

# NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

**SITE: 243 Josephs Road, Carlton**

**PROPOSED DEVELOPMENT:  
VISITOR ACCOMMODATION (RETROSPECTIVE)**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at [www.sorell.tas.gov.au](http://www.sorell.tas.gov.au) until **Monday 3<sup>rd</sup> March 2025**.

Any person may make representation in relation to the proposal by letter or electronic mail ([sorell.council@sorell.tas.gov.au](mailto:sorell.council@sorell.tas.gov.au)) addressed to the General Manager. Representations must be received no later than **Monday 3<sup>rd</sup> March 2025**

**APPLICANT: P Cuthbertson**

**APPLICATION NO: DA 2025 / 3 1**

**DATE: 14 February 2025**

**Part B: Please note that Part B of this form is publicly exhibited.**

Full description of Proposal:	Use:
	Development:
	<i>Large or complex proposals should be described in a letter or planning report.</i>

Design and construction cost of proposal:	\$ .....
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Is all, or some the work already constructed:	No: <input type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address: .....
	Suburb: ..... Postcode: .....
	Certificate of Title(s) Volume: ..... Folio: .....

Current Use of Site	.....
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Current Owner/s:	Name(s).....
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Is the Property on the Tasmanian Heritage Register?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>

**If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form**  
<https://www.sorell.tas.gov.au/services/engineering/>



**Sorell Council**  
 Development Application: Development Application - 243 Josephs Road, Carlton P1.pdf  
 Plans Reference:P1  
 Date Received:6/01/2025

**Part B continued: Please note that Part B of this form is publicly exhibited**

**Declarations and acknowledgements**

- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.
- I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council’s representatives to enter the land at any time during normal business hours.
- I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.
- I/we declare that, in accordance with s52(1) of the *Land Use Planning and Approvals Act 1993*, that I have notified the owner(s) of the intention to make this application.
- I/we declare that the information in this application is true and correct.


*Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council’s Privacy Policy available on the Council website.*

- I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.
- Where the General Manager’s consent is also required under s.14 of the *Urban Drainage Act 2013*, by making this application I/we also apply for that consent.

<b>Applicant Signature:</b>	Signature:  Date: .....
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**Crown or General Manager Land Owner Consent**

If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, Minister, or a delegate (as specified in s52 (1D-1G) of the *Land Use Planning and Approvals Act 1993*).



**Sorell Council**  
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Please note:

- If General Manager consent if required, please first complete the General Manager consent application form available on our website [www.sorell.tas.gov.au](http://www.sorell.tas.gov.au)
- If the application involves Crown land you will also need a letter of consent.
- Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.

I \_\_\_\_\_ being responsible for the administration of land at \_\_\_\_\_ declare that I have given permission for the making of this application for \_\_\_\_\_

<b>Signature of General Manager, Minister or Delegate:</b>	Signature: ..... Date: .....
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Proposed: Retrospective Approval  
for Accommodation Unit

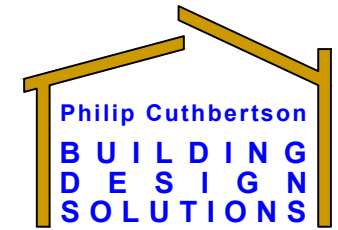
For: L Bell

At: 243 Josephs Road  
Carlton TAS 7173

Designer: Philip Cuthbertson  
Building Design Solutions

PO Box 240  
Huonville TAS

Bushfire Practitioner No. BFP-123  
Building Accreditation No. CC2251H



### SITE INFORMATION

#### PROPERTY DESCRIPTION

PID No 3069011  
TITLE No 159464/3  
CONTAINING 50.38 Ha  
LOCAL AUTHORITY  
SORELL COUNCIL  
ZONE RURAL  
TASMANIAN PLANNING SCHEME OVERLAYS  
PRIORITY VEGETATION AREA  
WATERWAY AND COASTAL PROTECTION AREA  
BUSHFIRE PRONE AREAS  
AIRPORT OBSTACLE LIMITATION AREA  
LOW LANDSLIP HAZARD BAND

#### BUSHFIRE ATTACK LEVEL DETERMINATION

- FDI: 50
- BAL ADOPTED: 12.5

CLIMATE ZONE: 7  
KNOWN SITE HAZARDS: NIL

### FLOOR AREA

#### PROPOSED ACCOMMODATION UNIT

HABITABLE 75 sqm  
DECKS 17 sqm  
TOTAL 92 sqm

#### EXISTING RESIDENCE

HABITABLE 188 sqm  
DECK 65 sqm

#### EXISTING OUTBUILDING

80 sqm

### ARCHITECTURAL DRAWINGS

1610 AC-A-01	Site Plan
1610 AC-A-02	Part Site Plan
1610 AC-A-03	Floor Plan
1610 AC-A-04	Window and Sliding Door Schedule
1610 AC-A-05	Ceiling Plan/ Lighting Layout
1610 AC-A-06	Roof Plan
1610 AC-A-07	Elevations
1610 AC-A-08	Elevations
1610 AC-A-09	Section
1610 AC-A-10	Wet Areas Construction Notes
1610 AC-A-11	Bushfire Prone Area Construction Notes

### HYDRAULIC DRAWINGS

1610 AC-H-01	Drainage Plan
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Alterations

Extensions

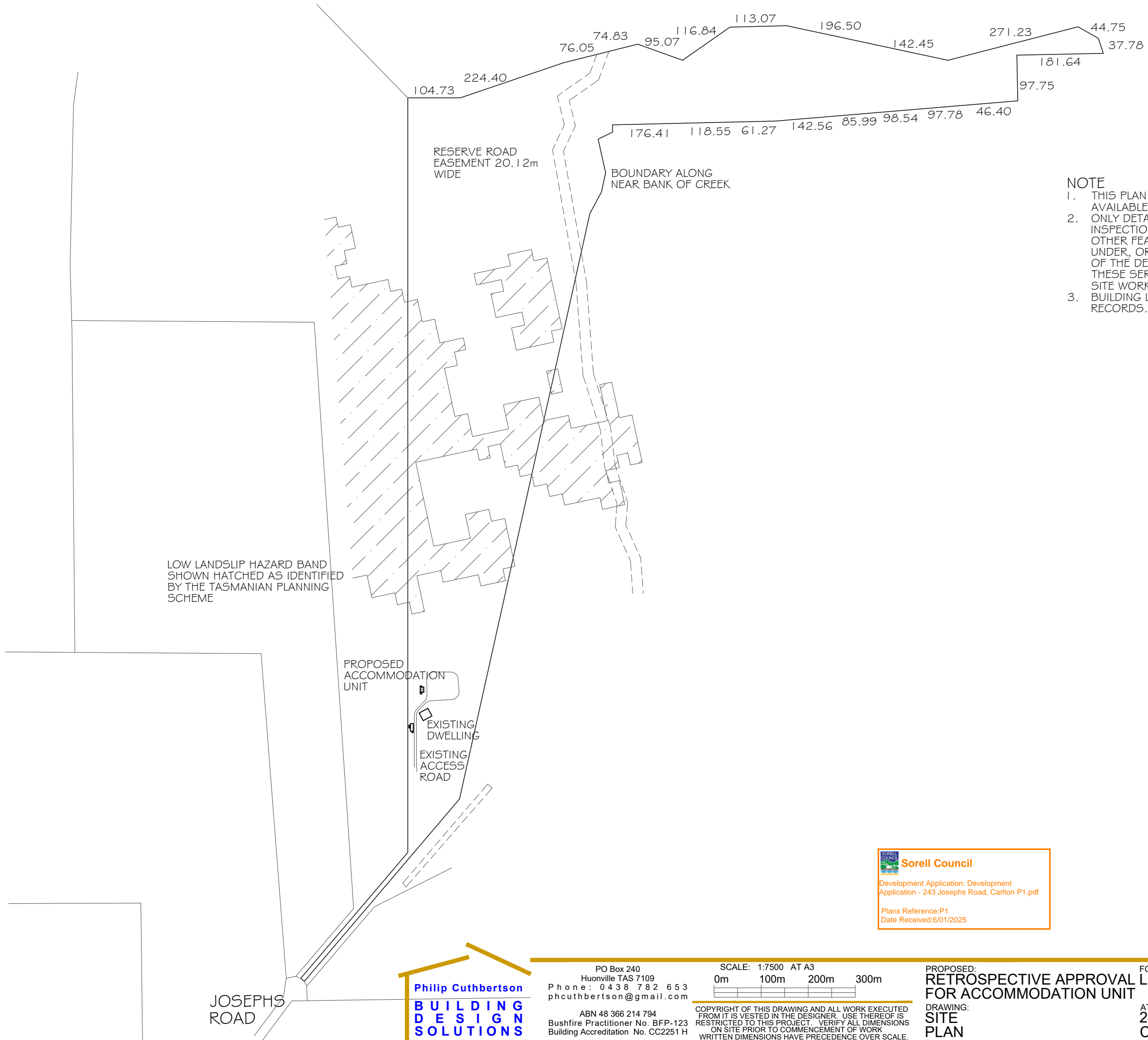
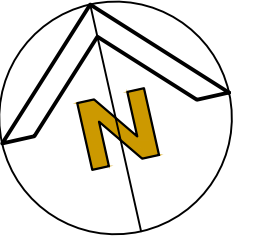
Commercial

Residential

Bushfire Assessments

Drafting

Building Design



**NOTE**

1. THIS PLAN HAS BEEN PREPARED FROM 'LIST' RECORDS AVAILABLE AT THE TIME OF DOCUMENTATION
2. ONLY DETAIL APPARENT ON SITE AT THE TIME OF INSPECTION HAVE BEEN IDENTIFIED ON THIS PLAN. OTHER FEATURES AND SERVICES MAY EXIST ON, UNDER, OR OVER THE SITE. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO DETERMINE THE LOCATION OF THESE SERVICES PRIOR TO THE COMMENCEMENT OF SITE WORKS
3. BUILDING LOCATION WAS INTERPOLATED FROM 'LIST' RECORDS.

 **Sorell Council**  
 Development Application: Development  
 Application - 243 Josephs Road, Carlton P1.pdf  
 Plans Reference:P1  
 Date Received:6/01/2025

PROPERTY DESCRIPTION  
 PID No 3069011  
 TITLE No 159464/3  
 CONTAINING 50.38 Ha  
 (NOT INCLUDING RESERVE ROAD EASEMENT)

ISSUE:

**Philip Cuthbertson**  
**BUILDING DESIGN SOLUTIONS**

PO Box 240  
 Huonville TAS 7109  
 Phone: 0438 782 653  
 phcuthbertson@gmail.com  
 ABN 48 366 214 794  
 Bushfire Practitioner No. BFP-123  
 Building Accreditation No. CC2251 H

SCALE: 1:7500 AT A3  
 0m 100m 200m 300m  
 COPYRIGHT OF THIS DRAWING AND ALL WORK EXECUTED FROM IT IS VESTED IN THE DESIGNER. USE THEREOF IS RESTRICTED TO THIS PROJECT. VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALE.

