



**CONTRACT: C-24-B-002**

**Sorell Memorial Hall - Extension**

**47 Cole St, Sorell, TAS, 7172**

**CLOSE OF TENDERS:**

**Wednesday 26 February 2025, 2.00pm**

**Tender Box, Sorell Council**

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# Conditions of Tendering

## Nature of Contract

The Contract for which a Tender in accordance with these conditions is to be made will be a Lump Sum Contract. The Lump Sum Tender is for the completion of the whole of the Works described and intended in the Tender Documents (described below) and executed in accordance therewith.

No adjustments will be made to the Contract price to cover rise and fall in labour, material and other costs.

## Tender Documents

The Tender Documents shall be these Conditions of Tendering, AS2124-1992 General Conditions of Contract, the Tender Form, the Schedules, the Specification including Bill of Quantities, the Drawings and any drawings and written statements required by any of the aforesaid documents to be submitted by the Tenderer.

## Construction Programme

Tenderers are required to provide a Gantt chart with their Tender which indicates their delivery of the various components of the Works.

Tenders requiring alterations to the proposed timetable must offer an alternative and give reasons.

## Contents of Tender

The Tender submitted shall be prepared in accordance with the following requirements.

- (i) The Tender shall be submitted upon the Tender Form provided and all the Tender Documents shall be deemed to form part of the Tender. The Tenderer shall sign the Tender, or if the Tenderer be a Corporation, affix its common seal in the manner prescribed by its Articles of Association or otherwise have the Tender signed appropriately and formally.
- (ii) Each Tender shall contain a postal and an email address for service of any notice required to be given to the Tenderer in connection with their Tender.

Notwithstanding any other Conditions of Tendering the following documents shall be submitted with the Tender:

- Signed Tender Form
- Completed Bill of Quantities
- Signed Schedule of any proposed sub-contractors
- Signed Schedule of non-compliance for any alternative Tender including relevant drawings
- Signed Schedule of previous experience on similar work
- Construction programme including separate methodology statement of construction whilst keeping sports grounds operational
- Work Health & Safety and Environmental Management Plans

These shall be completed and signed in original ink.



## **Tenderers to Inform Themselves**

Tenderers are required to be aware of all matters relating to the Contract, including the availability of all necessary materials, prior to submitting their Tender. The Principal will not accept claims for extra costs or extensions of time for delays caused by the unsuitability of material resources.

Tenderers shall be deemed to have inspected the site, to have assessed the conditions relating to the site, and to have allowed for such conditions in their Tender. This shall include investigation of suitable access roads for the safe transport of all materials and components required for the completion of the Works.

## **Bill of Quantities**

The Bill of Quantities has been prepared by the consultant and Sorell Council to assist Tenderers in the preparation of their Tender.

The items and quantities are not warranted as correct and any bids submitted must be based on the Tenderer's own investigation and enquiries. In particular, Tenderers must allow for all work shown on the Drawings and included in the Specification including all work necessarily arising therefrom and should revise or amend, before tendering, the quantities and/or items contained in the Bill of Quantities if, in the opinion of the Tenderer the Bill does not correctly or fully represent all of the Works.

## **Anomalies, Interpretation and Omitted Items**

All items, either indicated on the Drawings or written in the Specification, form part of the Contract.

Where a Tenderer has any doubt about the meaning of any portion of the Tender Documents or where a discrepancy exists between the Drawings and Specification, the Tenderer shall either:

- (i) ask for clarification, which shall only be valid if issued to the Tenderer in writing; or
- (ii) include a statement of interpretation upon which the Tender has been based.

Any clarification given in (i) may be issued to all prospective Tenderers as an addendum (Notice to Tenderers).

Provided that the Bill of Quantities omits an item(s), which should reasonably have been anticipated by an experienced and competent Tenderer, necessary for the satisfactory completion and performance of the Works, the Tenderer shall insert such omitted item(s) in the Bill with a price for each item. In the event of the failure of the Tenderer to do so, the cost of such item(s) will be deemed to be included within other items.

## **Alternative Tenders**

Tenderers may submit proposals for alternatives to the design as documented or for other specified items as long as a conforming tender is also submitted.

Any alternative to the Tender must be listed separately, clearly identifying the changes offered (on the Schedule of Non-compliance form) and the revised Lump Sum.

