

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: 41 Bay Street, Dunalley

**PROPOSED DEVELOPMENT:
DWELLING & OUTBUILDING**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 3rd March 2025**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Monday 3rd March 2025**

APPLICANT: Threshold Building Design

APPLICATION NO: DA 2025 / 2 1

DATE: 14 February 2025

Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use:
	Development:
	<i>Large or complex proposals should be described in a letter or planning report.</i>

Design and construction cost of proposal:	\$
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Is all, or some the work already constructed:	No: <input type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address:
	Suburb: Postcode:
	Certificate of Title(s) Volume: Folio:

Current Use of Site
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Current Owner/s:	Name(s).....
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Is the Property on the Tasmanian Heritage Register?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>

If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form
<https://www.sorell.tas.gov.au/services/engineering/>



Sorell Council
 Development Application: Development Application - 41 Bay Street, Dunalley.pdf
 Plans Reference:P1
 Date Received:6/01/2025

Part B continued: Please note that Part B of this form is publicly exhibited

Declarations and acknowledgements

- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.
- I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council’s representatives to enter the land at any time during normal business hours.
- I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.
- I/we declare that, in accordance with s52(1) of the *Land Use Planning and Approvals Act 1993*, that I have notified the owner(s) of the intention to make this application.
- I/we declare that the information in this application is true and correct.

Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council’s Privacy Policy available on the Council website.

- I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

- Where the General Manager’s consent is also required under s.14 of the *Urban Drainage Act 2013*, by making this application I/we also apply for that consent.

Applicant Signature:	Signature: <u>Sarah Wimmer</u> Date:
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Crown or General Manager Land Owner Consent

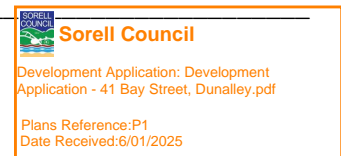
If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the *Land Use Planning and Approvals Act 1993*).

Please note:

- If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au
- If the application involves Crown land you will also need a letter of consent.
- Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.

I _____ being responsible for the administration of land at _____

declare that I have given permission for the making of this application for _____



Signature of General Manager, Minister or Delegate:	Signature: Date:
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PROJECT DUNALLEY HOUSE

DATE

Work in Progress 1/02/2025

SITE INFORMATION

ADDRESS **41 BAY STREET, DUNALLEY TAS 7177**
OWNER/CLIENT ROB & DONNA SAUNDERS
TITLE REF 77611/3
MUNICIPALITY SORELL
ZONING LOW DENSITY RESIDENTIAL

DESIGNER Sarah Wimmer
LICENCE NO 875803611
CONTACT sarah@thresholddesigns.com.au

LAND SIZE 1014 sqmm²
BUILDING CLASSIFICATION 1a
WIND CLASSIFICATION N3
SOIL CLASSIFICATION H-1
CLIMATE ZONE 7
CORROSION ENVIRONMENT MODERATE
ALPINE AREA N/A
OTHER HAZARDS BUSHFIRE PRONE AREA

INDEX OF DRAWINGS

ID	NAME	REV
	SITE SURVEY	02 - WIP
DA.01	SITE PLAN	02 - WIP
DA.02	FLOOR PLAN	02 - WIP
DA.03	ROOF PLAN	02 - WIP
DA.04	ELEVATIONS	02 - WIP
DA.05	SHED	02 - WIP



GENERAL NOTES

ALL WORK SHALL BE IN ACCORDANCE AND COMPLY WITH THE RELEVANT AND CURRENT BUILDING CODE OF AUSTRALIA, COUNCIL BY-LAWS, AUSTRALIAN STANDARDS, CURRENT WORKPLACE STANDARDS AND CODES OF PRACTICE AND ALL APPROVAL CONDITIONS SPECIFIC TO THIS PROJECT.

ALL DIMENSIONS AND LEVELS TO BE VERIFIED ON SITE PRIOR TO COMMENCING CONSTRUCTION.

DO NOT SCALE FROM THIS DRAWING.

THE CONTRACTOR IS TO CONFIRM ON SITE ALL LEVELS, DATUMS, AND DIMENSIONS IN RELATION TO THE DRAWINGS AND THE SITE BEFORE PROCEEDING WITH WORKS

ENSURE THAT THIS DRAWING AND ANY ACCOMPANYING DETAILS AND/OR SPECIFICATIONS HAVE BEEN STAMPED AS 'APPROVED' BY THE RELEVANT LOCAL AUTHORITY.

ALL DISCREPANCIES TO BE REPORTED TO THE DESIGNER FOR INSTRUCTION

THE PROPRIETOR IS TO ENSURE THAT ANY "CONDITIONS OF APPROVAL" ISSUED BY THE BUILDING SURVEYOR, RELEVANT COUNCIL AND OTHER STATUTORY AUTHORITIES ARE PASSED ONTO THE CONTRACTOR BEFORE CONSTRUCTION BEGINS.

ANY ALTERATION TO THE CONSTRUCTION AND/OR MATERIALS INDICATED IN THESE DRAWINGS IS TO BE APPROVED BY THE DESIGNER, THE ENGINEER, THE BUILDING SURVEYOR, AND THE PROPRIETOR BEFORE PROCEEDING WITH THE WORK.

THE STRUCTURAL ENGINEER SHALL ENSURE THAT, AS FAR AS REASONABLY PRACTICABLE, THE BUILDING WORKS ARE STRUCTURALLY SOUND AND FIT-FOR-PURPOSE.