PROPOSED:  
**RETROSPECTIVE APPROVAL L BELL FOR ACCOMMODATION UNIT**  
 DRAWING:  
**SITE PLAN**

FOR:  
**L BELL**  
 AT:  
**243 JOSEPH'S ROAD CARLTON**

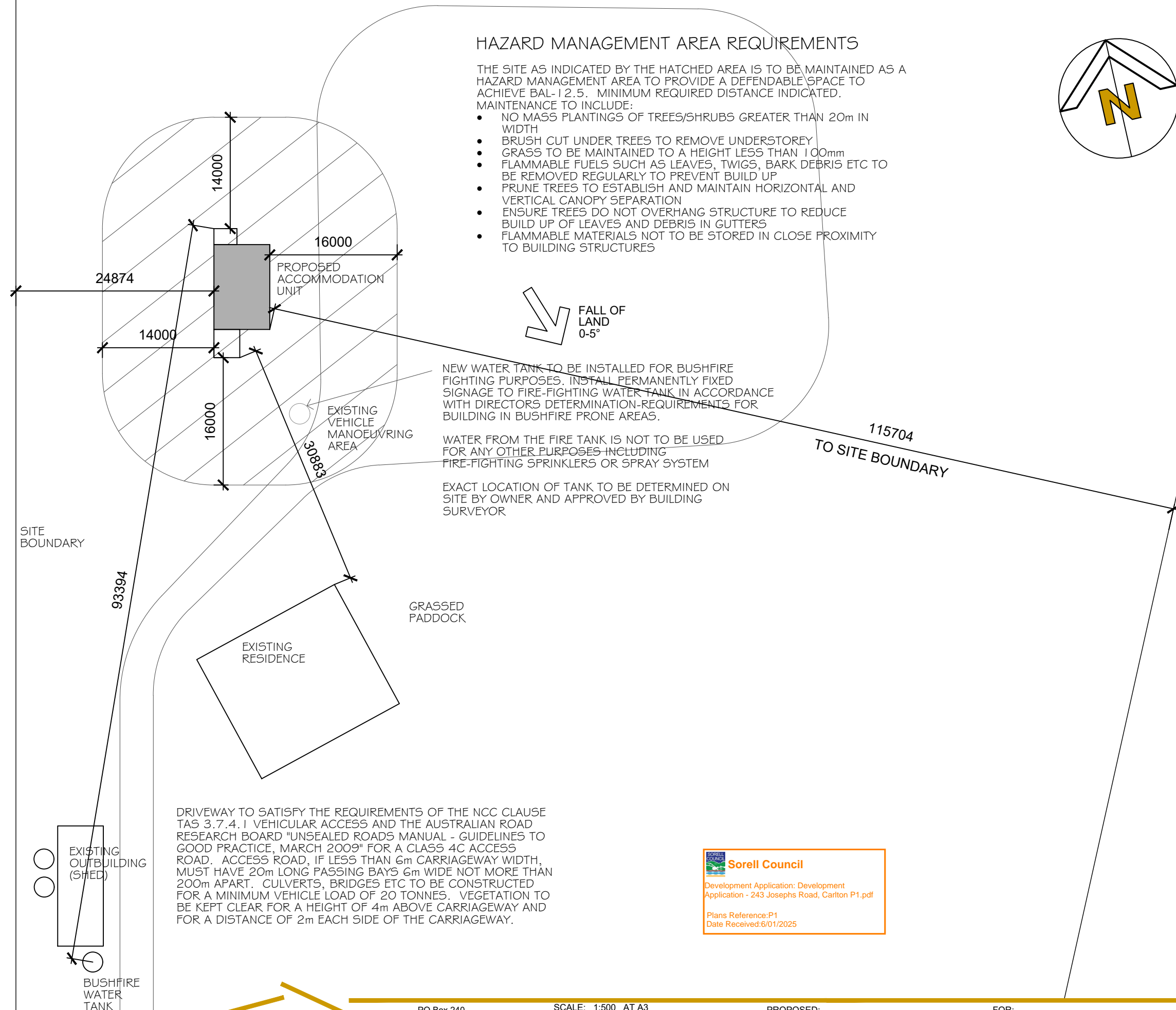
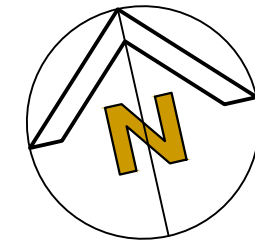
JOB NO.:  
**1610 AC-A-01**  
 OF 11 SHEET / S  
 DATE DRAWN:  
**DECEMBER 2024**

## HAZARD MANAGEMENT AREA REQUIREMENTS

THE SITE AS INDICATED BY THE HATCHED AREA IS TO BE MAINTAINED AS A HAZARD MANAGEMENT AREA TO PROVIDE A DEFENDABLE SPACE TO ACHIEVE BAL-12.5. MINIMUM REQUIRED DISTANCE INDICATED.

MAINTENANCE TO INCLUDE:

- NO MASS PLANTINGS OF TREES/SHRUBS GREATER THAN 20m IN WIDTH
- BRUSH CUT UNDER TREES TO REMOVE UNDERSTOREY
- GRASS TO BE MAINTAINED TO A HEIGHT LESS THAN 100mm
- FLAMMABLE FUELS SUCH AS LEAVES, TWIGS, BARK DEBRIS ETC TO BE REMOVED REGULARLY TO PREVENT BUILD UP
- PRUNE TREES TO ESTABLISH AND MAINTAIN HORIZONTAL AND VERTICAL CANOPY SEPARATION
- ENSURE TREES DO NOT OVERHANG STRUCTURE TO REDUCE BUILD UP OF LEAVES AND DEBRIS IN GUTTERS
- FLAMMABLE MATERIALS NOT TO BE STORED IN CLOSE PROXIMITY TO BUILDING STRUCTURES



NEW WATER TANK TO BE INSTALLED FOR BUSHFIRE FIGHTING PURPOSES. INSTALL PERMANENTLY FIXED SIGNAGE TO FIRE-FIGHTING WATER TANK IN ACCORDANCE WITH DIRECTORS DETERMINATION-REQUIREMENTS FOR BUILDING IN BUSHFIRE PRONE AREAS.

WATER FROM THE FIRE TANK IS NOT TO BE USED FOR ANY OTHER PURPOSES INCLUDING FIRE-FIGHTING SPRINKLERS OR SPRAY SYSTEM

EXACT LOCATION OF TANK TO BE DETERMINED ON SITE BY OWNER AND APPROVED BY BUILDING SURVEYOR

DRIVEWAY TO SATISFY THE REQUIREMENTS OF THE NCC CLAUSE TAS 3.7.4.1 VEHICULAR ACCESS AND THE AUSTRALIAN ROAD RESEARCH BOARD "UNSEALED ROADS MANUAL - GUIDELINES TO GOOD PRACTICE, MARCH 2009" FOR A CLASS 4C ACCESS ROAD. ACCESS ROAD, IF LESS THAN 6m CARRIAGEWAY WIDTH, MUST HAVE 20m LONG PASSING BAYS 6m WIDE NOT MORE THAN 200m APART. CULVERTS, BRIDGES ETC TO BE CONSTRUCTED FOR A MINIMUM VEHICLE LOAD OF 20 TONNES. VEGETATION TO BE KEPT CLEAR FOR A HEIGHT OF 4m ABOVE CARRIAGEWAY AND FOR A DISTANCE OF 2m EACH SIDE OF THE CARRIAGEWAY.

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PROPOSED:  
**RETROSPECTIVE APPROVAL L BELL FOR ACCOMMODATION UNIT PART SITE PLAN**

FOR:  
**L BELL**  
 AT:  
**243 JOSEPH'S ROAD CARLTON**

JOB NO.:  
**1610 AC-A-02**  
 OF 11 SHEET / S  
 DATE DRAWN:  
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LAYOUT OF EXISTING BUILDING BASED ON DIMENSIONS TAKEN ON SITE AND BY A VISUAL NON-INVASIVE INSPECTION. OTHER CONDITIONS, FEATURES AND SERVICES MAY EXIST AND IT IS THE RESPONSIBILITY OF INDIVIDUAL PERSONS WORKING ON THE PROJECT TO DETERMINE CONDITIONS ON SITE AS APPROPRIATE TO THEIR WORKS

### STAIR CONSTRUCTION

STAIRS CONSTRUCTION TO COMPLY WITH THE REQUIREMENTS OF THE NCC 2022 PART 11

THE NOMINAL DIMENSIONS OF RISERS AND GOINGS SHALL BE CONSISTENT THROUGH EACH STAIR FLIGHT

TREADS SHALL HAVE A SLIP-RESISTENT FINISH OR SUITABLE NON-SKID STRIP NEAR THE EDGE OF THE NOSINGS

HANDRAIL LOCATED WITH THE TOP NOT LESS THAN 865mm VERTICALLY ABOVE THE NOSINGS OF THE STAIR TREADS

### STAIR RAISER AND GOING DIMENSIONS REQUIRED:

RISER	GOING	SLOPE (2R+G)
190 MAX	355 MAX	700 MAX
150 MIN	240 MIN	550 MIN

OPENABLE PORTIONS OF WINDOWS SHALL BE FITTED WITH SCREENS MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINUM AND GAPS TO THE PERIMETER OF THE SCREEN ASSEMBLY AND THE BUILDING SHALL NOT EXCEED 3mm

S/A INDICATES LOCATION OF EXISTING SMOKE ALARM. OWNER OR ELECTRICIAN TO CONFIRM COMPLIANCE WITH AS3786 AND NCC PART 3.7.5 AND CONNECTED TO THE CONSUMER MAINS POWER. MULTIPLE ALARMS TO BE INTERCONNECTED

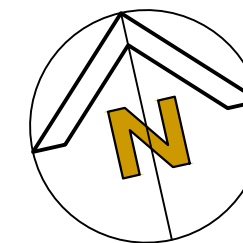
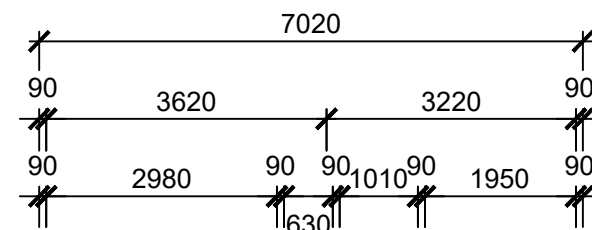
ALL GLAZING TO BE TAGGED OR CERTIFIED FOR COMPLIANCE WITH NCC, AS1288 AND, WHERE APPLICABLE, AS2047

