

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: 4 Sweetwater Road, Midway Point

**PROPOSED DEVELOPMENT:
ADDITIONS (VERANDA)**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 3rd March 2025**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Monday 3rd March 2025**

APPLICANT: I Cripps

APPLICATION NO: DA 2025 / 8 1

DATE: 14 February 2025

Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use: <u>PRIVATE</u>
	Development: <u>VERANDA.</u>
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal:	\$ <u>10 000</u>

Is all, or some the work already constructed:	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address: <u>4 SWEETWATER RD.</u>
	Suburb: <u>MIDWAY POINT</u> Postcode:
	Certificate of Title(s) Volume: <u>175484</u> Folio: <u>2</u>

Current Use of Site	<u>RESIDENTIAL DWELLING.</u>
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Current Owner/s:	Name(s) <u>JACK DYLAN RICHARDS BRIDGETTE ELLEN PULTON.</u>
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Is the Property on the Tasmanian Heritage Register?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>
If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form https://www.sorell.tas.gov.au/services/engineering/		


Sorell Council
 Development Application: 5.2025.8.1 - 4
 Sweetwater Road, Midway Point
 Plans Reference: P1
 Date Received: 13/01/2025

Part B continued: Please note that Part B of this form is publicly exhibited

Declarations and acknowledgements

- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.
- I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours.
- I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.
- I/we declare that, in accordance with s52(1) of the *Land Use Planning and Approvals Act 1993*, that I have notified the owner(s) of the intention to make this application.
- I/we declare that the information in this application is true and correct.

Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.

- I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

- Where the General Manager's consent is also required under s.14 of the *Urban Drainage Act 2013*, by making this application I/we also apply for that consent.

Applicant Signature:

Signature: _____

Date: _____

9/12/24

Crown or General Manager Land Owner Consent

If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the *Land Use Planning and Approvals Act 1993*).

Please note:

- If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au
- If the application involves Crown land you will also need a letter of consent.
- Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.

I _____ being responsible for the

administration of land at _____
declare that I have given permission for the making of this application for _____



Sorell Council

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Sweetwater Road, Midway Point

