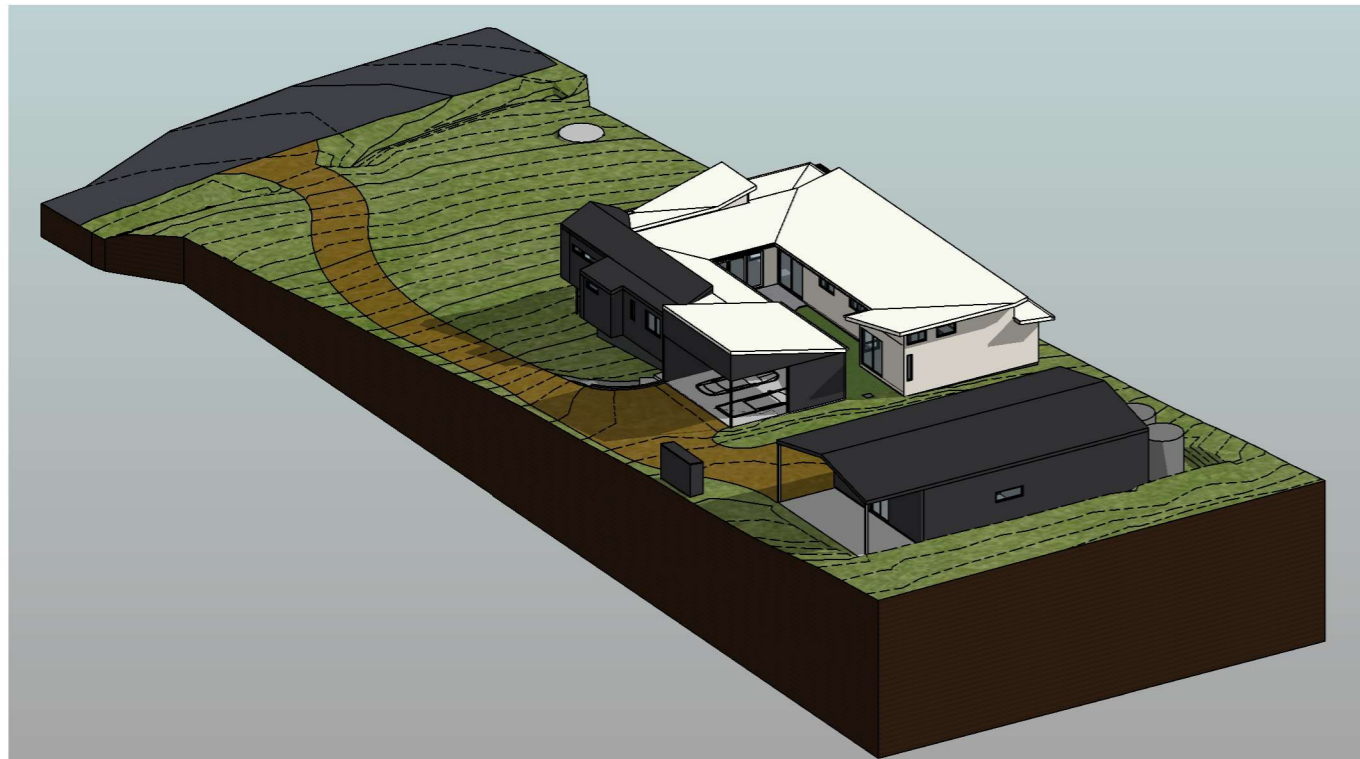
SUN - 12 NOON SEPT 23



PROPOSED ORTHO VIEW 2

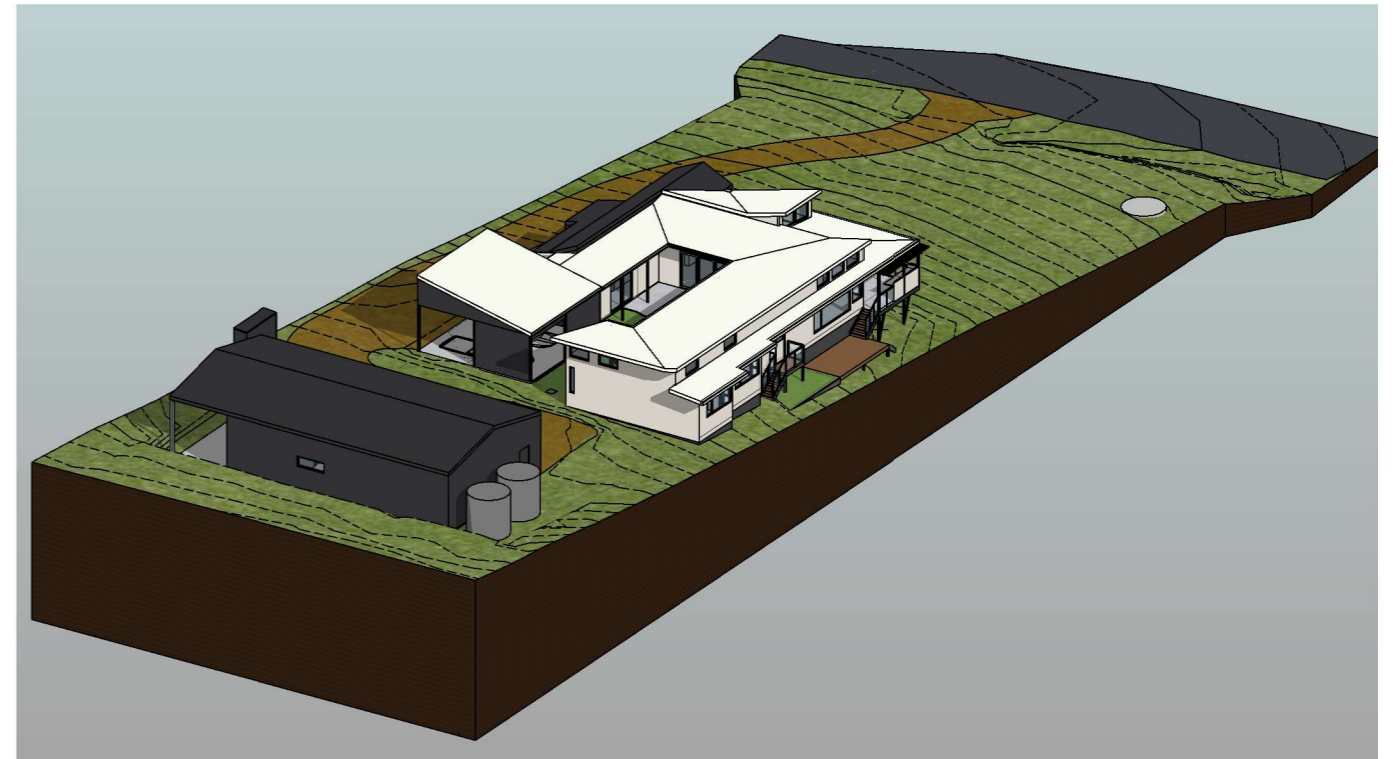
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PROPOSED ORTHO VIEW 3

SUN - 12 NOON SEPT 23

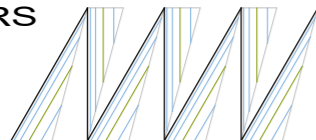


PROPOSED ORTHO VIEW 4

SUN - 12 NOON SEPT 23

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 BUILDING DESIGNER**

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DESIGNED	DRAWN	CHECKED	SCALE:	
MW	MW	MW	NTS @ A3	
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Drawing Title: PROPOSED 3D ORTHO VIEWS		
DATE: 28-02-2025	Issue: PLANNING	Sheet No. 013
Project Ref. MAYNE		



3D PERSPECTIVE VIEW 1

SUN - 4PM DEC 21 (SUMMER SOLSTICE)



3D PERSPECTIVE VIEW 2

SUN - 12 NOON JUN 21 (WINTER SOLSTICE)

Sorell Council
 Development Application: 5.2025.52.1 -
 Development Application - 5 Whitlam Court,
 Lewisham P1.pdf
 Plans Reference:P1
 Date Received:4/03/2025