### NOTE

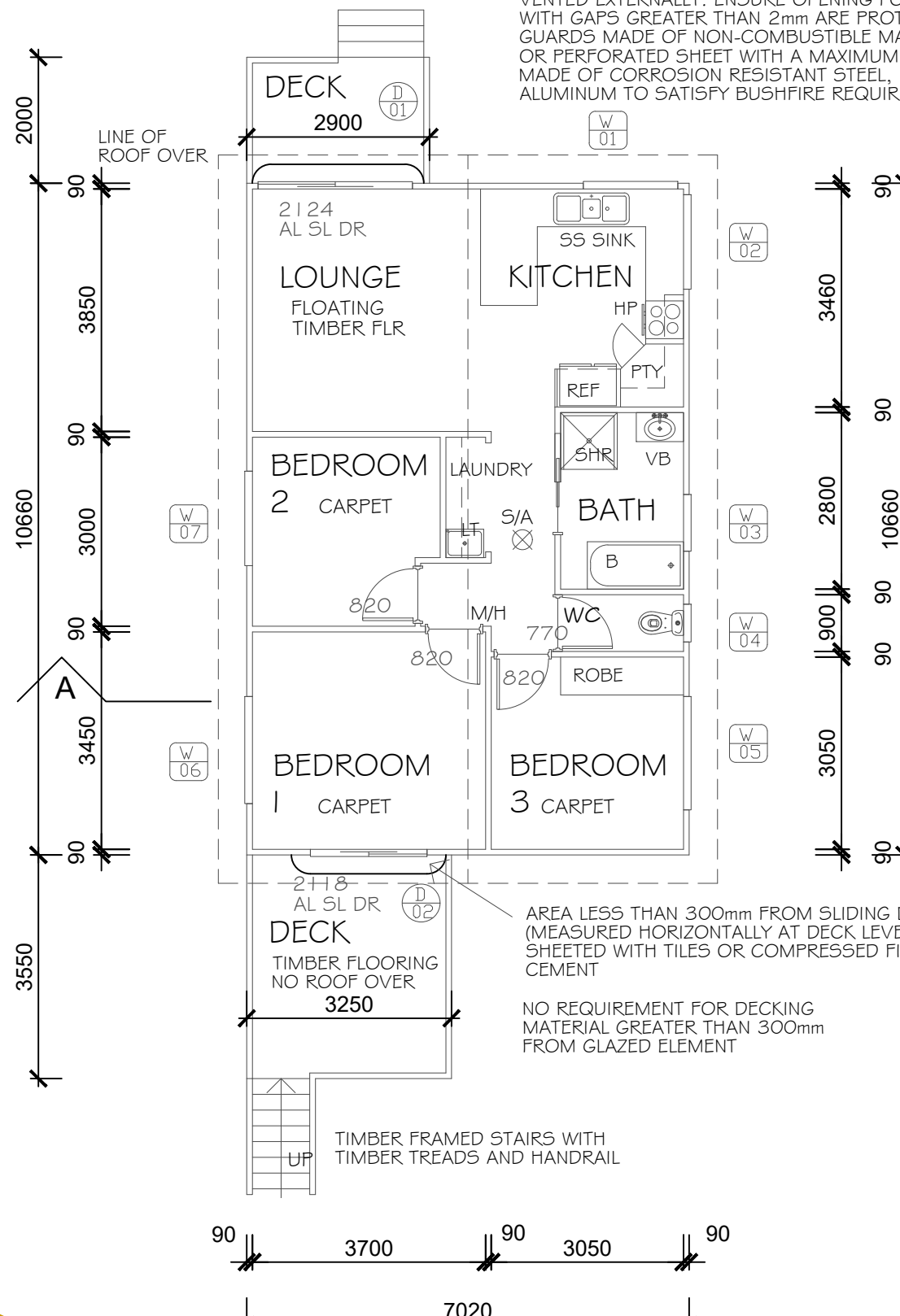
THE OWNER IS TO CONFIRM THE FOLLOWING ITEMS WITHIN THE HABITABLE AREA TO THE SATISFACTION OF THE BUILDING SURVEYOR:

- CERTIFICATION THAT GLAZED ASSEMBLIES COMPLY WITH PART 3.6 OF THE NCC AND AS1288 AND AS2407
- INSTALLATION OF CLASS 3 OR 4 BREATHABLE MEMBRANE FOR CONDENSATION CONTROL TO THE WALLS AND CEILING
- VENTILATION OF ROOF SPACE FOR CONDENSATION CONTROL
- INSTALLATION OF R4 (MINIMUM) ROOF INSULATION TO SATISFY NCC ENERGY EFFICIENCY REQUIREMENTS
- INSTALLATION OF R2.5 (MINIMUM) WALL INSULATION TO SATISFY NCC ENERGY EFFICIENCY REQUIREMENTS

CONSTRUCTION TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE BUSHFIRE ASSESSMENT REPORT TO ACHIEVE BAL-12.5 IN ACCORDANCE WITH SECTIONS 3#5 OF AS3959-2018



EXHAUST HOOD TO BE INSTALLED OVER COOK TOP AND VENTED EXTERNALLY. ENSURE OPENING FOR EXHAUST FAN WITH GAPS GREATER THAN 2mm ARE PROTECTED WITH EMBER GUARDS MADE OF NON-COMBUSTIBLE MATERIAL OR A MESH OR PERFORATED SHEET WITH A MAXIMUM APERTURE OF 2mm MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINUM TO SATISFY BUSHFIRE REQUIREMENTS



NOM 900x900 SHOWER

NOM 1500 BATH WITH TILED SPLASHBACK

EXTERNAL WALL SHEETING THAT IS LESS THAN 400mm ABOVE A DECK, SHALL BE NON-COMBUSTIBLE IN ACCORDANCE WITH AS3959, CONSTRUCTED FROM A BUSHFIRE RESISTING TIMBER, OR A COMBINATION OF THESE ITEMS. JOINTS SHALL BE COVERED, SEALED, OVERLAPPED OR BUTT JOINTED TO PREVENT GAPS GREATER THAN 2mm





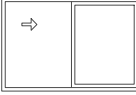

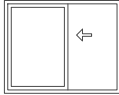
AREA LESS THAN 300mm FROM SLIDING DOOR (MEASURED HORIZONTALLY AT DECK LEVEL) TO BE SHEETED WITH TILES OR COMPRESSED FIBRE CEMENT

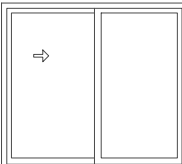
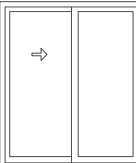
NO REQUIREMENT FOR DECKING MATERIAL GREATER THAN 300mm FROM GLAZED ELEMENT

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### FLOOR AREA

HABITABLE	75 sqm
DECKS	17 sqm
TOTAL	92 sqm

WINDOW SCHEDULE													
ID	LOCATION	TYPE	VIEW FROM OUTSIDE	HEIGHT	WIDTH	HEAD HEIGHT	FRAME	GLAZING	SECTOR FACING	OPENABLE AREA	ROOM SIZE	% OF ROOM	NOTES
WO1	KITCHEN	SLIDE GL FIXED GL		900	1500	2100	ALUMINUM	CLEAR SINGLE GLAZED	NORTH	0.68 sqm	11.1 sqm	6.1%	
WO2	KITCHEN	FIXED GL		900	1500	2100	ALUMINUM	CLEAR SINGLE GLAZED	EAST				
WO3	BATHROOM	SLIDE GL FIXED GL		900	900	2100	ALUMINUM	OBSCURE SINGLE GLAZED	EAST	0.81 sqm	5.5 sqm	14.8%	
WO4	WC	SLIDE GL FIXED GL		600	600	2100	ALUMINUM	CLEAR SINGLE GLAZED	EAST	0.36 sqm	1.7 sqm	21.1%	
WO5	BEDROOM 3	SLIDE GL FIXED GL		1200	1800	2100	ALUMINUM	CLEAR SINGLE GLAZED	EAST	1.08 sqm	9.3 sqm	11.6%	
WO6	BEDROOM 1	SLIDE GL FIXED GL		1350	1700	2100	ALUMINUM	CLEAR SINGLE GLAZED	WEST	2.30 sqm	8.9 sqm	18.0%	
WO7	BEDROOM 2	SLIDE GL FIXED GL		1500	1500	2100	ALUMINUM	CLEAR SINGLE GLAZED	WEST	2.25 sqm	8.9 sqm	25.2%	

SLIDING DOOR SCHEDULE													
ID	LOCATION	TYPE	VIEW FROM OUTSIDE	NOM HEIGHT	WIDTH	HEAD HEIGHT	FRAME	GLAZING	SECTOR FACING	OPENABLE AREA	ROOM SIZE	% OF ROOM	NOTES
DO1	LOUNGE	SLIDE GL FIXED GL		2100	2400	2100	ALUMINUM	CLEAR SINGLE GLAZED	NORTH	2.52 sqm	13.9 sqm	18.1%	
DO2	BEDROOM	SLIDE GL FIXED GL		2100	1800	2100	ALUMINUM	CLEAR SINGLE GLAZED	SOUTH	1.89 sqm	12.8 sqm	14.8%	

WINDOW MANUFACTURER TO BE SELECTED  
CONSTRUCTION TO ACHIEVE BAL-12.5 IN  
ACCORDANCE WITH A53959

BATHROOM GLAZING TO COMPLY WITH THE  
REQUIREMENTS OF THE NCC PART 8

ANY PART OF A WINDOW IN THE BATHROOM  
OR ENSUITE WITHIN 1500mm OF A SHOWER  
WATER POINT AT THE WALL, IS TO COMPLY  
WITH A53740-WET AREAS.