BUILDING WORK SHALL:
a) NOT CAUSE A NUISANCE TO BECOME A RISK OR THREAT TO PUBLIC HEALTH, AND
b) NOT ADVERSELY AFFECT AN OWNER, OCCUPIER, OR USER OF AN ADJOINING PREMISES.

ALL CONTRACTORS MUST CARRY OUT WORKS IN ACCORDANCE WITH CURRENT HEALTH AND SAFETY LEGISLATION AND BEST PRACTICE INCLUDING PREPARATION OF A CONSTRUCTION SAFETY MANAGEMENT PLAN

- LEGEND**
- Title boundary
 - Surrounding boundary
 - · - Top/toe of bank
 - / - Fence
 - ht Roof
 - · - ht Sewer main (per the LIST)
 - + Spot height
 - △ Survey point
 - v - Overhead Electrical
 - ▤ Building
 - Corner Mark (not verified)
 - 🌳 Tree

NOTES

Date of Survey: 10 September 2024

Bearing datum is GDA2020 per SIO166407

Horizontal datum is plane with MGA2020 coordinate adopted at CCMDAB1, with coordinates of E 566166.274 N 5251790.947 per SURCOM.

Vertical datum is AHD per CCMDAB1 with reputed RL 26.156m.

Contour Interval 0.25m

While reasonable effort has been made to locate all visible above ground services, there may be other services which were not located during survey.

Some services have been plotted from public records, and as such are approximate only.

Prior to any demolition, excavation, final design or construction on this site, a comprehensive site investigation should be undertaken to locate all above and below ground service infrastructure.

All coordinates within this file, although stated to the nearest 0.001 metre, are approximate only and are only within 0.030m of the stated coordinate (horizontally and vertically).

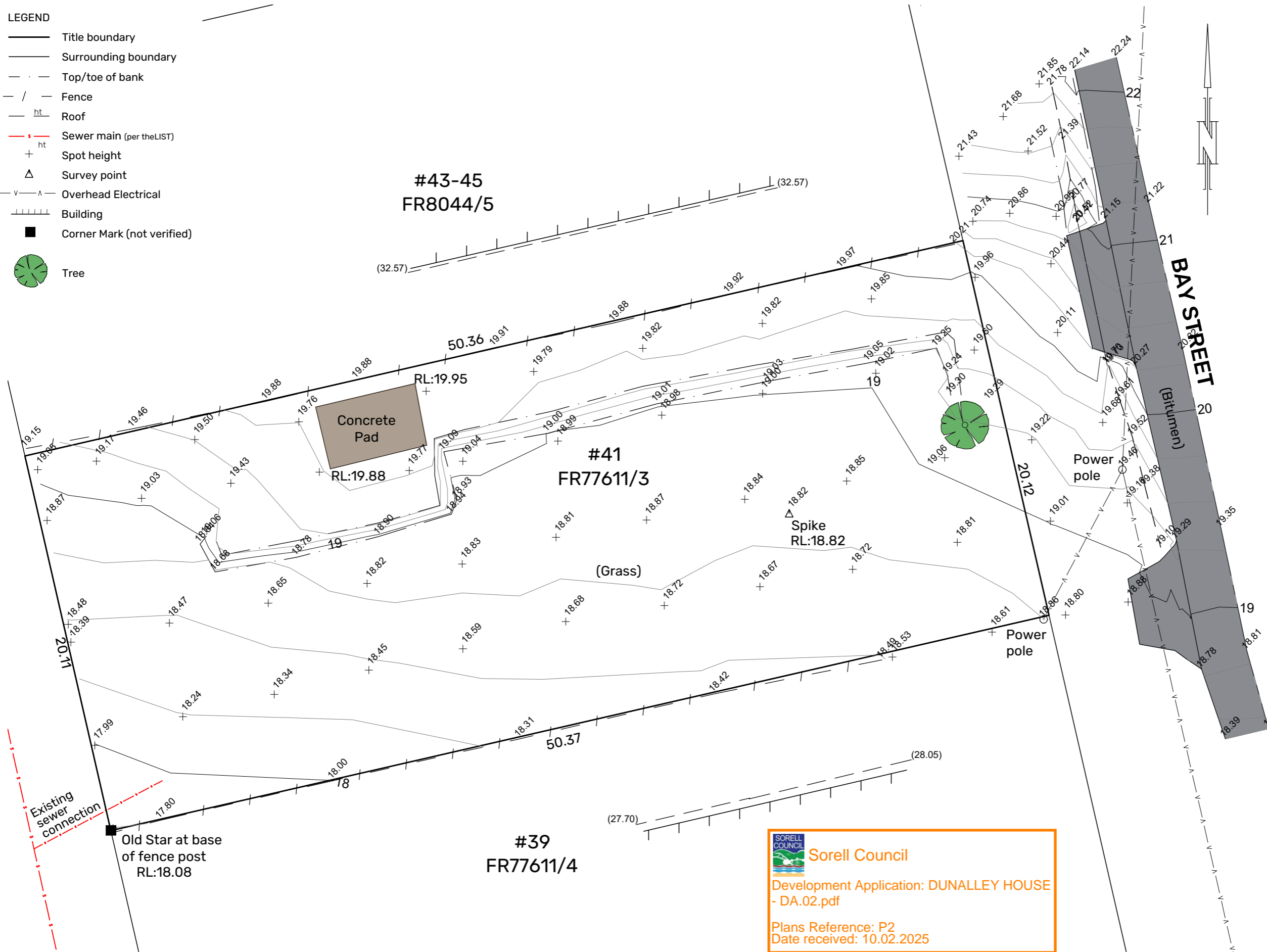
The boundaries shown on this plan are compiled from SIO166407 and, as such, are approximate only.