3D PERSPECTIVE VIEW 3

SUN - 5PM DEC 21 (SUMMER SOLSTICE)

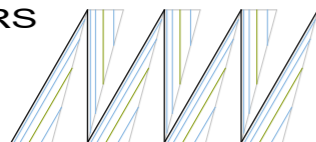


3D PERSPECTIVE VIEW 4

SUN - 4PM DEC 21 (SUMMER SOLSTICE)

**MARCUS WALTERS
 BUILDING DESIGNER**

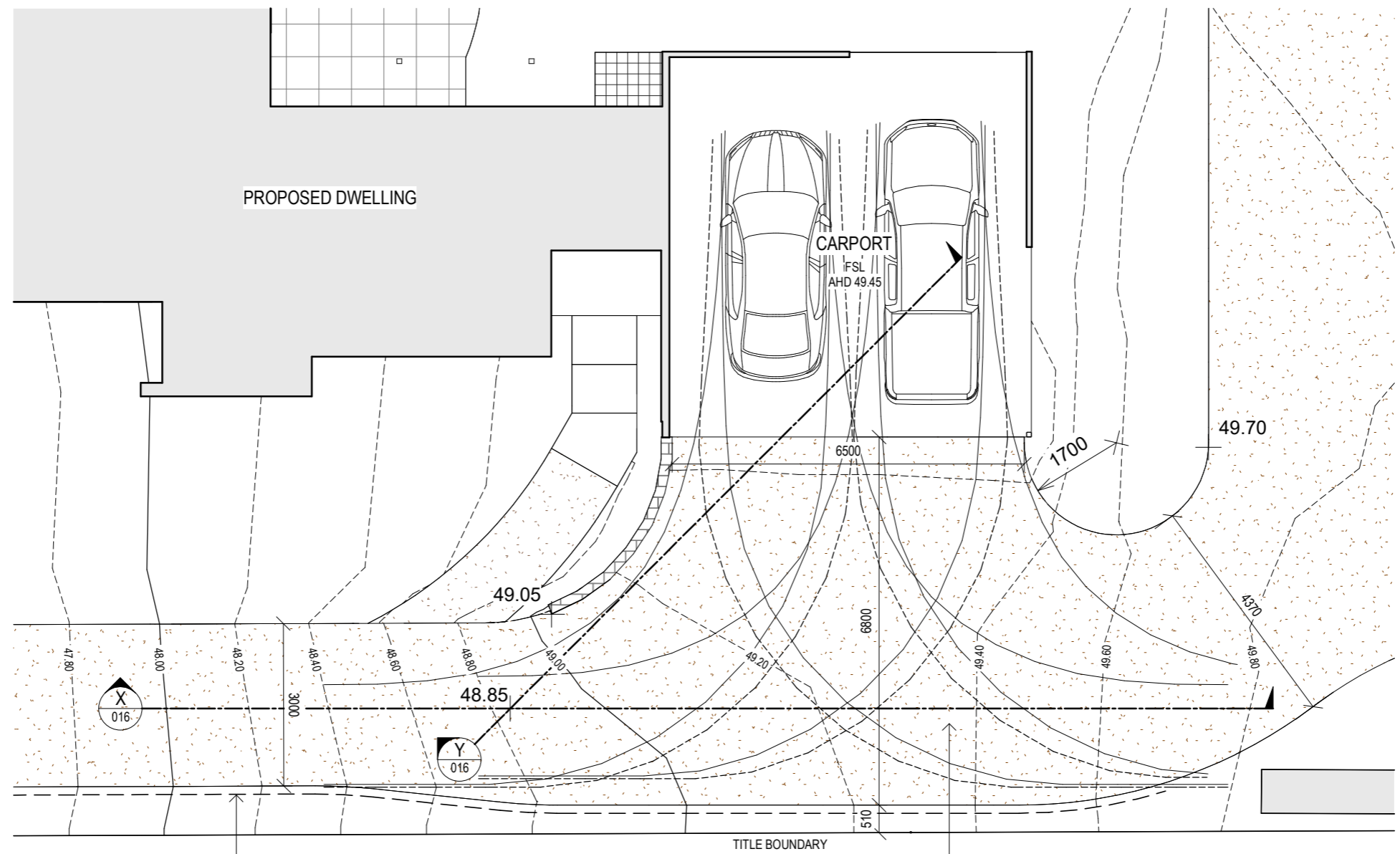
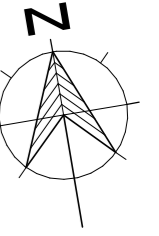
Phone: 0406 745 368
 Email: mwaltersdesigner@gmail.com
 Licence No. : Licence pending
 ABN : 91 130 586 770