ISSUE:



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phcuthbertson@gmail.com

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





PROPOSED:  
**RETROSPECTIVE APPROVAL L BELL  
FOR ACCOMMODATION UNIT**  
DRAWING:  
**WINDOW/SLIDING DOOR  
SCHEDULE**

FOR:  
**L BELL**  
AT:  
**243 JOSEPH'S ROAD  
CARLTON**

JOB NO.:  
**1610  
AC-A-04**  
OF 11 SHEET / S  
DATE DRAWN:  
**DECEMBER 2024**



## ELECTRICAL LEGEND

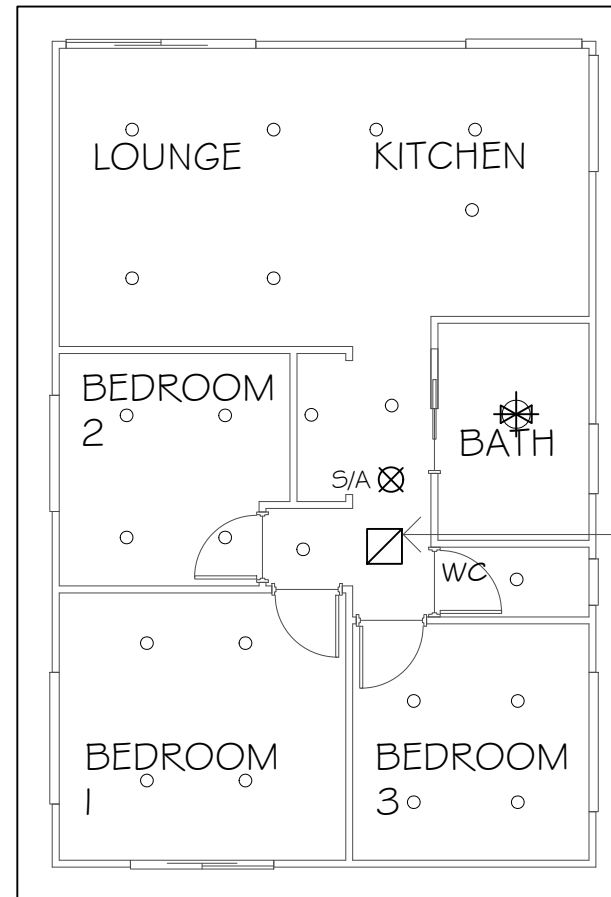
-  CEILING MOUNTED BATTEN LIGHT  
MAX 15W
-  RECESSED CEILING MOUNTED  
DOWNLIGHT MAX 15W
-  WALL MOUNTED BATTEN LIGHT  
MAX 15W
-  OVERHEAD LIGHT WITH  
INTEGRATED FAN AND HEATER  
MAX 15W GLOBE OR "IXL TASTIC"  
MAX 100W GLOBE
-  FLUORESCENT LIGHT - SINGLE  
28W
-  FLUORESCENT LIGHT - DOUBLE  
28W
-  LIGHT SWITCH
- I 200 DENOTES HEIGHT ABOVE FFL
- S/A  SMOKE ALARM COMPLYING WITH AS3786 AND  
CONNECTED TO THE CONSUMER MAINS  
POWER WITH BATTERY BACKUP. EXACT  
LOCATION TO BE VERIFIED ON SITE. MULTIPLE  
ALARMS TO BE INTERCONNECTED

## ELECTRICAL NOTES

ELECTRICAL INSTALLATION TO COMPLY WITH  
AS/NZS 3000 WIRING RULES AND AS/NZS  
3018 ELECTRICAL INSTALLATIONS -  
DOMESTIC INSTALLATIONS

EXTERNAL LIGHTS TO BE CONTROLLED BY A  
DAYLIGHT SENSOR AND MOTION DETECTOR

EXHAUST FANS TO BE FITTED WITH  
BACKDRAUGHT DAMPERS AND TO DISCHARGE  
EXTERNALLY OF BUILDING



FC SHEETING TO  
SOFFITS

PLASTERBOARD CEILING  
MIN 2400 ABOVE  
FINISHED FLOOR LEVEL

CEILING ACCESS  
PANEL NOM  
450x450

VENTILATION OPENINGS FOR EXHAUST FANS WITH  
GAPS GREATER THAN 2mm SHALL BE PROTECTED WITH  
EMBER GUARDS MADE OF NON-COMBUSTIBLE  
MATERIAL OR A MESH OR PERFORATED SHEET WITH A  
MAXIMUM APERTURE OF 2mm MADE OF CORROSION  
RESISTANT STEEL, BRONZE OR ALUMINIUM TO SATISFY  
BUSHFIRE REQUIREMENTS



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SCALE: 1:100 AT A3  
0m 1m 2m 3m 4m  
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**RETROSPECTIVE APPROVAL L BELL  
FOR ACCOMMODATION UNIT**  
DRAWING:  
**CEILING PLAN/  
LIGHTING LAYOUT**

FOR:  
**L BELL**  
AT:  
**243 JOSEPH'S ROAD  
CARLTON**

JOB NO.:  
**1610  
AC-A-05**  
OF 11 SHEET / S  
DATE DRAWN:  
**DECEMBER 2024**

**SHEET ROOF INSTALLATION**

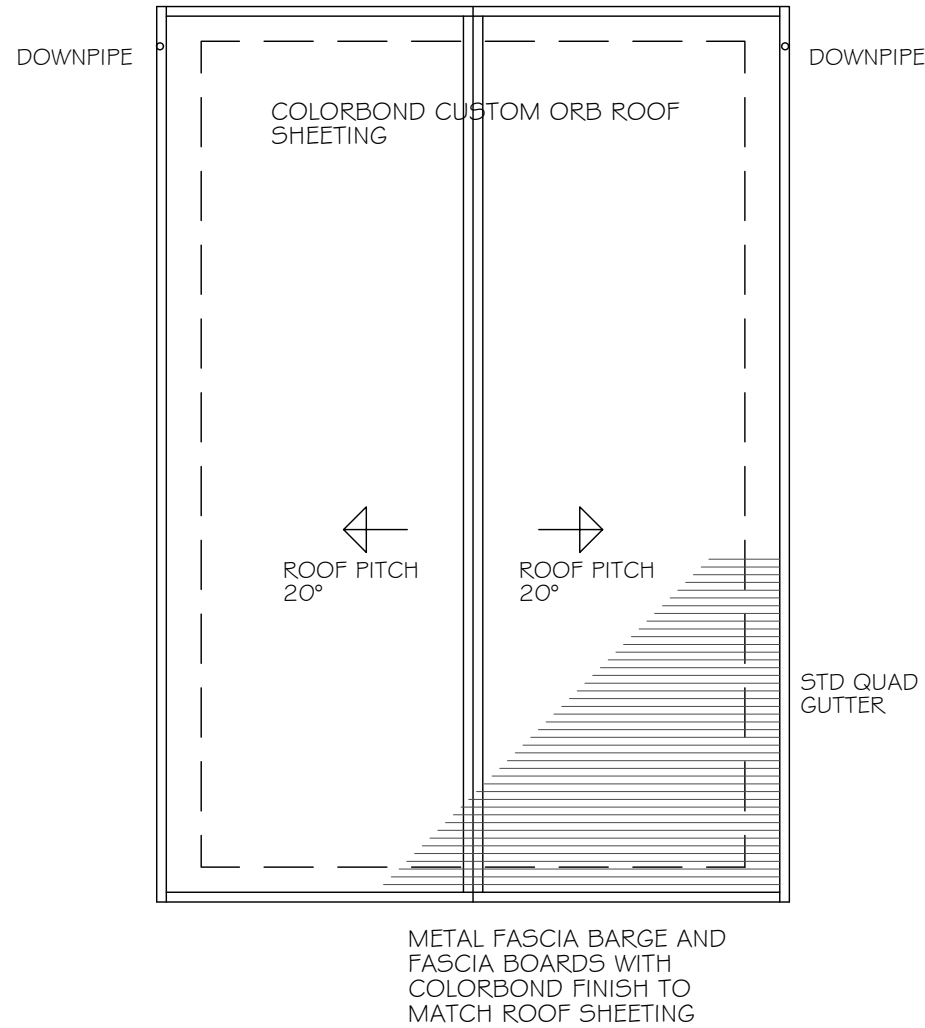
SHEET ROOFING TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NCC VOL 2 CL 3.5.1. FASTENERS TO BE OF A COMPATIBLE METAL TO THE ROOFING AND SPACED IN ACCORDANCE WITH BCA FIGURE 3.5.1.5.

STOP ENDS TO BE TURNED UP 60 DEGREES AT THE RIDGE LINE OF EACH LENGTH WHEREVER POSSIBLE SHEETS SHALL BE COMPLETE FROM RIDGE TO EAVES

ROOF FLASHINGS SHALL BE PURPOSE MADE, MACHINE FOLDED AND FABRICATED FROM MATERIALS COMPATIBLE WITH THE ROOF SHEETING. JOINTS SHALL BE NOT LESS THAN 40mm

FLASH ALL ROOF JUNCTIONS, UP STANDS AND PROJECTIONS THROUGH ROOF SHEETING. NOTCH AND SCRIBE AS REQUIRED TO FOLLOW THE PROFILE OF ADJACENT SURFACES. MITER ANGLES AND LAP JOINTS 150mm IN RUNNING LENGTHS. PROVIDE EXPANSION JOINTS AT MAX 6 METRE INTERVALS

GUTTERS TO BE SUPPORTED ON PROPRIETARY BRACKETS AT MAXIMUM 900 CENTRES



**Sorell Council**  
 Development Application: Development  
 Application - 243 Josephs Road, Carlton P1.pdf  
 Plans Reference:P1  
 Date Received:6/01/2025

ISSUE:

**Philip Cuthbertson**  
**BUILDING**  
**DESIGN**  
**SOLUTIONS**

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 Building Accreditation No. CC2251 H

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PROPOSED:  
**RETROSPECTIVE APPROVAL L BELL**  
**FOR ACCOMMODATION UNIT**  
 DRAWING:  
**ROOF**  
**PLAN**

FOR:  
**L BELL**  
 AT:  
**243 JOSEPH'S ROAD**  
**CARLTON**

JOB NO.:  
**1610**  
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ALL GAPS IN WALL SHEETING INCLUDING VENTS, WEEPHOLES AND THE LIKE SHALL BE SCREENED, EXCEPT FOR WEEPHOLES TO THE SILLS OF WINDOWS AND DOORS. THE MAXIMUM APERTURE SIZE OF ANY MESH OR PERFORATED MATERIAL USED AS A SCREEN SHALL BE 2mm

ROOF FLASHINGS TO BE SEALED TO PREVENT THE OPENINGS GREATER THAN 2mm



TIMBER WEATHERBOARD WALL SHEETING PAINT FINISH

METAL ROOF SHEETING 20° PITCH

QUAD GUTTER AND TIMBER FASCIA

IT IS RECOMMENDED THAT A NON-COMBUSTIBLE LEAF GUARD IS INSTALLED TO GUTTERS

FLOOR LEVEL

EXISTING GROUND LEVEL

SUB-FLOOR AREAS SHALL BE ENCLOSED WITH A WALL WHICH IS NON-COMBUSTIBLE, A BUSHFIRE RESISTING TIMBER, AN APPROVED TIMBER OR A COMBINATION OF THESE ITEMS.