## **Enquiries**

All enquiries during the Tender period shall be directed to Anthony Walters (03) 6269 0050 / 0417 307 451 at Sorell Council, or Lindsay Middleton (03)6269 0000.

## **Lodgement of Tenders**

Tenders in writing are invited and will be received at the Sorell Council Office, 47 Cole Street, Sorell, Tasmania, up until 2pm, Wednesday 26th February 2025.

Tenders must be submitted in a sealed envelope and clearly marked "**Tender No. C-24-B-002**" and lodged in the Tender Box provided in the foyer of the Sorell Council or forwarded through Australia Post for delivery prior to the above date and time.

Late tenders or tenders submitted by facsimile machine or e-mail will **not** be accepted. **The lowest (nor any) tender will not necessarily be accepted.**

Tenders forwarded through Australia Post shall be addressed as follows:

**"Tender No C-24-B-002"**

Sorell Council

PO Box 126

**Sorell TAS 7172**

## **Late Tenders**

**Late Tenders will not be accepted.**

## **Opening of Tenders**

Tenders will be opened as soon as possible after the closing time. Tenderers will not be present at the opening.

## **Informal Tenders**

Any Tender which does not comply with the requirements of the Tender Documents is likely to be rejected.

## **Errors in Tenders**

Any errors in extension or addition (or both) discovered in the Bill of Quantities at evaluation of Tenders shall be corrected in a manner agreed to between the Principal and the Tenderer so that the total in the Bill of Quantities continues to equal the tendered Lump Sum.

Failure to reach agreement shall result in the Tender being rejected.

## **Selection Criteria**

The evaluation process will be undertaken with the aim of determining the lowest price acceptable conforming tender, or an acceptable alternative tender that demonstrates best value for money. Tender will be assessed against the following evaluation criteria:

Complying tenders will be assessed by scoring and weighting of the following criteria:

1. **Previous Experience (20%)** - Tenderers with more extensive experience in work similar to that described in the specification and drawings will be more favourably scored. Details of relevant projects completed by the Tenderer, and/or individual staff, will enable the level of experience to be more accurately assessed.
2. **Supervision and Quality Assurance (15%)**
  - **Supervision** - Tenderers are to provide details of the qualifications and experience of all supervisory staff to be utilised on the Contract, including the degree and nature of the supervision to be provided by each nominated staff member. The more comprehensive supervision will be more favourably scored.
  - **Quality Assurance** – Tenderers with third party ISO 9002 accreditation will be more favourably scored. In the absence of such accreditation details of any quality scheme in place to aid in achieving compliance with the Contract should be provided,

including detail of projects where the Tenderer has successfully utilised the quality scheme previously.

3. *Workplace Health Safety & Environment (W.H.S. & E.) (15%)* - Documented procedures to identify and exercise all necessary precautions for the health and safety of all personnel on site and be aware of and discharge its obligations under the Work Health and Safety Act 2012 and the related Regulations currently in force. Documented procedures to support Environmental relevant compliance with the Act and Codes of Practice.
4. *Price (50%)* - A weighting price score is calculated using the average price, the tenderers price and the price percentage. During the period of the evaluation process, we may negotiate with individuals or businesses quoting to vary their quotes either on the grounds of technical capability, cost effectiveness, or matters relating to the combination of one part of the quote with another part of the quote. We also reserve the right to negotiate with several individuals or businesses to finalise the commercial terms to form a contract.

No less than 6 can be scored for the *Workplace Health Safety & Environment* sub-criteria for the tender to be considered further.

The following scores will be used to assess the above criteria:

Score	Description	Full Description
9-10	Superior	Demonstrated strengths in all issues and few if any weaknesses. Offers many benefits. Low risk and/or risks can be managed with low cost.
6-8	Good	Demonstrated strengths in most issues and few weaknesses. Offers many benefits. Low-moderate risk and/or risks can be managed with low-moderate cost.
4-5	Adequate	Demonstrated strengths in some issues and some weaknesses. Offers some benefits. Moderate risk and/or risks can be managed with moderate cost.
1-3	Poor to deficient	Demonstrated little strength and many weaknesses. Offers few benefits. Moderate-high risk and/or risks can be managed with moderate-high cost.
0	Unacceptable	Provides little if any information that can be assessed. Contains many errors and/or omissions. Doesn't address criteria.