If any works are to be conducted on or near the boundary a re-establishment survey will be required.

Any DTM modeling that is to be done from the accompanying 3D digital file must be done using only the layer 'TRIANGLE_1 SURFACE_F' to ensure that surface matches that verified by PDA Surveyors, Engineers & Planners. No responsibility is taken for the use or interpretation of this data in any other format.

Some feature levels are not shown on this plan for clarity. These can be found turned on in model space.

As at 18/09/2024 the subject site, namely FR77611/3 was owned by Andrew Morgan Hall per the LIST

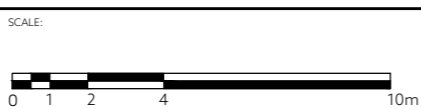


Sorell Council

Development Application: DUNALLEY HOUSE - DA.02.pdf

Plans Reference: P2
Date received: 10.02.2025

E				
D				
C				
B				
A				
REV	AMENDMENTS	DRAWN	DATE	APPR.



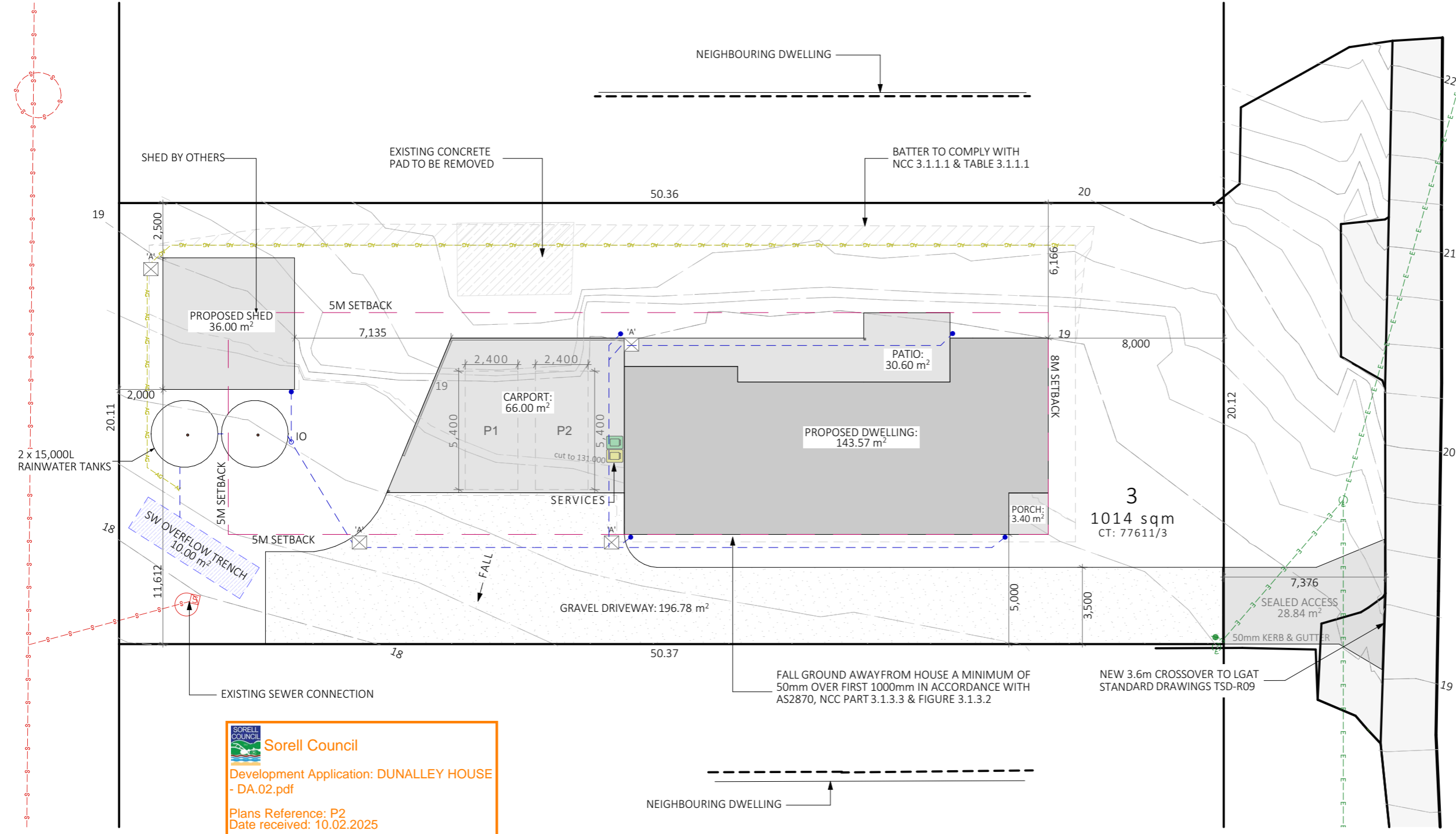
SURVEYOR	FR	GEOCIVIL	53462MS
DRAWN	FR	CHECKED	MS
DATE	18-09-2024		

Detail and Contour Survey
41 Bay Street Dunalley
Rob Saunders

PDA
SURVEYORS, ENGINEERS & PLANNERS

6 Freeman Street
Kingston, Tasmania, 7050
PHONE: +61 03 6229 2131
EMAIL: pda.kth@pda.com.au
www.pda.com.au
Also at: Hobart, Launceston,
Burnie & Devonport.

SCALE	PAPER
1:200	(A3)
JOB NUMBER	DRAWING
53462MS-01	



SITE NOTES

CONTOUR INTERVALS @ 0.25m. SITE LEVELS ARE APPROX ONLY. PLANS TO BE READ IN CONJUNCTION WITH THE CONTOUR AND DETAIL SURVEY 13286 UNDERTAKEN BY PDA ON 18/09/2024.