REV.	DATE	ISSUED TO	DESCRIPTION	DRAWING INDEX
0	17-01-2025	CLIENT	FOR REVIEW - DRAFT PLANNING DRAWING SET	REFER TO COVER SHEET 000
1	28-02-2025	COUNCIL	FOR PLANNING APPROVAL	

CLIENT: KADE & JORDAN MAYNE				
PROJECT: PROPOSED DWELLING & EXISTING SECONDARY DWELLING 5 WHITLAM COURT, LEWISHAM, TAS 7173				
© Drawing not to be reproduced without written consent. Dimensions in millimetres unless noted otherwise. DO NOT SCALE DRAWINGS. ONLY USE WRITTEN DIMENSIONS.				
DESIGNED MW	DRAWN MW	CHECKED MW	SCALE: NTS @ A3	

Drawing Title: PROPOSED 3D VIEWS		
DATE: 28-02-2025	Issue: PLANNING	Sheet No. 014
Project Ref. MAYNE		



SPOON DRAIN ALONG DRIVEWAY EDGE TO Ø150
UPVC DRAIN WITH GRATED 450SQ X 450D PIT / SILT
TRAP INTO ROAD CULVERT

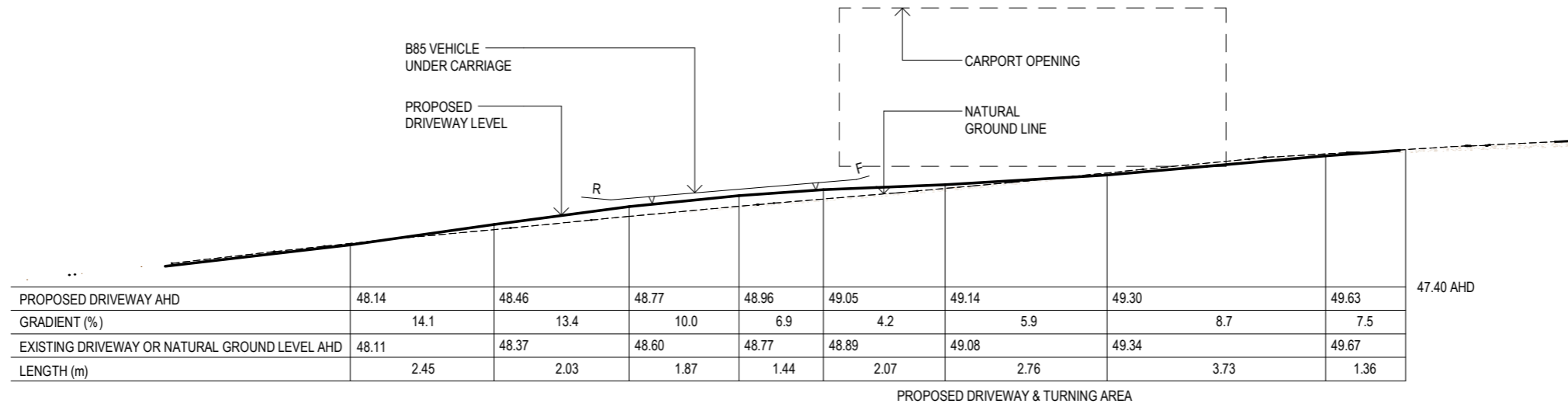
DURABLE ALL WEATHER PAVEMENT
GRAVEL DRIVEWAY AND TURNING AREAS

PROPOSED DRIVEWAY PLAN
SCALE 1 : 100

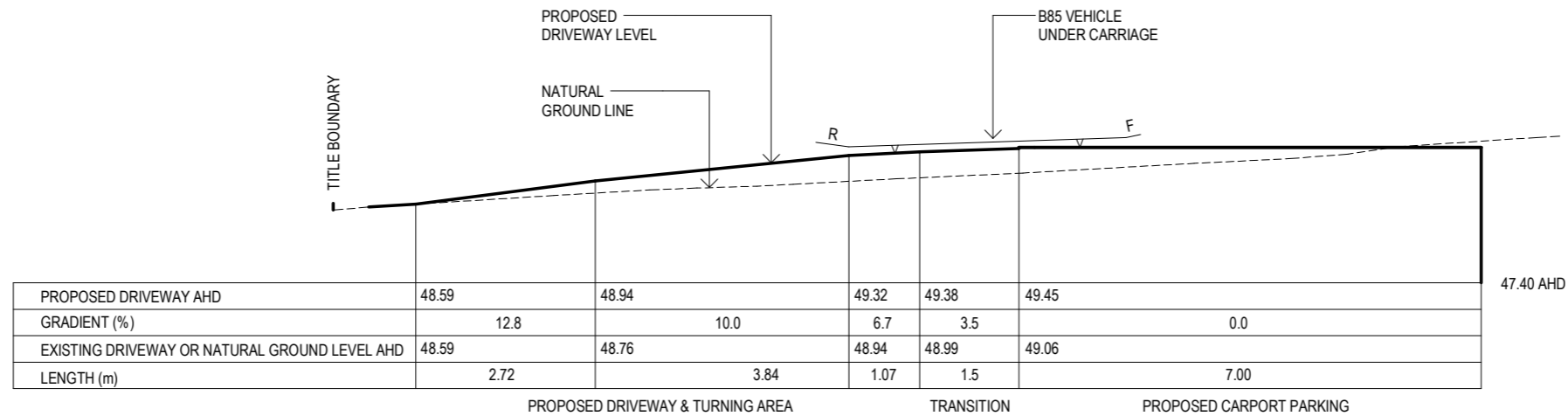
Sorell Council
Development Application: 5.2025.52.1 -
Development Application - 5 Whitlam Court,
Lewisham P1.pdf
Plans Reference: P1
Date Received: 4/03/2025