Tenderers are requested to provide sufficient additional information in their tender submission to enable detailed assessment of the above-mentioned criteria. Failure to provide such information will be interpreted as acknowledgment that the Tenderer has not reached a satisfactory standard in that area, and may incur the minimum score. There is no obligation on the Principal to pursue the Tenderer to provide additional information to that included in the tender.

## **Start Date**

Start and finish dates for this project will be negotiated with the successful tenderer. Ideally the project will be completed by August 2025, in order to satisfy existing grant conditions and tenants occupancy requirements. You will need to provide a program that conforms to this.

## **Completion Time**

The period for completion of the works is stated in the Annexure to the General conditions of contract conditions, AS2124-1992

The tenderer may submit different prices for different completion times.

## **Validity Period**

Tenders shall remain valid for a period of **90 days** after the date of closing of Tenders.

## **Awarding of Contract**

Before accepting a Tender, the Principal may require the Tenderer to submit any or all of the following:

- proof of resources and ability to carry out the Works;
- an estimated monthly cash flow; and
- evidence of safety, environmental and quality systems of work.

Should the Tenderer fail to submit any of the required information in the time specified by the Principal, the Tender may be rejected.

A Tender shall be deemed to be accepted when a notice in writing of such acceptance is delivered to the successful Tenderer.

The company nominated as sub-contractor on the tender form must be used to carry out the works during construction. If circumstances arise where the nominated sub-contractor can no longer carry out the works and another sub-contractor must be engaged, consent must be given by Council prior to engaging that sub-contractor.

The Contract shall come into force on the date of acceptance of the Tender as the written acceptance constitutes the Contract until a formal agreement is executed or on a date acceptable (in writing) to both parties.

**Notwithstanding the foregoing, the Principal shall not be bound to accept the lowest or any other Tender.**

## TENDER FORM

Name of person,  
firm or company  
tendering:  
(USE BLOCK LETTERS)

Address: \_\_\_\_\_ of \_\_\_\_\_

\_\_\_\_\_ hereby tender(s) to perform the work for.

Description **Sorell Memorial Hall - Extension**

\_\_\_\_\_ in accordance with the following documents:

### **LOCI Architecture & Planning:**

- Architectural
  - 5.2024.267.1 LETTER – PLANNING PERMIT NOTIFICATION
  - 5.2024.267.1 PLANNING PERMIT
  - 19364TG-MEM1-D01 CAR PARK ASSESSMENT
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AS 2124-1992, AS 2125-1992 & AS 2127-1992

**1. For the lump sum of**

( \$..... – ex GST )

If Tenderer is a  
 firm the full names  
 of the individual  
 members of the firm  
 must be stated here .....

Insert date                    **DATED this ..... day of .....2024**

.....  
**Signature of Tenderer**

**ANNEXURE to the Australian Standard**  
 General Conditions of Contract

# PART A

This Annexure shall be issued as part of the tender documents and is to be attached to the General Conditions of Contract and shall be read as part of the Contract.

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The law applicable is that of the State or Territory of: (Clause 1)	<b>TASMANIA</b>
Payments under the Contract shall be made at: (Clause 1)	<b>HOBART</b>
The Principal: (Clause 2):	<b>SORELL COUNCIL</b>
The address of the Principal:	<b>47 COLE STREET SORELL TAS 7172</b>
The Superintendent: (Clause 2)	<b>TBC C/- SORELL COUNCIL</b>
The address of the Superintendent:	<b>47 COLE STREET SORELL TAS 7172</b>
Limits of accuracy applying to quantities for which the Principal accepted rates: (Clause 3.3 (b) )	<b>No Limit</b>
Bill of Quantities - the alternative applying: (Clause 4.1)	<b>Alternative 1</b>
The time for lodgement of the priced copy of the Bill of Quantities: (Clause 4.2)	<b>Not Applicable</b>
# Contractor shall provide security in the amount of: (Clause 5.2)	<b>Nil</b>
# Principal shall provide security in the amount of:(Clause 5.2)	<b>Nil</b>
The period of notice required of a party's intention to have recourse to retention moneys and/or to convert security: (Clause 5.5)	<b>7 DAYS</b>
The percentage to which the entitlement to security and retention moneys is reduced: (Clause 5.7)	<b>2.5%</b>
Interest on retention moneys and security - that alternative applying: (Clause 5.9)	<b>Alternative 2</b>