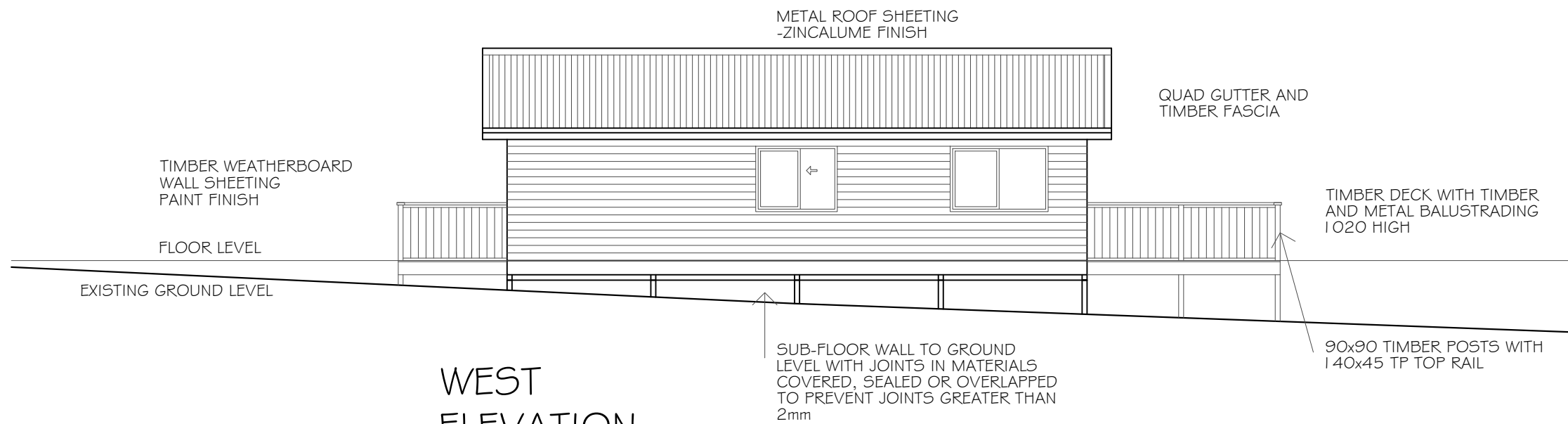
METAL SHEETING TO PART OF SUB-FLOOR AREA. WORKS TO BE COMPLETED TO COMPLY WITH CONSTRUCTION REQUIREMENTS FOR BUSHFIRE PRONE AREAS

VERANDAH DECKING TO BE SPACED NOMINALLY AT 2mm IN ACCORDANCE WITH INDUSTRY PRACTICE

JOINTS IN EXTERNAL SURFACE MATERIAL OF WALLS SHALL BE COVERED, SEALED, OVERLAPPED OR BUTT JOINTED TO PREVENT GAPS GREATER THAN 2mm.

## NORTH ELEVATION

VENTILATION TO SUB-FLOOR AREA TO



METAL ROOF SHEETING -ZINCALUME FINISH

QUAD GUTTER AND TIMBER FASCIA

TIMBER WEATHERBOARD WALL SHEETING PAINT FINISH

TIMBER DECK WITH TIMBER AND METAL BALUSTRADING 1020 HIGH

FLOOR LEVEL

EXISTING GROUND LEVEL

SUB-FLOOR WALL TO GROUND LEVEL WITH JOINTS IN MATERIALS COVERED, SEALED OR OVERLAPPED TO PREVENT JOINTS GREATER THAN 2mm

90x90 TIMBER POSTS WITH 140x45 TP TOP RAIL

## WEST ELEVATION

**Sorell Council**  
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 Plans Reference:P1  
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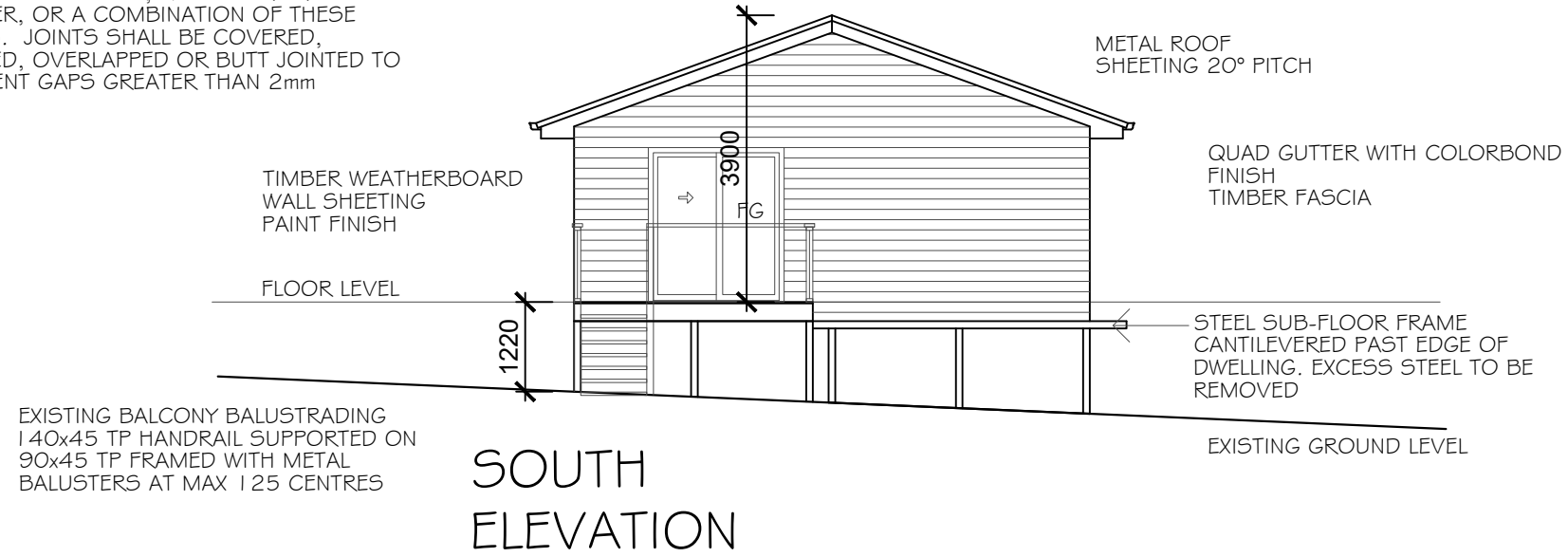
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**RETROSPECTIVE APPROVAL L BELL FOR ACCOMMODATION UNIT**  
 DRAWING:  
**ELEVATIONS**

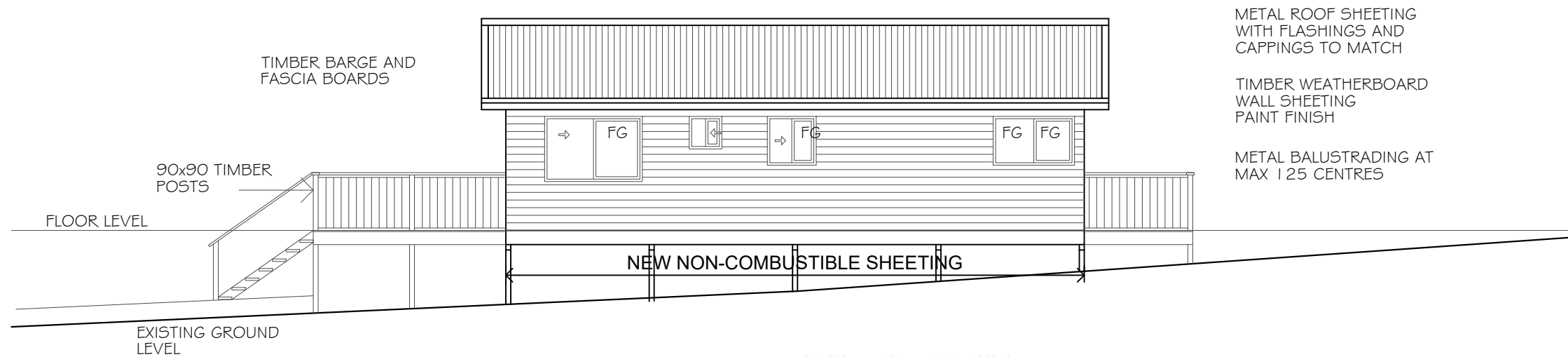
FOR:  
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 AT:  
**243 JOSEPH'S ROAD CARLTON**

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EXTERNAL WALL SHEETING THAT IS LESS THAN 400mm ABOVE A DECK SHALL BE NON-COMBUSTIBLE, A BUSHFIRE RESISTING TIMBER, OR A COMBINATION OF THESE ITEMS. JOINTS SHALL BE COVERED, SEALED, OVERLAPPED OR BUTT JOINTED TO PREVENT GAPS GREATER THAN 2mm



**SOUTH ELEVATION**



**EAST ELEVATION**

UNDERSIDE OF BUILDING (EXCLUDING VERANDAHS TO BE FULLY ENCLOSED WITH A WALL COMPLYING WITH A53959.  
 SUB-FLOOR SPACE TO BE VENTED IN ACCORDANCE WITH CLAUSE 3.4.1.2 OF THE NCC (I.E. 6,000 sqmm/m<sup>2</sup> OF WALL). OPENINGS TO BE SCREENED IN ACCORDANCE WITH A53959 WITH NO OPENING IN ANY MESH OR PERFORATED METAL USED AS A SCREEN EXCEEDING 2mm  
 VENTS TO BE INSTALLED 600mm FROM CORNERS AND EVENLY SPACED AROUND PERIMETER

**Sorell Council**  
 Development Application: Development Application - 243 Josephs Road, Carlton P1.pdf  
 Plans Reference: P1  
 Date Received: 6/01/2025

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PROPOSED:  
**RETROSPECTIVE APPROVAL L BELL FOR ACCOMMODATION UNIT**  
 DRAWING:  
**ELEVATIONS**

FOR:  
**L BELL**  
 AT:  
**243 JOSEPH'S ROAD CARLTON**

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LAYOUT AND STRUCTURE OF EXISTING BUILDING BASED ON DIMENSIONS TAKEN ON SITE AND BY A VISUAL NON-INVASIVE INSPECTION. OTHER CONDITIONS, FEATURES AND SERVICES MAY EXIST ON SITE

ALL GAPS AT FASCIA AND RIDGE LINES TO BE SEALED WITH A PERFORATED MESH MADE OF CORROSION-RESISTANT STEEL, BRONZE OR ALUMINUM, MINERAL WOOL, OR OTHER SUITABLE NON-COMBUSTIBLE MATERIAL TO REDUCE ENTRY OF BURNING EMBERS TO AS3959

FC EAVES AND SOFFIT SHEETING. INSTALL VENTILATION OPENINGS FOR CONDENSATION MANAGEMENT. OPENINGS GREATER THAN 2mm SHALL BE PROTECTED WITH EMBER GUARDS MADE OF NON-COMBUSTIBLE MATERIAL OR A MESH OR PERFORATED SHEET WITH A MAXIMUM APERTURE OF 2mm MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINUM

CUSTOM ORB ROOF SHEETING FIXED TO TIMBER ROOF BATTENS. ENSURE ENDS OF CORRUGATIONS ARE SEALED AT EDGES AND AT CAPPINGS

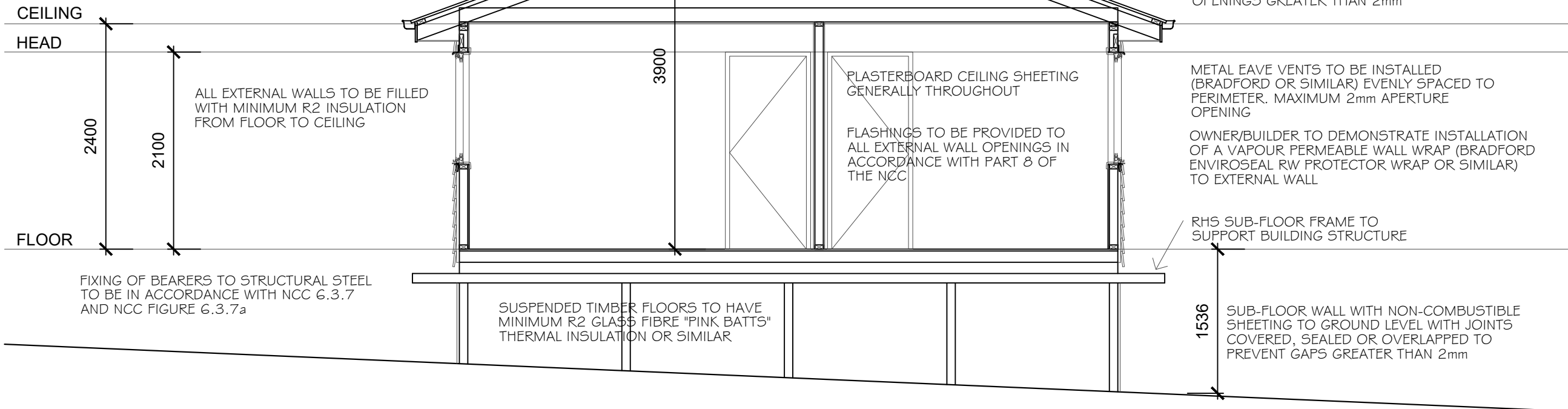
PERFORATED VAPOUR PERMEABLE ROOF SARKING TO COMPLY WITH AS/NZS 4200 AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS FOR SELECTED ROOF SHEETING

QUAD GUTTER WITH COLORBOND FINISH. IT IS RECOMMENDED THAT A NON-COMBUSTIBLE LEAF GUARD BE INSTALLED TO ALL GUTTERS

CEILINGS GENERALLY TO HAVE MINIMUM R4 INSULATION WITH R2 INSULATION. PERIMETER INSULATION IS NOT TO BLOCK OFF AIR FLOW FROM EAVES INTO THE ROOF SPACE.

METAL ROOF SHEETING AT 20° PITCH

ROOF/WALL JUNCTIONS TO BE SEALED TO PREVENT THE OPENINGS GREATER THAN 2mm



METAL EAVE VENTS TO BE INSTALLED (BRADFORD OR SIMILAR) EVENLY SPACED TO PERIMETER. MAXIMUM 2mm APERTURE OPENING

OWNER/BUILDER TO DEMONSTRATE INSTALLATION OF A VAPOUR PERMEABLE WALL WRAP (BRADFORD ENVIROSEAL RW PROTECTOR WRAP OR SIMILAR) TO EXTERNAL WALL

RHS SUB-FLOOR FRAME TO SUPPORT BUILDING STRUCTURE

SUB-FLOOR WALL WITH NON-COMBUSTIBLE SHEETING TO GROUND LEVEL WITH JOINTS COVERED, SEALED OR OVERLAPPED TO PREVENT GAPS GREATER THAN 2mm

SURROUNDING GROUND LEVEL TO BE SHAPED DIVERT SURFACE WATER AWAY FROM BUILDING WITH A MINIMUM FALL OF 50mm OVER THE FIRST 1m FROM THE BUILDING AND IN ACCORDANCE WITH PART 3.3 OF THE NCC

FIXING OF SUSPENDED DECKS TO EXTERNAL WALLS TO BE IN ACCORDANCE WITH PART 12.3 OF THE NCC AND THE ENGINEERS DETAIL

UNDERSIDE OF BUILDING (EXCLUDING VERANDAHs TO BE FULLY ENCLOSED WITH A WALL COMPLYING WITH AS3959.

SUB-FLOOR SPACE TO BE VENTED IN ACCORDANCE WITH CLAUSE 3.4.1.2 OF THE NCC (I.E. 6,000 sqmm/m OF WALL). OPENINGS TO BE SCREENED IN ACCORDANCE WITH AS3959 WITH NO OPENING IN ANY MESH OR PERFORATED METAL USED AS A SCREEN EXCEEDING 2mm

VENTS TO BE INSTALLED 600mm FROM CORNERS AND EVENLY SPACED AROUND PERIMETER

BALUSTRADING TO CONFORM TO THE REQUIREMENTS OF THE NCC 2022, PART 11

BALUSTRADES MUST BE CAPABLE OF TAKING LOADING FORCES IN ACCORDANCE WITH AS 1170.1 OR AS/NZS 1170.1

THE HEIGHT OF THE BALUSTRADE MUST BE NOT LESS THAN 1000mm ABOVE THE LEVEL OF THE ADJOINING BALCONY, LANDING ETC.

OPENINGS IN BALUSTRADES MUST NOT EXCEED 125mm

TIMBER WALL AND ROOF FRAMING SIZE AND SPACING OF MEMBERS UNKNOWN. OWNER TO EXPOSED FRAMING FOR CONFIRMATION BY BUILDING SURVEYOR IF REQUIRED

SUB FLOOR FRAMING (STRESS GRADE UNKNOWN) BEARERS 150x75 HW FLOOR JOISTS 120x45 HW AT 450 CENTRES TIMBER FLOORING

CONSTRUCTION TO ACHIEVE BAL-12.5 AS DETERMINED BY THE BUSHFIRE REPORT



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FOR ACCOMMODATION UNIT**

DRAWING:  
**SECTION**

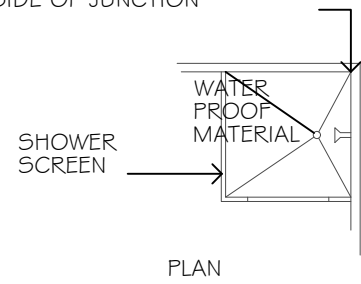
FOR:  
**L BELL**

AT:  
**243 JOSEPH'S ROAD  
CARLTON**

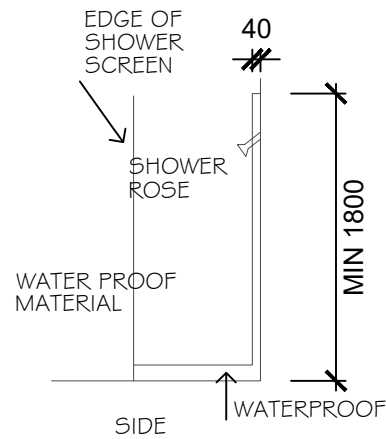
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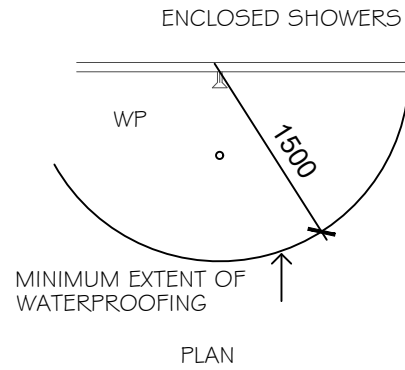
WATERPROOF CORNER TO 1800 HIGH FROM FINISHED FLOOR LEVEL, MINIMUM WIDTH OF 40mm EITHER SIDE OF JUNCTION



PLAN



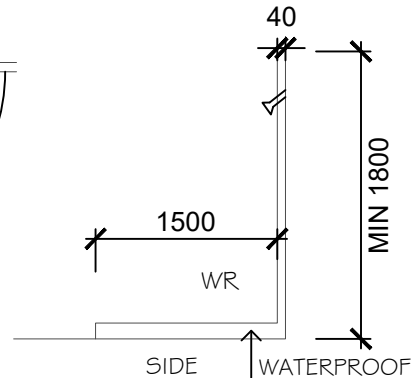
SIDE



ENCLOSED SHOWERS

MINIMUM EXTENT OF WATERPROOFING

PLAN



SIDE

UNENCLOSED SHOWERS

NOTE: ALL FLOOR WATERPROOFING TO TERMINATE AT WATERSTOP

WATERPROOFING REQUIREMENTS INDICATED ARE TYPICAL ONLY, FINAL REQUIREMENTS DEPENDANT ON FIXTURES SELECTED AND INSTALLED

EXTRACT FROM AS 3740 WATERPROOFING OF DOMESTIC WET AREAS, REFER TO STANDARD FOR FURTHER INFORMATION AND CLARIFICATION

**WET AREAS**

WET AREA TREATMENT TO BE INSTALLED IN ACCORDANCE WITH AS 3740 AND NCC PART WET AREA WATERPROOFING

**KITCHEN**

WATER RESISTANT SPLASHBACK TO REAR OF SINK TO LENGTH OF BENCH

**BATHROOM**

WR PLASTERBOARD GENERALLY TO ALL BATHROOM WALLS

SHOWER BAYS TO BE FC SHEET OR SIMILAR MIN 1800mm FROM FLOOR AND COVERED WITH WATER PROOF MATERIAL

SHOWER BASES TO BE FABRICATED FIBREGLASS TYPE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS AND AS 3740

PROVIDE WATER RESISTANT MEMBRANE INSTALLED TO ENTIRE FLOOR AREA OF BATHROOM

**LAUNDRY**

WATER RESISTANT MEMBRANE INSTALLED TO FLOOR

FC SHEETING TO WALLS ADJACENT TO TUB AND WASHING MACHINE

**GENERAL REQUIREMENTS FOR WATERPROOFING**

AREA WHERE FIXTURE INSTALLED	FLOOR/HORIZONTAL SURFACES	WALLS	JUNCTIONS	PENETRATIONS
SHOWER (ENCLOSED AND HOBLESS)	WATERPROOF ENTIRE FLOOR IN SHOWER AREA INCLUDING WATER STOP	WATERPROOF WALLS TO MIN 1800mm ABOVE SHOWER FLOOR OR 150mm ABOVE THE SHOWER ROSE WHICHEVER IS THE HIGHER	WATERPROOF WALL JUNCTIONS WITHIN SHOWER AREA AND WATERPROOF ALL WALL/FLOOR JUNCTIONS WITHIN SHOWER AREA	WATERPROOF ALL PENETRATIONS
INSERTED BATHS	NO REQUIREMENT UNDER BATH WATERPROOF SHELF AREA INCORPORATING WATER STOP UNDER LIP OF BATH	NO REQUIREMENT UNDER BATH WATERPROOF TO NOT LESS THAN 150mm ABOVE THE BATH	NO REQUIREMENT FOR UNDER BATH WATERPROOF JUNCTIONS WITHIN 150mm ABOVE BATH	WATERPROOF TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN HORIZONTAL SURFACES
FREESTANDING BATHS	CONCRETE OR FC SHEET TO BE WATER RESISTANT TIMBER FLOORS TO BE WATERPROOF	WATER RESISTANT TO A HEIGHT OF 150mm ABOVE THE BATH AND FOR THE FULL EXTENT OF THE BATH IF LOCATED WITHIN 75mm OF A WALL	WALL AND FLOOR JUNCTIONS TO BE WATER RESISTANT FOR THE FULL LENGTH OF THE BATH	WATERPROOF ALL PENETRATIONS
WALLS ADJOINING SINKS, BASINS, LAUNDRY TUBS ETC		WATER RESISTANT TO A HEIGHT OF NOPT LESS THAN 150mm ABOVE FIXTURE, FOR THE EXTENT OF THE FIXTURE WHERE THE FIXTURE IS WITHIN 75mm OF THE WALL	WATERPROOF WALL JUNCTIONS WHERE A FIXTURE IS FIXED TO A WALL	WATERPROOF TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN SURFACES REQUIRED TO BE WATERPROOF OR WATER RESISTANT
LAUNDRY AND WC	WATER RESISTANT MATERIAL TO ENTIRE FLOOR OF THE ROOM		WATERPROOF ALL WALL TO FLOOR JUNCTIONS	WATERPROOF PENETRATIONS WHERE THEY OCCUR IN FLOORS OR SURFACES REQUIRED TO BE WATERPROOF

**NOTE:**

- WET AREAS SHALL COMPLY WITH THE REQUIREMENTS OF THE NCC AND AS3740-2010 WATERPROOF OF WET AREAS IN RESIDENTIAL BUILDINGS

Notwithstanding the information noted and detailed on the drawings, the following conditions shall apply to construction works. Where a discrepancy occurs between these requirements and conditions noted on the drawings, the higher construction standard shall apply.