ALL SITE LEVELS TO BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION. EXTENT OF SITE CUT & RETAINING TO BE DETERMINED ON SITE. RL'S PROVIDED FOR FFL'S OF PROPOSED DWELLING & ASSOCIATED STRUCTURES ARE INDICATIVE ONLY & SHOULD BE DETERMINED ONSITE PRIOR TO CONSTRUCTION.

ALL WORKS TO COMPLY WITH THE NCC & AUSTRALIAN STANDARDS.

MIN SET DOWN FROM FFL 150MM. GROUND TO FALL AWAY FROM BUILDING IN ALL DIRECTIONS.

ALL ELEMENTS OF CONSTRUCTION INCLUDING FOOTINGS, DRAINAGE PROVISIONS, GUTTERS & DOWNPIPES ARE TO REMAIN ENTIRELY WITHIN THE PROPERTY BOUNDARIES.

SW PITS ARE INDICATIVE. LOCATION MAY VARY DEPENDING ON SITE CONDITIONS.

DOWNPIPES TO BE CONNECTED INTO COUNCIL STORMWATER/WATER TANK AS SOON AS ROOF IS INSTALLED.

SITE PREPARATION
SITE PREPARATION TO COMPLY WITH 3.1.1 OF THE NCC AND AS3798.

EARTHWORKS
ALL SITE EARTHWORKS TO BE IN ACCORDANCE WITH 3.1.1 OF THE NCC AND AS3798. EXCAVATE THE SITE TO REQUIRED LEVELS. EXTENT OF SITE CUT, FILL & RETAINING TO BE DETERMINED ON SITE, NOT TO EXCEED MORE THAN 1m AS PER PLANNING SCHEME REQUIREMENTS. SLOPE GROUND AWAY FROM THE HOUSE/SLAB AT A SLOPE OF NOT LESS THAN 50mm OVER 1000mm. DRAINAGE TO COMPLY WITH NCC PART 3.1.2.

DRIVEWAY & PARKING
DRIVE TO BE SUITABLY DRAINED AWAY FROM DWELLING TO SW PITS. CAR PARKING TO AS 2890.1:2004, USER CLASS 1A.

Sorell Council
Development Application: DUNALLEY HOUSE - DA.02.pdf
Plans Reference: P2
Date received: 10.02.2025

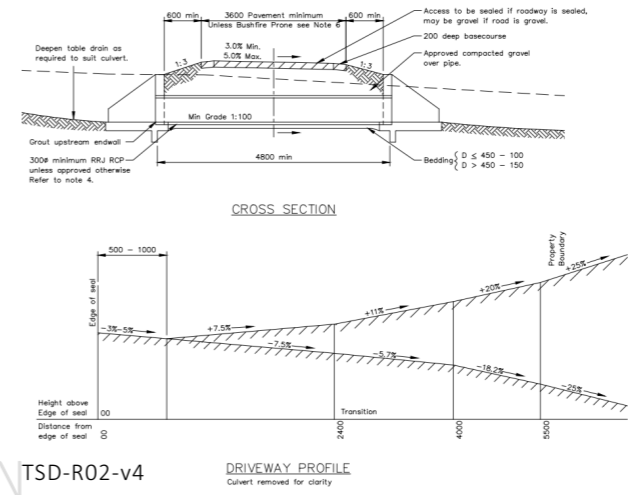
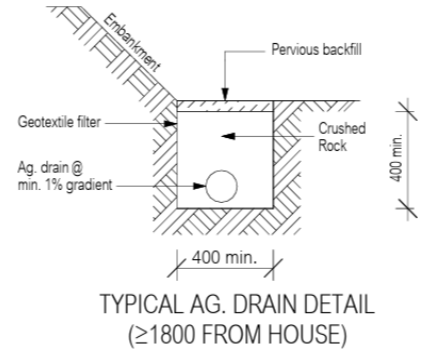
KEY

- STORMWATER
- SEWER MAIN
- WATER MAIN
- POWERLINE
- ⊠ 450m² STORMWATER PIT

3.3.3 Surface water drainage
Surface water must be diverted away from a Class 1 building as follows:
(a) Slab-on-ground — finished ground level adjacent to a building: the external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than:
(i) 25 mm over the first 1 m from the building
(A) in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or clay paving); or
(B) for any reasonably impermeable surface that forms part of an access path or ramp provided for the purposes of Clauses 1.1(2) or (4)(c) of the ABCB Standard for Livable Housing Design; or
(ii) 50 mm over the first 1 m from the building in any other case.
(b) Slab-on-ground — finished slab heights: the height of the slab-on-ground above external finished surfaces must be not less than —
(i) 100 mm above the finished ground level in low rainfall intensity areas or sandy, well-drained areas; or
(ii) 50 mm above impermeable (paved or concrete) areas that slope away from the building in accordance with (a); or
(iii) 150 mm in any other case.

3.3.4 Subsoil drainage
Where a subsoil drainage system is installed to divert subsurface water away from the area beneath a building, the subsoil drain must:
(a) be graded with a uniform fall of not less than 1:300; and
(b) discharge into an external silt pit or sump with—
(i) the level of discharge from the silt pit or sump into an impervious drainage line not less than 50 mm below the invert level of the inlet (see Figure 3.3.4); and
(ii) provision for cleaning and maintenance.