The number of copies to be supplied by the Principal: (Clause 8.3)	<b>2</b>
The number of copies to be supplied by the Contractor: (Clause 8.4)	<b>Not Applicable</b>
The time within which the Superintendent must give a decision and return the Contractor's copies (Clause 8.4)	<b>Not Applicable</b>
Work which cannot be sub-contracted without approval: (Clause 9.2)	<b>Nil</b>
The percentage for profit and attendance: (Clause 11 (b) )	<b>Nil</b>
The amount or percentage for profit and attendance (Clause 11 (c) )	<b>Nil</b>
Insurance of the Works - the alternative applying (Clause 18)	<b>Alternative 1</b>
The assessment for insurance purposes of the cost of demolition and removal of debris: (Clause 18 (ii) )	<b>\$10,000.00</b>
The assessment for insurance purposes of consultants fees: (Clause 18 (iii) )	<b>10% of Contract Value</b>
The value of materials to be supplied by the Principal: (Clause 18 (iv) )	<b>Nil</b>
The additional amount or percentage: (Clause 18 (v) )	<b>33 1/3%</b>
Public Liability Insurance - the alternative applying (Clause 19)	<b>Alternative 1</b>
The amount of Public Liability Insurance shall be not less than: (Clause 19)	<b>\$20,000,000.00 any one occurrence</b>
The time for giving possession of the Site: (Clause 27.1)	<b>One week from date of notification of acceptance of tender, or as agreed by both parties</b>
# The time for Practical Completion: (Clause 35.2)	<b>52 weeks from possession of site to complete.</b>
# Liquidated Damage per day per separable portion: (Clause 35.6)	<b>\$500.00</b>
# Limit of Liquidated Damages:	



(Clause 35.7)	<b>No Limit</b>
# Bonus per day for early Practical Completion: (Clause 35.8)	<b>Nil</b>
# Limit of bonus: (Clause 35.8)	<b>Not Applicable</b>
Extra costs for Delay or Disruption: <b>Nil</b> (Clause 36)	
# The Defects Liability Period (Clause 37)	<b>52 calendar weeks</b>
The day charge for overheads, profit etc. for Daywork: (Clause 41(f))	<b>To be stated by Tenderer</b>
Times for payment claims: (Clause 42.1)	<b>Monthly</b>
Unfixed plant and materials for which payment claims may be made notwithstanding that they are not on the Site: (Clause 42.1 (ii) )	<b>Nil</b> .....
Retention Moneys on: (Clause 42.3) (a)	<b>2 x Bank Guarantees valued at 5% each of the total contract sum</b>
	(b) <b>items on Site but not yet incorporated into the Works: n/a;</b>
	(c) <b>items off Site but in Australia: n/a;</b>
	(d) <b>items not in Australia : n/a;</b>
	(e) <b>disbursements incurred by the contractor for customs duties, freight, marine insurance, primage, landing and transport in respect of the work under the Contract : n/a</b>
Unfixed Plant or Materials - the alternative applying: (Clause 42.4)	<b>Alternative 2</b>
The rate of interest on overdue payments: (Clause 42.9)	<b>8%</b>
The delay in giving possession of the Site which shall be a substantial breach: (Clause 44.7)	<b>Four weeks</b>
The alternative required in proceeding with dispute resolution: (Clause 47.2)	<b>Alternative 1</b>
The person to nominate an arbitrator: (Clause 47.3)	<b>Chairman, Institution of Engineers Tasmania Division</b>
Location of arbitration: (Clause 47.3)	<b>Hobart</b>



- d. **Principal** in the Standard Terms means the Council;
- e. **Services** is a collective reference to the works described and specified in the Tender;
- f. **Tender** means the tender document dated ..... and provided by the Council which is annexed hereto as Appendix 4.