Plans Reference: P1
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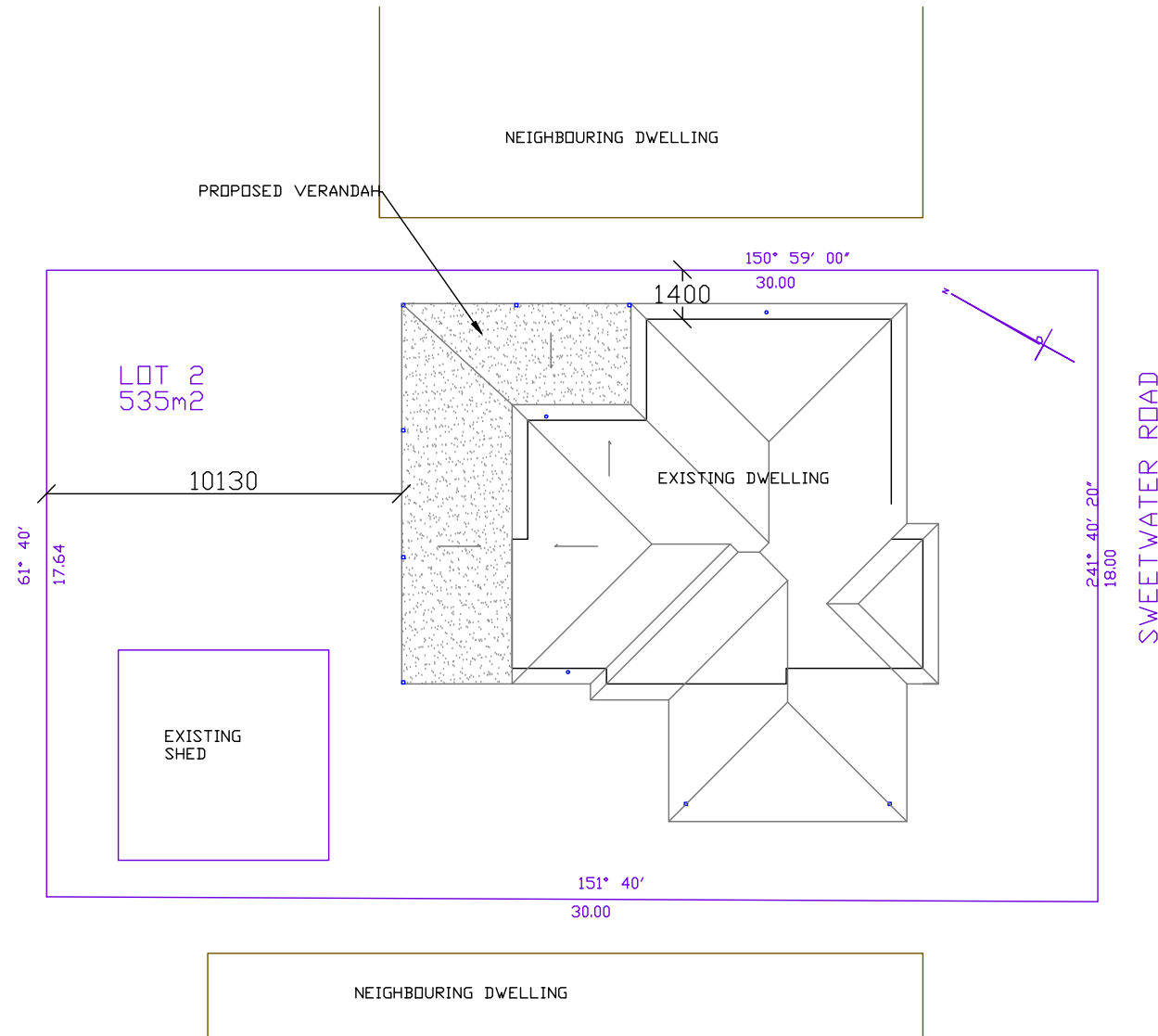
Signature of General Manager,
Minister or Delegate:

Signature: _____

Date: _____

SCALE: 1:200
 SHEET 1 OF 8
 DWG CR10324
 25 NOVEMBER 2024
 DRAWN BY WILLBUILT
 RTN CC1911 P
 VERANDAH

JD RICHARDS &
 BE PURTON
 LOT2 No4
 SWEETWATER RD
 MIDWAY POINT 7171
 V 175484 F 2



SWEETWATER ROAD

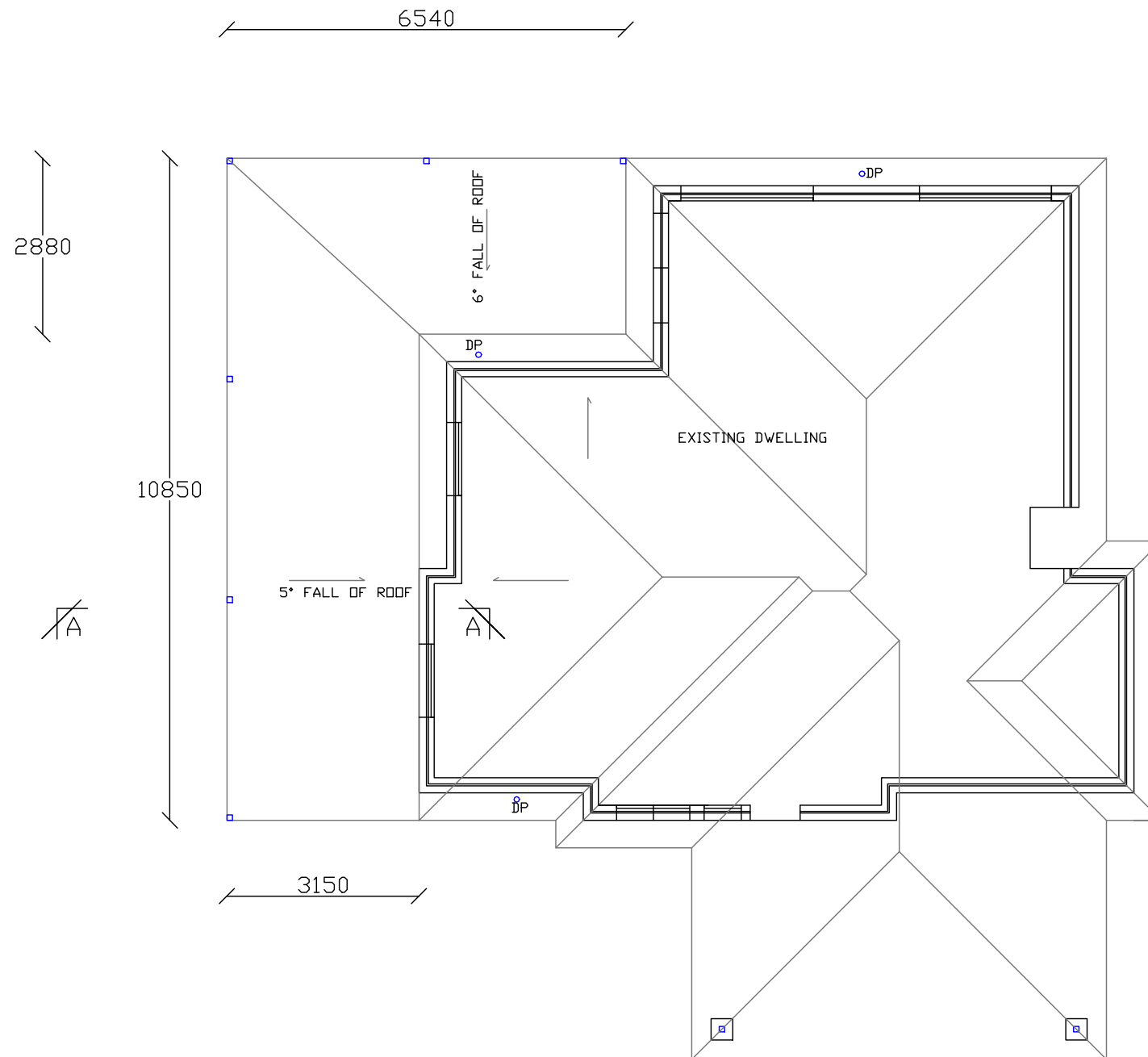
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 Sweetwater Road, Midway Point
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WILLBUILT
 CC1911P
 T WILLIAMS
 9 EUMATALLA ST
 LAUDERDALE
 Ph0418122582

SITE PLAN

SCALE: 1:100
 SHEET 2 OF 8
 DWG CR10324
 25 NOVEMBER 2024
 DRAWN BY WILLBUILT
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GENERAL NOTES
 THESE DRAWINGS ARE TO BE READ
 IN CONJUNCTION WITH THE BUILDING SPECIFICATIONS,
 GEOTECHNICAL & STRUCTURAL ENGINEERING
 SPECIFICATIONS & PLANS WHERE REQUIRED.
 USE FIGURED DIMENSIONS ONLY. DO NOT SCALE THE
 DRAWING
 ALL WORK SHALL BE IN ACCORDANCE WITH THE
 NATIONAL CONSTRUCTION CODE OF AUSTRALIA (NCC)
 & RELEVANT STANDARDS.
 THE BUILDER IS TO CHECK ALL SITE BOUNDARIES,
 SITE DIMENSIONS, DIMENSIONS OF ANY EXISTING
 BUILDING IN RELATIONSHIP TO THE PROPOSED WORKS
 LEVELS, BEARINGS, EXISTING SEWER & STORMWATER
 DRAINS & OUTLETS & THE LOCATION OF ANY
 EASEMENT BOUNDARIES PRIOR TO THE COMMENCEMENT
 OF ANY WORKS.