3.3.5 Stormwater drainage
Where a stormwater drainage system is installed, it must comply with the following:
(a) The position and manner of discharge of the stormwater drainage system must be to the satisfaction of the appropriate authority.
(b) The stormwater drainage system must be designed so that any overflow during heavy rain periods is prevented from flowing back into the building.
(c) Cover to stormwater drains: the cover to 90 mm Class 6 UPVC stormwater drains installed underground must be not less than:
(i) under soil: 100 mm; or
(ii) under paved or concrete areas: 50 mm; or
(iii) under areas subject to light vehicle traffic:
- reinforced concrete: 75 mm; or
- paved: 100 mm.



NOT FOR CONSTRUCTION

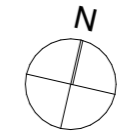
BUILDING AREAS:

SITE AREA	1014 sqm m ²
PROPOSED DWELLING	143.57 m ²
PROPOSED PATIO/PORCH	33.60 m ²
PROPOSED SHED	36.0 m ²
PROPOSED CARPORT	66.0 m ²
TOTAL FOOTPRINT	279.17 m ²
SITE COVERAGE	27%

REV	ISSUE	DATE
01	DA	3/01/2025
02- WIP	DA	Work in Progress

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DESCRIPTION: DUNALLEY HOUSE
PROJECT ADDRESS: 41 BAY STREET, DUNALLEY TAS 7177
CLIENT: ROB & DONNA SAUNDERS
CONTACT: sarah@thresholddesigns.com.au







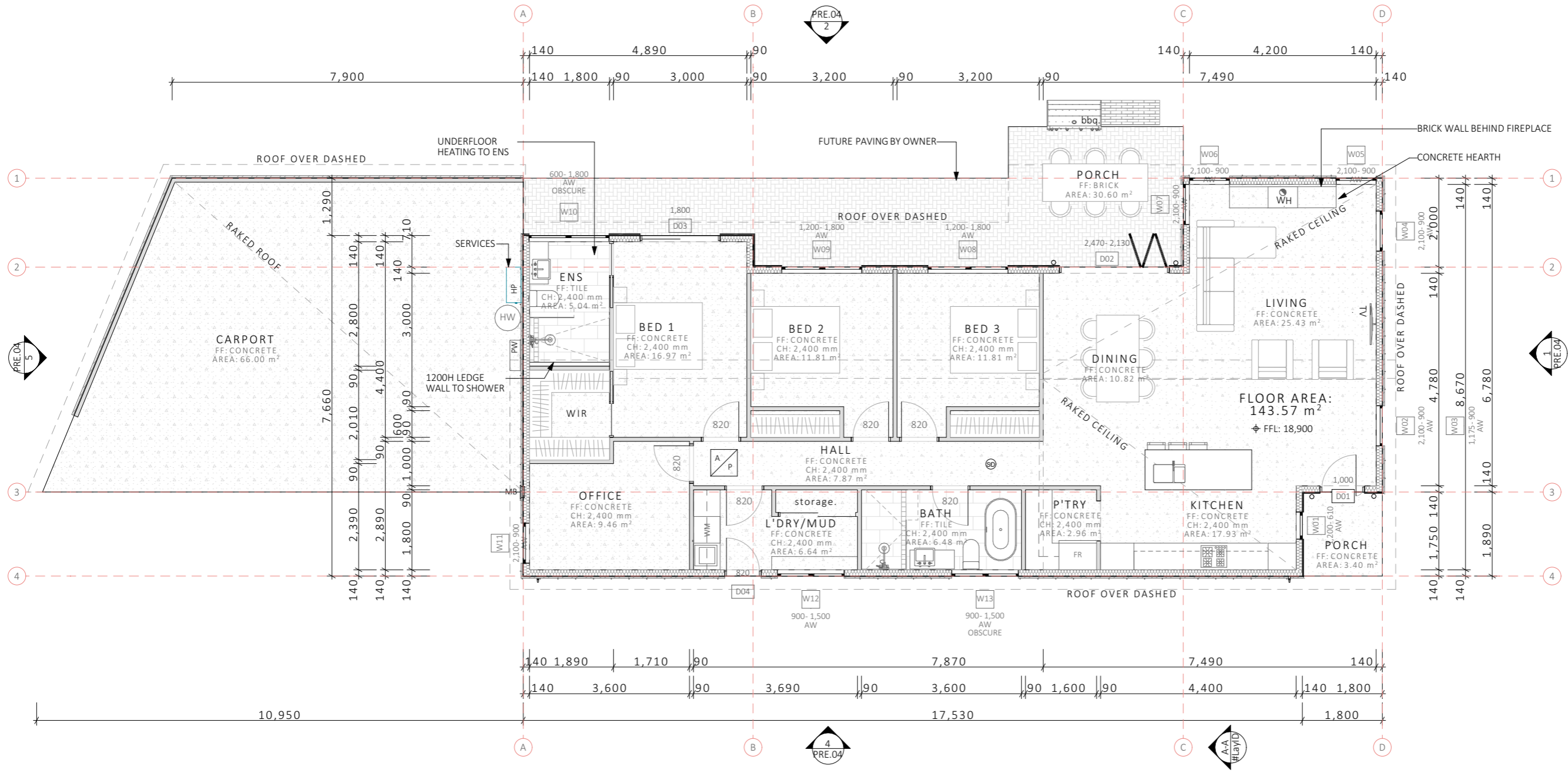
DRAWING TITLE
SITE PLAN

DRAWING ID	SCALE	DATE
DA.01	1:200 @ A3	1/02/2025

- LEGEND:**
- AW AWNING WINDOW
 - FW FIXED WINDOW
 - SD SLIDING DOOR
 - CH CEILING HEIGHT
 - FFL FINISHED FLOOR LEVEL

 - HWC HOT WATER CYLINDER
 - PH PANEL HEATER
 - MB METER BOX
 - NBN NBN HUB
 - HP HEAT PUMP- INTERNAL UNIT
 - AC HEAT PUMP UNIT- EXTERNAL UNIT
 - WH WOOD HEATER
 - DP DOWNPIPE