The site has been assessed as requiring a BAL 12.5 rating and construction works shall be in accordance with AS3959-2018 Construction of buildings in bushfire prone areas Sections 3 and 5 which includes the following requirements:

**Subfloor areas:** Sub-floor areas shall be enclosed with a wall which is non-combustible, a bushfire resisting timber, an approved timber or a combination of these items. Joints in external surface material of walls shall be covered, sealed, overlapped or butt jointed to prevent gaps greater than 2mm.

**Walls:** The exposed components of an external wall that is less than 400mm above the ground, or less than 400mm above a deck shall be non-combustible, a bushfire resisting timber, an approved timber or a combination of these items. Joints in external surface material of walls shall be covered, sealed, overlapped or butt jointed to prevent gaps greater than 2mm.

All gaps including vents, weepholes and the like shall be screened, except for weepholes to the sills of windows and doors. The maximum aperture size of any mesh or perforated material used as a screen shall be 2mm.

**Windows:** Openable portions of windows shall be fitted with screens made of corrosion resistant steel, bronze or aluminum and gaps to the perimeter of the screen assembly and the building shall not exceed 3mm. Windows less than 400mm above finished ground level or less than 400mm above a deck, shall be A Grade safety glass.

**Doors- side hung, external:** External side hung doors, including French doors, panel doors and bi-fold doors, shall be either protected externally with compliant screens; be non-combustible, solid timber, or fitted with a kickplate on the outside for the first 400mm above the threshold, or protected externally by a screen. Fit weatherproof seal to all external side hung doors. Alternatively doors may be proprietary doors certified as complying with AS1530.8.1 and AS3959

**Doors - sliding, external:** External sliding doors shall be completely protected externally with screens or shall be Grade A Safety Glass complying with AS1288.

**Roof:** Roof sheeting to be non-combustible. Roof/wall junctions to be sealed to prevent the openings greater than 2mm. Roof ventilation openings shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2mm made of corrosion resistant steel, bronze or aluminum.

**Veranda roof:** A veranda roof which forms part of the main roof and shall meet all the requirements for the main roof

**Eave linings, fascias and gables:** Eave penetrations shall be protected the same as for roof penetrations. Eave ventilation openings greater than 3mm shall be protected with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2mm made of corrosion-resistant steel, bronze or aluminum.

**Gutters and downpipes:** There are no specific requirements for gutters and downpipes except that box gutters and associated flashings shall be non-combustible. It is recommended that non-combustible leaf guards are installed to all gutters and valleys.

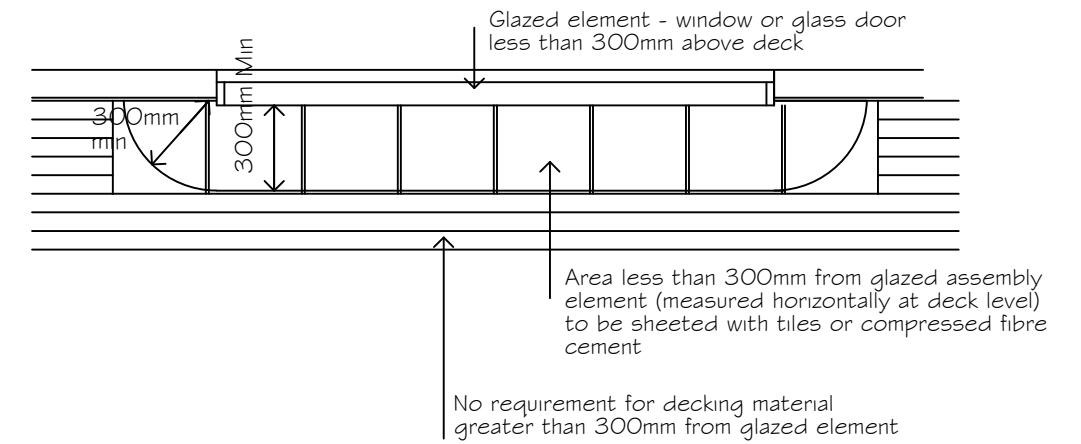
**Decking:** Veranda decking to be spaced nominally at 2mm in accordance with industry practice.

**NOTE:**  
This table is provided as guide only. Refer AS3959-2018 Sections 3 and 5 for a full explanation of requirements

Above-ground water supply pipes shall be metal

Timbers for Balcony/Verandahs floors, and bushfire resistant timbers shall be as specified in AS3959.

Bushfire resisting timbers and timber species with a timber density 750 kg/cum or greater satisfying as3959 requirements includes Blackbutt, Grey Gum, Grey Ironbark, Jarrah, Kwila, Red Ironbark, Red River Gum, Silvertop Ash, Spotted Gum, Turpentine.



**NOTE:**  
Timber wall sheeting within 400mm of timber deck to consist of bushfire resisting timbers or timber species with a timber density 750 kg/cum or greater satisfying E1 requirements. Alternatively use non-combustible material, 6mm FC sheeting or similar. No requirement for timbers above 400mm from deck

TIMBER DECKING DETAIL

## WATER SUPPLY

ALL PIPING SHALL BE ADEQUATELY FIXED AT EACH FITTING INCORPORATING PROVISION FOR EXPANSION AND TO PREVENT MOVEMENT OF THE FITTING

ALL ABOVE GROUND WATER SUPPLY PIPES SHALL BE METAL

HOT WATER TO ALL FIXTURES USED FOR PERSONAL ABLUTIONS MUST BE FITTED WITH AN APPROVED TEMPERING VALVE TO LIMIT THE WATER TEMPERATURE TO A MAXIMUM 50° C IN ACCORDANCE WITH AS3500

HOT WATER SYSTEM TO HAVE A TEMPERATURE VALVE SET TO 65° C. HOT WATER PIPEWORK INSULATED IN ACCORDANCE WITH NCC AND AS3500.4

## DRAINER

SEWER PIPES TO COMPLY WITH AS1260, WORKMANSHIP SHALL COMPLY WITH AS2032

DRAINAGE SYSTEM INSTALLATION, INCLUDING ORG'S, VENTS AND SEWER PIPE SIZES TO BE IN ACCORDANCE WITH AS/NZS3500.2 2021 - PLUMBING AND DRAINAGE

ALL SANITARY WASTES AND FITTINGS SHALL COMPLY WITH AS1415. FINAL LOCATION TO BE DETERMINED ON SITE

ALL PIPING SHALL BE ADEQUATELY FIXED AT EACH FITTING INCORPORATING PROVISION FOR EXPANSION AND TO PREVENT MOVEMENT OF THE FITTING

VENTS TO TERMINATE ABOVE ROOF WITH APPROVED COWL WITH WATERPROOF FLASHING

UNLESS SHOWN OTHERWISE PIPE GRADES SHALL BE:

Ø50 1:40 (1.25%)  
Ø65 1:40 (1.25%)  
Ø100 1:60 (1.65%)

### LEGEND

BTH BATH  
B BASIN  
LT LAUNDRY TUB  
FW FLOOR WASTE  
SHR SHOWER  
S SINK  
WC WATER CLOSET

### WASTE PIPE SIZES

BATH Ø50  
BASIN Ø40  
SINK Ø50  
L TUB Ø50  
SHR Ø65  
WC Ø100  
VENT Ø50

IO INSPECTION OPENING  
VP VENT PIPE  
ORG OVERFLOW RELIEF GULLY

CONTRACTORS AND SUB-CONTRACTORS SHALL ARRANGE FOR ALL INSPECTIONS AS MAY BE REQUIRED BY COUNCIL BUILDING AND PLUMBING APPROVALS

ORG TO BE INSTALLED MIN 150mm BELOW FLOOR LEVEL OR 150mm BELOW THE LOWEST FIXTURE IF THE FIXTURE IS BELOW FLOOR LEVEL IN ACCORDANCE WITH AS3500.5

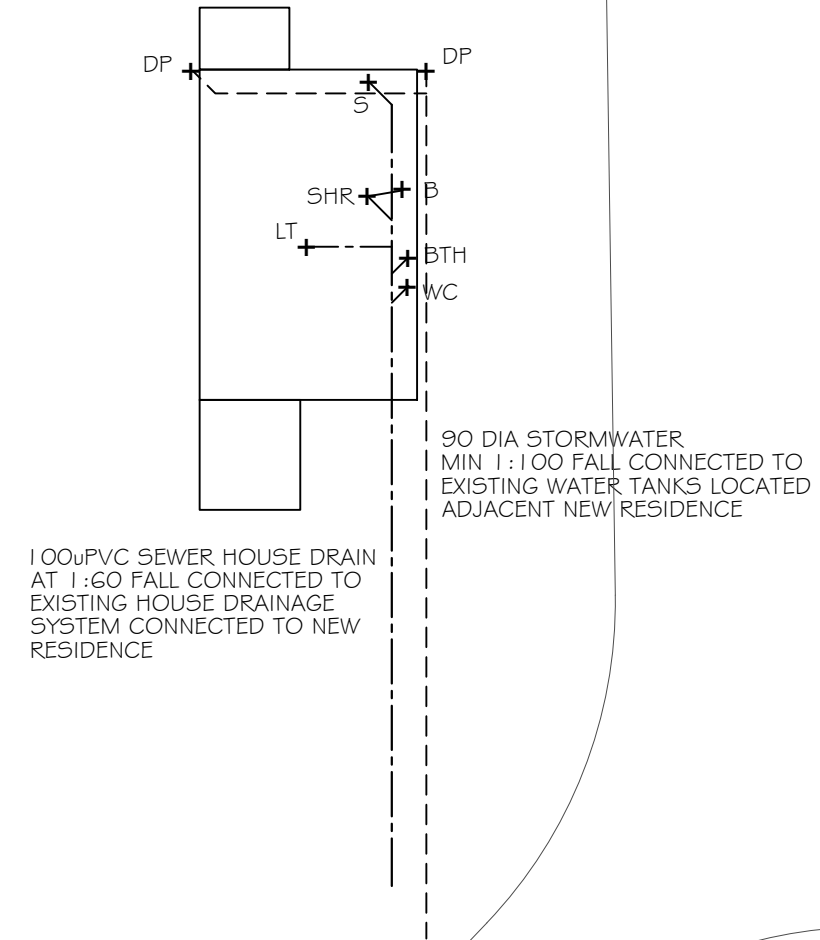
### NOTE

BUILDER AND PLUMBER TO LOCATE EXISTING SEWER HOUSE DRAINS AND STORMWATER LINES AND CONFIRM THAT ALL FALLS, CLEARANCES ETC ARE SUITABLE AND SATISFY THE REQUIREMENTS OF THE SORELL COUNCIL