FLOOR AREA DWELLING 99.6m² PLUS CARPORT
 FLOOR AREA VERANDAH 44m²

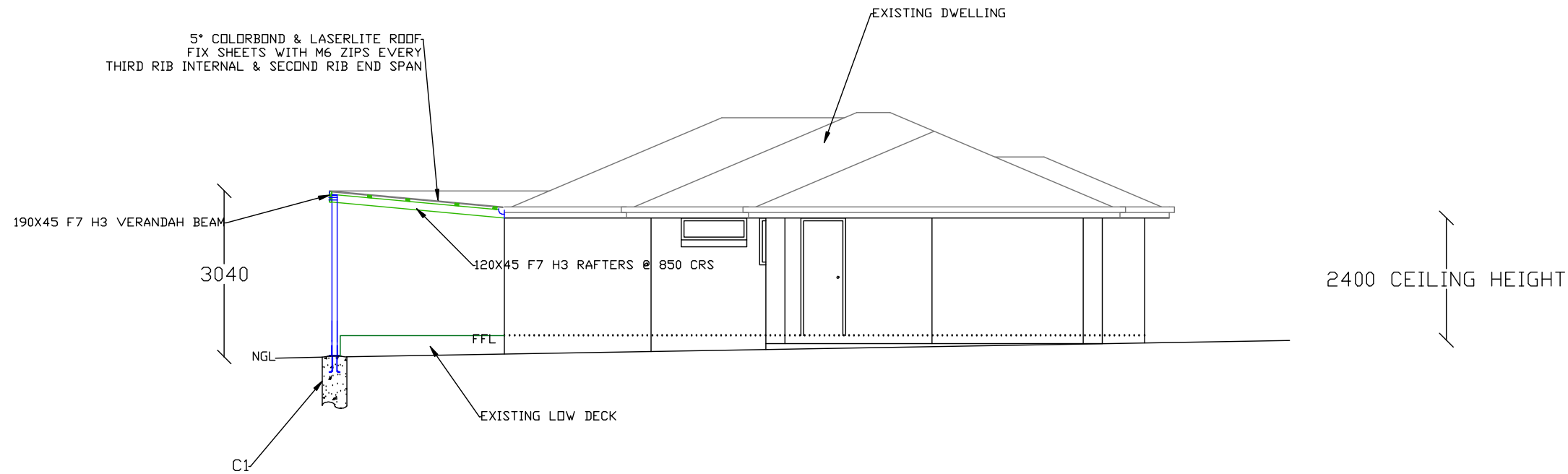
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FLOOR PLAN

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 CC1911P
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SCALE: 1:100
SHEET 3 OF 8
DWG CR10324
25 NOVEMBER 2024
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RTN CC1911 P
VERANDAH

JD RICHARDS &
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LOT 2 No 4
SWEETWATER RD
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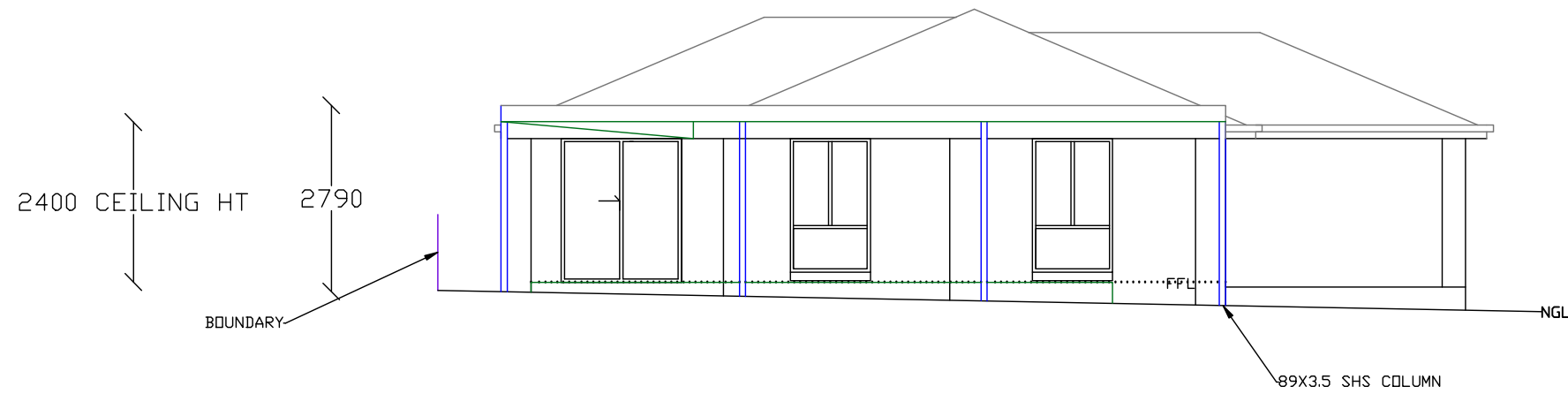
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SOUTH WEST ELEVATION