-  CONCRETE FLOOR
-  TILED FLOOR
-  SMOKE ALARM
-  ACCESS PANEL



NOT FOR
CONSTRUCTION

Sorell Council
 Development Application: DUNALLEY HOUSE - DA.02.pdf
 Plans Reference: P2
 Date received: 10.02.2025

BUILDING AREAS:

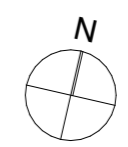
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PROPOSED CARPORT	66.0 m ²
TOTAL FOOTPRINT	279.17 m²
SITE COVERAGE	27%

THRESHOLD BUILDING DESIGN
 THRESHOLD BUILDING DESIGN
 1 Longmans Road, Margate 7054
 0410 206 415
 sarah@thresholddesigns.com.au

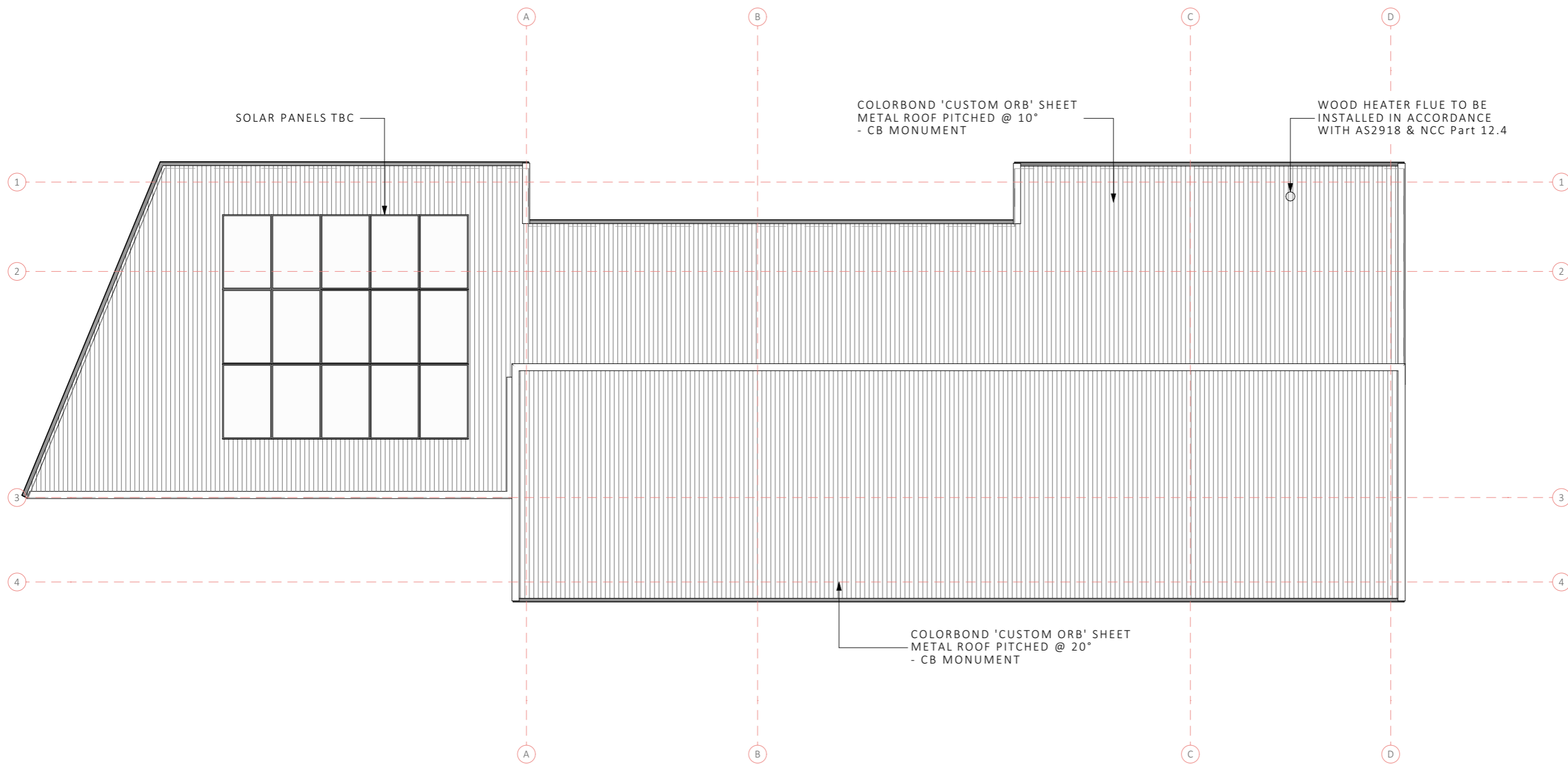
REV	ISSUE	DATE
01	DA	3/01/2025
02- WIP	DA	Work in Progress

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 CONTACT: sarah@thresholddesigns.com.au