## 1.2 Interpretation

In this Agreement except to the extent that the context requires otherwise or the contrary intention appears:

- a. references to any legislation or to any provision of any legislation shall include any modification, consolidation or re-enactment of, or any provision substituted for, and all statutory instruments issued under such legislation or provisions;
- b. where in this Agreement a period of time dating from a given day, act or event is specified or allowed for any purpose, the time shall be reckoned exclusive of that day or of the day on which the act or event occurred but inclusive of the day on which that period expires or in the event that any day on which the work or payment is to be done is not a Business Day such act, matter or thing shall be done on the immediately succeeding Business Day;
- c. words importing the singular or plural shall include the plural and the singular respectively;
- d. words importing any gender shall include every gender;
- e. a reference to a person includes a reference to a corporation, firm, authority, government or governmental agent;
- f. clause headings do not affect the interpretation of this Agreement;
- g. where a word or phrase is given a particular meaning in this Agreement, other cognate parts of speech and grammatical forms of that word or phrase shall have a corresponding meaning;
- h. references to a clause, paragraph, schedule, annexure or part shall be a reference to a clause, paragraph, schedule, annexure or part of this Agreement;
- i. every contract or undertaking expressed or implied by which more than one person is bound shall bind those persons and any two or greater number of them jointly and each of them severally;

- j. references to a party shall include that party's executors, administrators and permitted assigns, or being a Council, its successors and permitted assigns and any other person deriving title under those persons or Councils;
- k. reference to time shall be reference to Tasmanian time.

## **2. AGREEMENT TO PROVIDE SERVICES**

- 2.1 The Contactor agrees to provide the Services in accordance with the terms and conditions of this Agreement.
- 2.2 In consideration for providing the Services, the Council agrees to remunerate the Contractor in accordance with this Agreement.
- 2.3 The Contractor warrants that it:
  - a. is competent and has the skills, qualifications, expertise and experience appropriate to perform the duties and obligations of the Contractor under this Agreement and to provide the Services; and
  - b. has an Australian Business Number and is registered for GST.

## **3. INDEPENDENT CONTRACTOR RELATIONSHIP**

- 3.1 The parties agree that the Contractor is engaged under this Agreement as an independent contractor and that the Contractor in performing its duties and obligations under this Agreement in no way is, or is intended to be, an employee, servant or agent of the Council.
- 3.2 The parties agree that the engagement of the Contractor is not an exclusive engagement. Whilst the Contractor does not provide the Services exclusively to the Council and is free to enter into other contracts with third parties, those other contracts:
  - a. must not place the Contractor in a conflict of interest, or possible conflict of interest, between the Contractor's obligations to the Council under this Agreement and the Contractor's obligations to the third party; and
  - b. must not take priority over the obligations of the Contractor under this Agreement.
- 3.3 When performing the Services the Contractor will adhere to the Council's policies regarding occupational health and safety, anti-discrimination, sexual harassment, drugs and alcohol, and any other matter as advised by the Council.

- 3.4 The Contractor will not, on behalf of its employees, sub-contractors, agents and any other persons or entities under the control or direction of the Contractor, claim upon the Council in respect of any leave entitlements, including (but not limited to) annual leave, public holidays, sick leave, long service leave, other entitlements or otherwise in respect of any claims under any relevant workers' compensation legislation, superannuation legislation or any other legislation or regulations affecting or relating to the relationship between an employer and employee.

#### 4. **CONDUCT OF THE CONTRACTOR'S EMPLOYEES**

- 4.1 The Contractor, at all times whilst engaged in the provision of Services, must ensure that its employees, sub-contractors, agents and any other persons or entities under its control or direction:
- a. conduct themselves in a sober, civil, obliging and inoffensive manner;
  - b. perform the Services in as efficient a manner as possible;
  - c. be attired in a manner suitable to the performance of work being undertaken.
- 4.2 The Council is entitled to require any employee, sub-contractor, agent or any other persons or entity under the Contractor's control or direction to be excluded from any involvement with the provision of the Services if of the opinion the person concerned has persistently failed to comply with clause 4.1 of this Agreement.

#### 5. **INSURANCE**

- 5.1 For the purposes of this Agreement the Contractor must take out and keep current at all times throughout the Term the following policies of insurance:
- a. A public liability policy of insurance in respect of the Contractors performance or non-performance of its obligations under this Agreement for an amount of \$20,000,000.
  - b. A workers compensation policy of insurance in accordance with the *Workers Rehabilitation and Compensation Act 1988* for any employees, sub-contractors, agents and any other persons or entities under the control or direction of the Contractor;
  - c. Compulsory third party insurance for injury to a person resulting from a motor vehicle accident.
- 5.2 The insurance policies required by clause 5.1 shall be taken out with an insurance company approved by the Council however the Council is not to unreasonably withhold approval.