SCALE: 1:100
SHEET 4 OF 8
DWG CR10324
25 NOVEMBER2024
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NORTH WEST ELEVATION

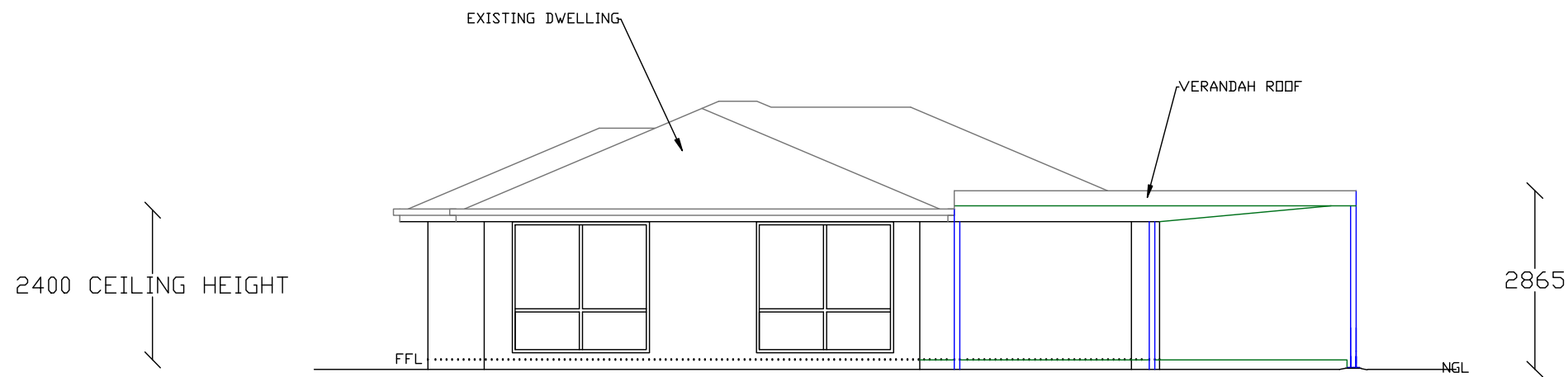
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SCALE: 1:100
SHEET 5 OF 8
DWG CR10324
25 NOVEMBER2024
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V 175484 F 2