DRAWING TITLE
FLOOR PLAN
 DRAWING ID DA.02 SCALE 1:100 @ A3 DATE 1/02/2025



ROOF PLAN

NOT FOR CONSTRUCTION

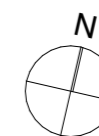
Sorell Council
 Development Application: DUNALLEY HOUSE
 - DA.02.pdf
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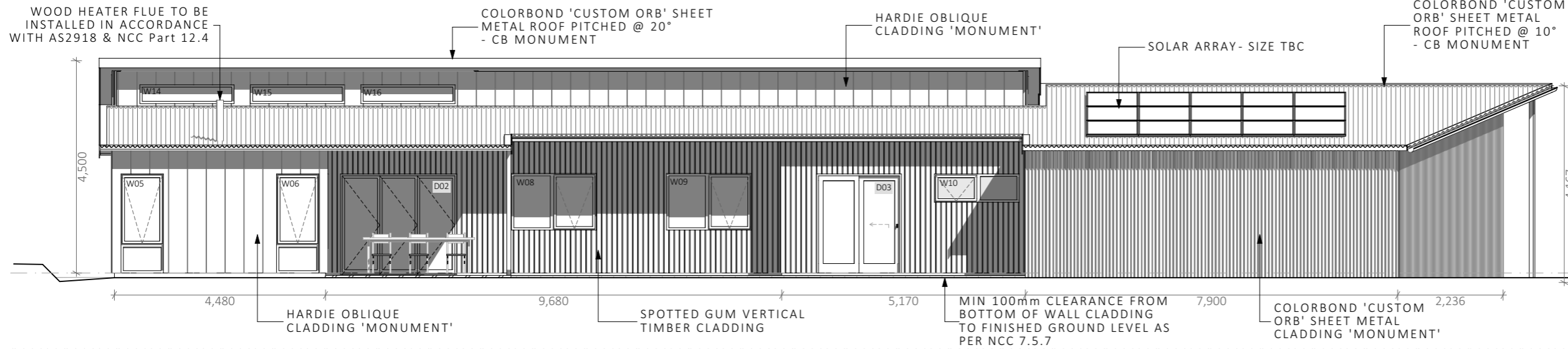
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DRAWING TITLE		
ROOF PLAN		
DRAWING ID	SCALE	DATE
DA.03	1:100 @ A3	1/02/2025