MARCUS WALTERS BUILDING DESIGNER Phone: 0406 745 368 Email: mwaltersbdesigner@gmail.com Licence No. : Licence pending ABN : 91 130 586 770		REV.	DATE	ISSUED TO	DESCRIPTION	DRAWING INDEX	CLIENT:	Drawing Title.			
		0	17-01-2025	CLIENT	FOR REVIEW - DRAFT PLANNING DRAWING SET	REFER TO COVER SHEET 000	KADE & JORDAN MAYNE	PROPOSED DRIVEWAY PLAN			
		1	28-02-2025	COUNCIL	FOR PLANNING APPROVAL		PROJECT:	DATE:	Issue.	Sheet No.	
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							MW	MW	MW	1:100 @ A3	MAYNE

015



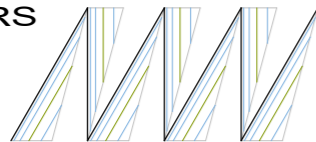
SECTION X
SCALE 1 : 100



SECTION Y
SCALE 1 : 100

Sorell Council
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Development Application - 5 Whitlam Court,
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ABN : 91 130 586 770



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0	17-01-2025	CLIENT	FOR REVIEW - DRAFT PLANNING DRAWING SET	REFER TO COVER SHEET 000
1	28-02-2025	COUNCIL	FOR PLANNING APPROVAL	

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DESIGNED MW	DRAWN MW	CHECKED MW	SCALE: 1:100 @ A3	

Drawing Title: PROPOSED DRIVEWAY SECTIONS		
DATE: 28-02-2025	Issue: PLANNING	Sheet No. 016
Project Ref: MAYNE		