TIMBER FRAMING TO AS 1684

NORTH EAST ELEVATION

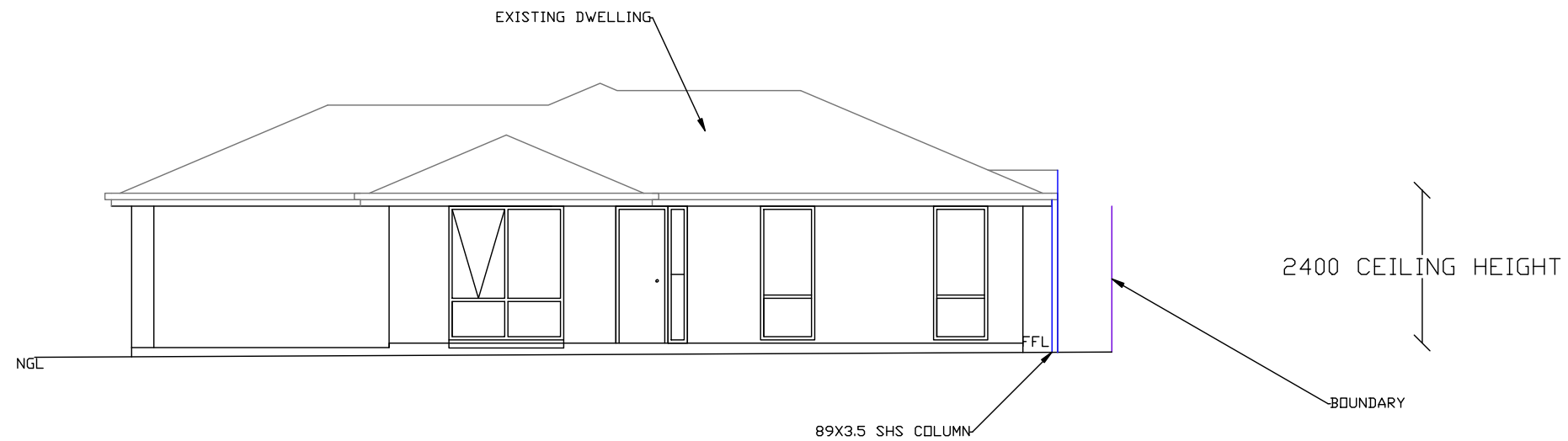
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SCALE: 1:100
SHEET 6 OF 8
DWG CR10324
25 NOVEMBER 2024
DRAWN BY WILLBUILT
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JD RICHARDS &
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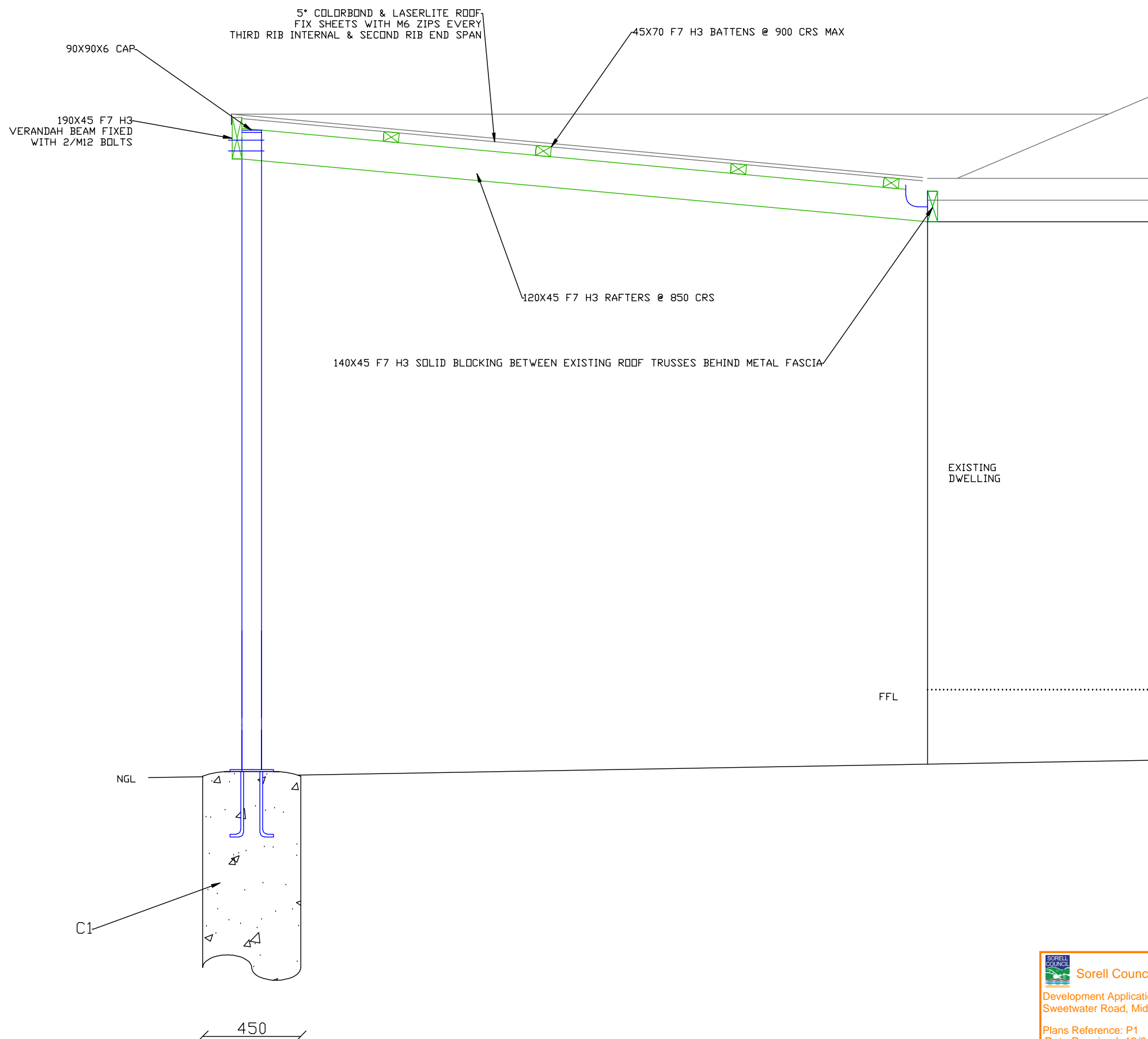