## DOWNPIPES

DOWNPIPES TO BE LOCATED AT MAX 1.2m CENTRES ALONG GUTTERS AND LOCATED NOT MORE THAN 1.2m FROM A VALLEY GUTTER OR AN ADEQUATE MEANS OF OVERFLOW FROM THE GUTTER IS TO BE INSTALLED

ROOF AREA: 140 sqm  
DESIGN RAINFALL INTENSITY: 116 mm/hr  
STD QUAD EAVES GUTTER TO BE INSTALLED  
MIN 1:500 FALL  
70 sqm ROOF CATCHMENT AREA PER DOWNPIPE  
2/100x50mm OR 2/90mm DIA DOWNPIPES SATISFIES THE REQUIREMENTS OF THE NCC



**Sorell Council**  
Development Application: Development Application - 243 Josephs Road, Carlton P1.pdf  
Plans Reference: P1  
Date Received: 6/01/2025

PROPERTY DESCRIPTION  
PID No 3069011  
TITLE No 159464/3  
CONTAINING 503,800 sqm

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PROPOSED:  
**RETROSPECTIVE APPROVAL L BELL FOR ACCOMMODATION UNIT**  
DRAWING:  
**DRAINAGE PLAN**

FOR:  
**L BELL**  
AT:  
**243 JOSEPH'S ROAD CARLTON**

JOB NO.:  
**1610 AC-H-01**  
OF 1 SHEET / S  
DATE DRAWN:  
**DECEMBER 2024**



## WATER SUPPLY

ALL PIPING SHALL BE ADEQUATELY FIXED AT EACH FITTING INCORPORATING PROVISION FOR EXPANSION AND TO PREVENT MOVEMENT OF THE FITTING

ALL ABOVE GROUND WATER SUPPLY PIPES SHALL BE METAL

HOT WATER TO ALL FIXTURES USED FOR PERSONAL ABLUTIONS MUST BE FITTED WITH AN APPROVED TEMPERING VALVE TO LIMIT THE WATER TEMPERATURE TO A MAXIMUM 50° C IN ACCORDANCE WITH AS3500

HOT WATER SYSTEM TO HAVE A TEMPERATURE VALVE SET TO 65° C. HOT WATER PIPEWORK INSULATED IN ACCORDANCE WITH NCC AND AS3500.4

## DRAINER

SEWER PIPES TO COMPLY WITH AS1260, WORKMANSHIP SHALL COMPLY WITH AS2032

DRAINAGE SYSTEM INSTALLATION, INCLUDING ORG'S, VENTS AND SEWER PIPE SIZES TO BE IN ACCORDANCE WITH AS/NZS3500.2 2021 - PLUMBING AND DRAINAGE

ALL SANITARY WASTES AND FITTINGS SHALL COMPLY WITH AS1415. FINAL LOCATION TO BE DETERMINED ON SITE

ALL PIPING SHALL BE ADEQUATELY FIXED AT EACH FITTING INCORPORATING PROVISION FOR EXPANSION AND TO PREVENT MOVEMENT OF THE FITTING

VENTS TO TERMINATE ABOVE ROOF WITH APPROVED COWL WITH WATERPROOF FLASHING

UNLESS SHOWN OTHERWISE PIPE GRADES SHALL BE:

Ø50 1:40 (1.25%)  
Ø65 1:40 (1.25%)  
Ø100 1:60 (1.65%)

### LEGEND

BTH BATH  
B BASIN  
LT LAUNDRY TUB  
FW FLOOR WASTE  
SHR SHOWER  
S SINK  
WC WATER CLOSET  
  
IO INSPECTION OPENING  
VP VENT PIPE  
ORG OVERFLOW RELIEF GULLY

### WASTE PIPE SIZES

BATH Ø50  
BASIN Ø40  
SINK Ø50  
L TUB Ø50  
SHR Ø65  
WC Ø100  
VENT Ø50

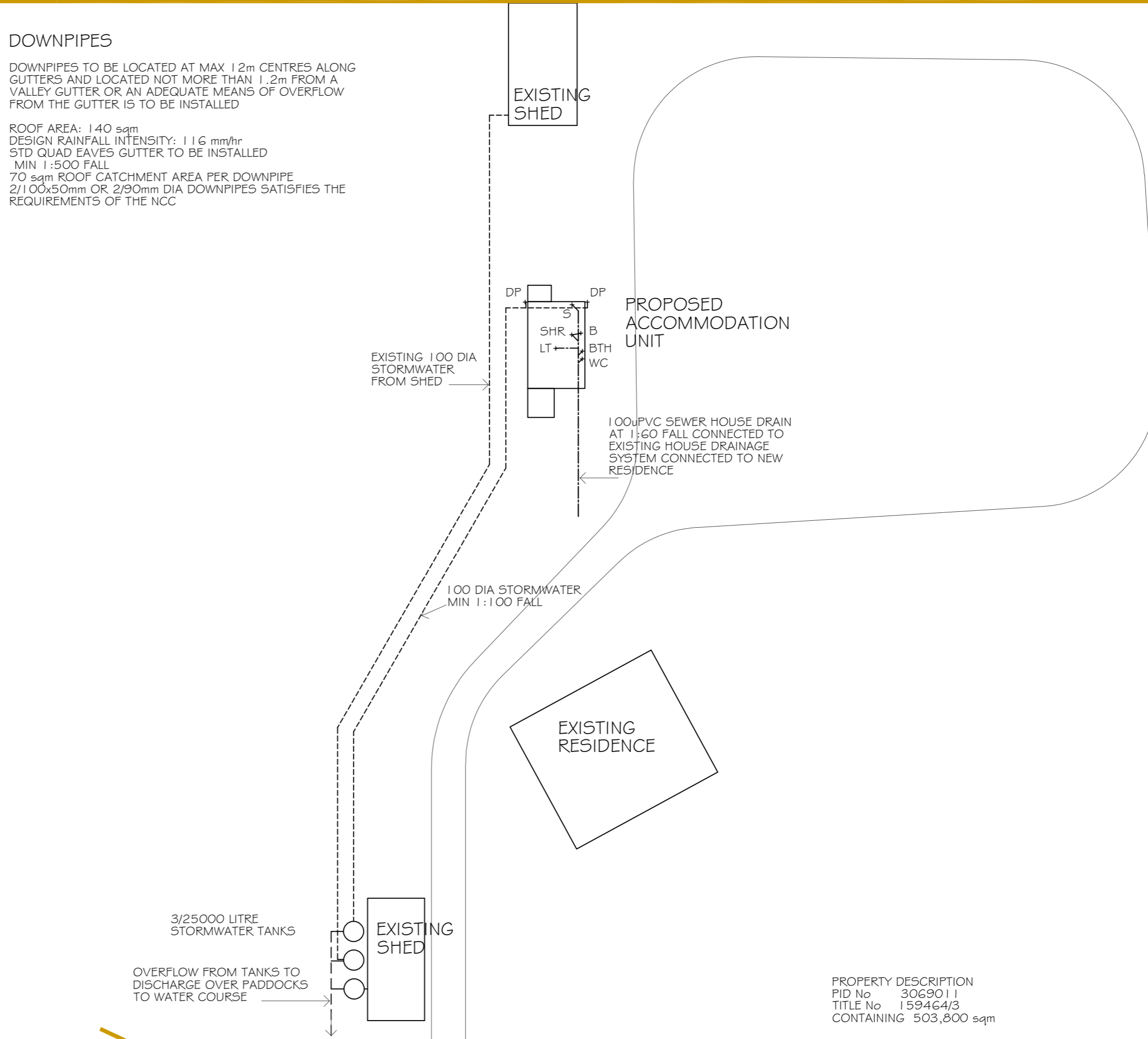
CONTRACTORS AND SUB-CONTRACTORS SHALL ARRANGE FOR ALL INSPECTIONS AS MAY BE REQUIRED BY COUNCIL BUILDING AND PLUMBING APPROVALS

ORG TO BE INSTALLED MIN 150mm BELOW FLOOR LEVEL OR 150mm BELOW THE LOWEST FIXTURE IF THE FIXTURE IS BELOW FLOOR LEVEL IN ACCORDANCE WITH AS3500.5

## DOWNPIPES

DOWNPIPES TO BE LOCATED AT MAX 1.2m CENTRES ALONG GUTTERS AND LOCATED NOT MORE THAN 1.2m FROM A VALLEY GUTTER OR AN ADEQUATE MEANS OF OVERFLOW FROM THE GUTTER IS TO BE INSTALLED

ROOF AREA: 140 sqm  
DESIGN RAINFALL INTENSITY: 116 mm/hr  
STD QUAD EAVES GUTTER TO BE INSTALLED  
MIN 1:500 FALL  
70 sqm ROOF CATCHMENT AREA PER DOWNPIPE  
2/100x50mm OR 2/90mm DIA DOWNPIPES SATISFIES THE REQUIREMENTS OF THE NCC



**Sorell Council**  
Development Application: 5.2025.3.1 -  
Response to Request for information - 243  
Josephs Road, Carlton - P2.pdf  
Plan Reference: P3  
Date received: 28/01/2025

PROPERTY DESCRIPTION  
PID No 3069011  
TITLE No 159464/3  
CONTAINING 503,800 sqm

**Philip Cuthbertson**  
BUILDING  
DESIGN  
SOLUTIONS

PO Box 240  
Huonville TAS 7109  
Phone: 0438 782 653  
phcuthbertson@gmail.com

ABN 48 366 214 794  
Bushfire Practitioner No. BFP-123  
Building Accreditation No. CC2251 H

SCALE: 1:500 AT A3  
0m 10m 20m

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