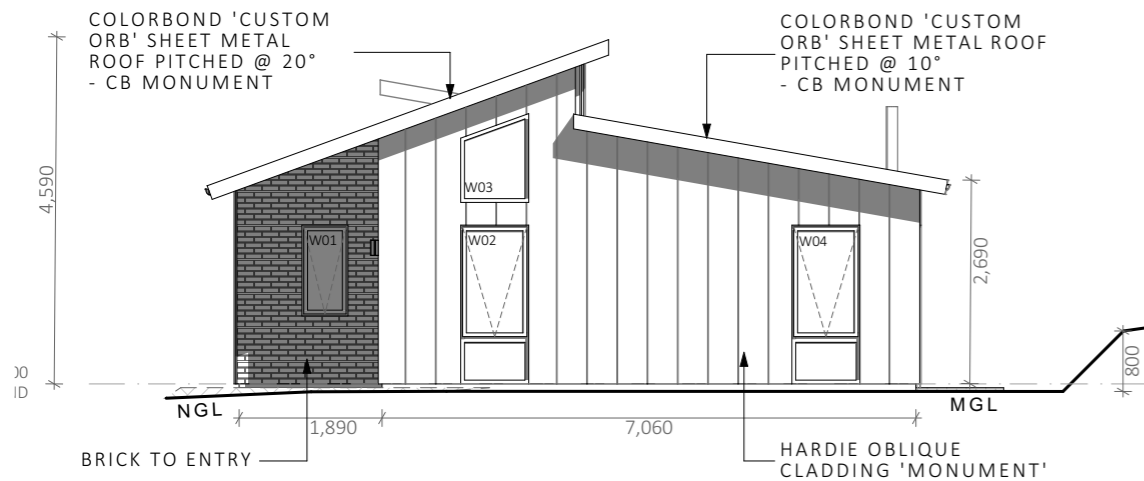


NORTH ELEVATION

1:100

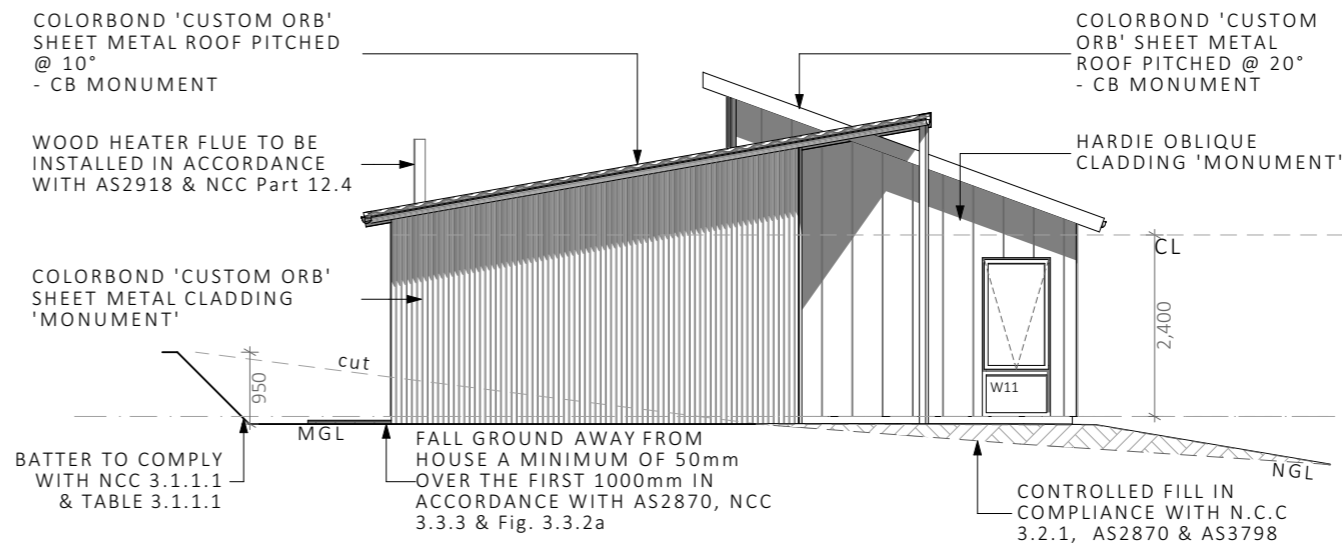
NOTE

CLEARANCES BETWEEN CLADDING AND GROUND SHALL COMPLY WITH 3.5.4.7 OF THE CURRENT N.C.C AND SHALL BE A MINIMUM CLEARANCE OF: - 100MM IN LOW RAINFALL INTENSITY AREAS OR SANDY, WELL-DRAINED AREAS;



EAST ELEVATION

1:100



WEST ELEVATION

1:100



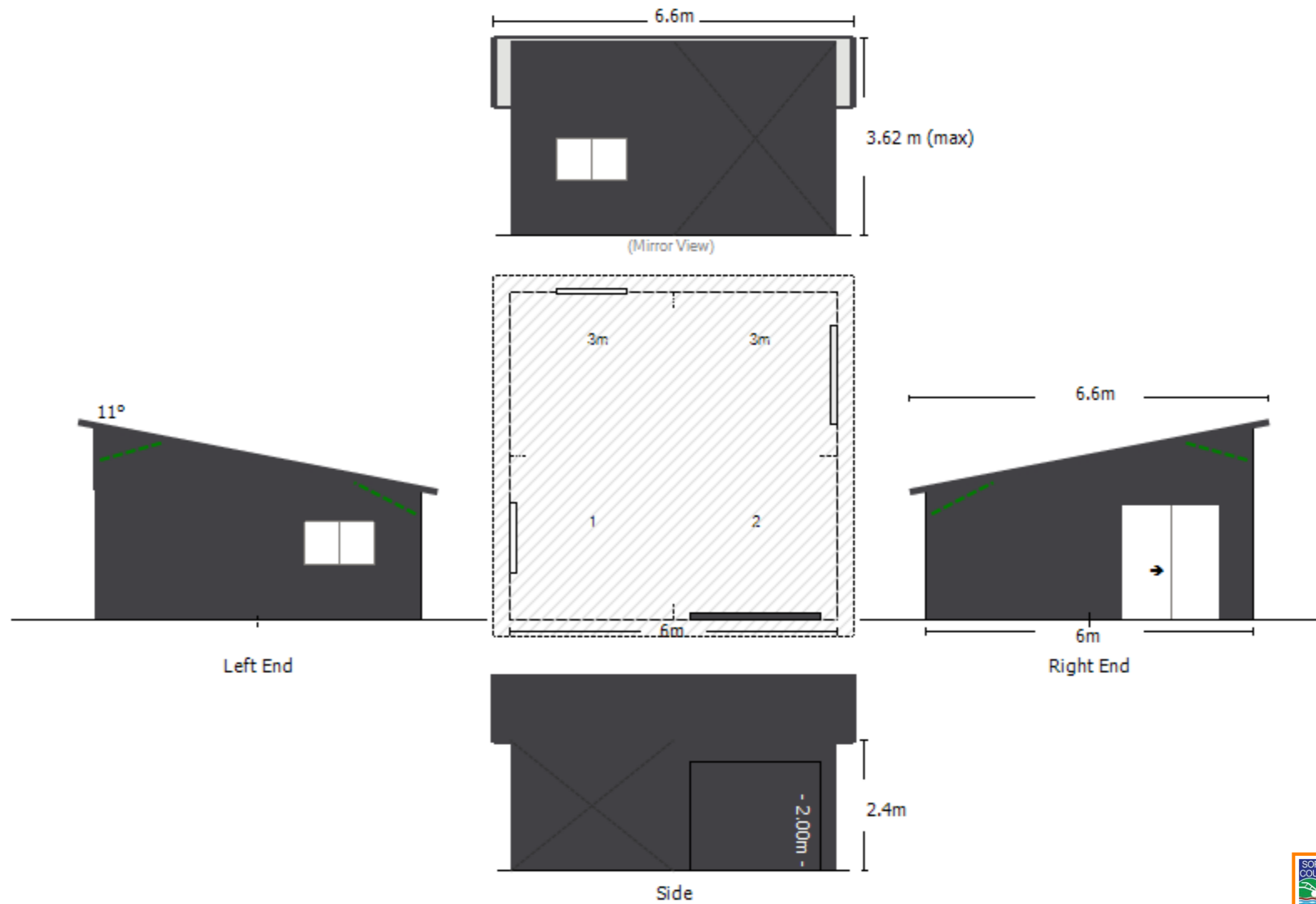
SOUTH ELEVATION

1:100

REV	ISSUE	DATE
01	DA	3/01/2025
02- WIP	DA	Work in Progress

NOTE

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 - 100MM IN LOW RAINFALL INTENSITY AREAS OR SANDY, WELL-DRAINED AREAS;



NOT FOR
CONSTRUCTION

 **Sorell Council**
 Development Application: DUNALLEY HOUSE
 - DA.02.pdf
 Plans Reference: P2
 Date received: 10.02.2025

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 CLIENT: ROB & DONNA SAUNDERS
 CONTACT: sarah@thresholddesigns.com.au

DRAWING TITLE
SHED

DRAWING ID SCALE DATE
 DA.05 @ A3 1/02/2025