SOUTH EAST ELEVATION



SCALE: 1:20
 SHEET 7 OF 8
 DWG CR10324
 25 NOVEMBER 2024
 DRAWN BY WILLBUILT
 RTN CC1911 P
 VERANDAH

JD RICHARDS &
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 LOT2 No4
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C1 - 89X3.5 SHS DURAGAL COLUMN WELDED TO 150X150X10 PLATE WITH 4/M12 CRANKED ANCHOR BARS 300 DA EMBEDDED IN 450 DIA CONC PIER MIN 600 DEEP TO APPROVED BASE SHAPE TOP OF PIER TO PREVENT PONDING

FOOTING NOTES

1. ALL FOOTING CONSTRUCTION SHALL COMPLY WITH AS 2870
2. THE ENGINEER SHALL INSPECT FOOTINGS PRIOR TO POURING OF CONCRETE
3. GROUND TO BE SHAPED TO FALL AWAY FROM THE BUILDING 50mm OVER 1000mm IN ACCORDANCE WITH B.C.A REQUIREMENTS
4. CONCRETE SHALL BE 25 MPa
5. COVER 30MM TOP, 45mm SIDES & BOTTOM U.N.D.
6. ALL CONCRETE SHALL BE PLACED WITH A MECHANICAL VIBRATOR MOIST CURE ALL SLABS MIN 7 DAYS

STRUCTURAL STEEL NOTES

1. ALL EXPOSED STEELWORK SHALL BE HOT DIPPED GALVANISED OR PAINTED WITH AN APPROVED CORROSION RESISTANT PAINT SYSTEM TO A.B.C.B. HOUSING PROVISIONS, SECTION 6.3.9 REQUIREMENTS FOR CATEGORY LOW ENVIRONMENTS
2. STRUCTURAL STEELWORK SHALL COMPLY WITH AS4100
3. ALL WELDS SHALL BE 6mm C.F.W. U.N.D.

TIMBER FRAMING NOTES

1. TIMBER CONSTRUCTION SHALL BE IN ACCORDANCE WITH AS 1864.2

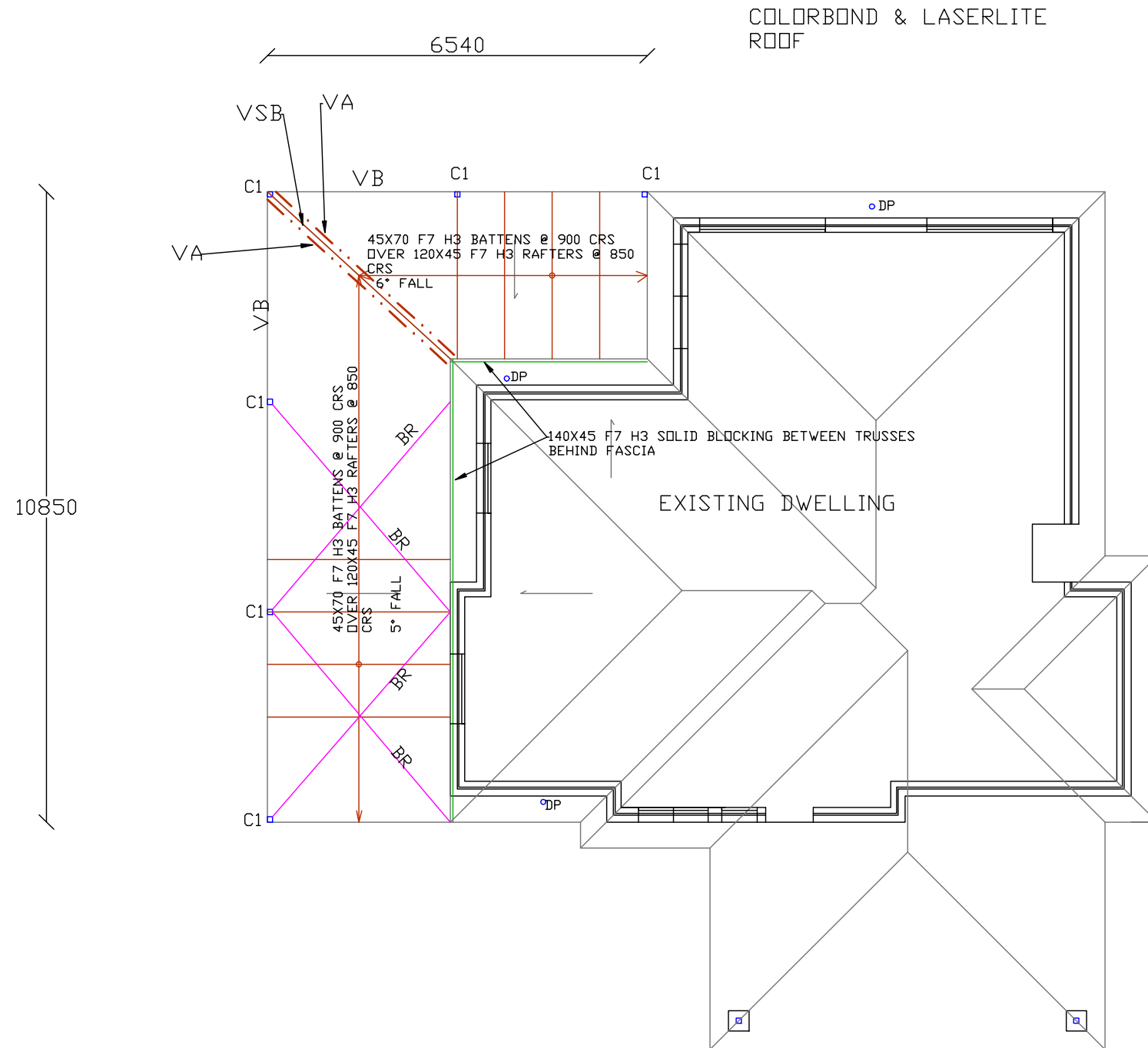
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SECTION A-A

SCALE: 1:100
 SHEET 8 OF 8
 DWG CR10324
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 DRAWN BY WILLBUILT
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C1 - 89X3.5 SHS DURAGAL COLUMN WELDED TO 150X150X10 PLATE WITH 4/N12 CRANKED ANCHOR BARS 300 DA EMBEDDED IN 450 DIA CONC PIER MIN 600 DEEP TO APPROVED BASE SHAPE TOP OF PIER TO PREVENT PONDING
 VB - 190X45 F7 H3 VERANDAH BEAM FIXED WITH 2/M12 BOLTS
 VSB - 140X45 F7 H3 VALLEY SUPPORT BEAM
 VA - 190X20 F7 H3 VALEY BOARDS WITH COLORBOND FLASHING
 BR - 30X1.0 TENSIONED GALV STRAP BRACING

ROOF LAYOUT