5.3 If requested by the Council, the Contractor shall provide the Council with copies of the policies referred to in clause 5.1 from time to time and with the certificates of currency for such policies.

5.4 The Contractor shall not do or permit to be done anything as a result of which any insurance taken out by the Contractor or the Council may be rendered void or avoidable or which would cause the premium payable on any such insurance to increase.

## 6. **CONTRACTOR'S INDEMNITY**

6.1 The Contractor agrees to indemnify and keep indemnified, and to hold harmless the Council, its servants and agents, and each of them from and against all actions, costs, claims, charges, expenses and damages whatsoever which may be brought or made or claimed against them arising out of, or in relation to:

- a. any negligent act or omission of the Contractor in the provision of the Services;
- b. any loss or damage to property or any person, including the employees, sub-contractors, agents and any other persons or entities under the control or direction of the Contractor, incurred in the provision of the Services;
- c. any loss, expense or damage incurred by the Council, its employees or agents as a result of the provision of the Services;
- d. any material loss, expense or damage incurred by the Council arising out of or in relation to any breach of this Agreement by the Contractor;

provided that the Contractor's liability to indemnify the Council will be reduced proportionately to the extent that any act or omission of the Council or employees or agents of the Council may have contributed to the loss, death or injury.

6.2 This clause does not merge upon the expiration or completion of this Agreement.

## 7. **CONTRACTOR'S WARRANTIES**

7.1 The Contractor acknowledges that it has made and given the Warranties set out in this clause 7 with the intention of inducing the Council to enter into this Agreement and that the Council has entered into this Agreement in full reliance on the Warranties.

7.2 The Contractor hereby expressly warrants to the Council that:

- a. the Contractor will exercise reasonable professional skill and care when carrying out its obligations under this Agreement;

- b. the Contractor, its employees and agents are possessed of the necessary skills and expertise required to fulfil its obligations under this Agreement;
- c. the Contractor is possessed of, or is readily able to obtain, all plant, equipment and labour required in order to fulfil its obligations under this Agreement;
- d. the Contractor is apprised of all industry standards applicable to the delivery of the Services under this Agreement and will perform its obligations under this Agreement strictly in accordance those industry standards;
- e. the Contractor will maintain all of the policies of insurance required by clause 5 of this Agreement;
- f. the Contractor will be solely responsible for the health and safety of the Contractor's employees, sub-contractors, agents and any other persons or entities under its control or direction and will at all time comply with all statutory requirements and industry standards regarding the health and safety of its employees.

(collectively referred to as the "**Warranties**").

7.3 The Contractor hereby indemnifies the Council against any claim or loss incurred or suffered by or brought or made or recovered against the Council (directly or indirectly) in connection with any inaccuracy in or any breach of any of the Warranties.

7.4 For the avoidance of doubt, the Warranties set out in this clause 7 are continuing in nature.

## 8. **DISRUPTION OF SERVICES**

8.1 If for whatever reason:

- a. the Contractor is unable to provide the Services in accordance with this Agreement; and
- b. such inability lasts for a period in excess of 14 days,

Council may engage any one or more third parties of its choosing to perform the Services until such time as the Contractor is able to reinstate provision of the Services.

8.2 All costs and expenses of engaging third parties pursuant to clause 8.1 (including legal costs and expenses on a full indemnity basis) ('**Costs**') will, at the option of the Council, be payable by the Contractor.

**9. COMPLIANCE WITH LEGISLATION**

9.1 The Contractor must observe and comply with any legislation, regulations, by-laws or statutory requirements which are relevant to the performance of the Services under this Agreement including, but not limited to:

- a. *Local Government Act 1993;*
- b. *Environmental Management and Pollution Control Act 1994;*
- c. *Traffic Act 1925;* and
- d. *Work Health and Safety Act 2012.*

**10. ASSIGNMENT**

10.1 The Contractor must not assign its obligations under this Agreement without first obtaining the prior written approval of the Council to do so.

10.2 Prior to performing any assignment of its obligations under this Agreement, the Contractor must satisfy the following conditions:

- a. any monies payable by the Contractor to the Council under this Agreement must have been paid in full;
- b. the Contractor must not be in breach of this Agreement;
- c. the Contractor must obtain the execution by the assignee of an appropriate assignment or document in a form approved by the Council;
- d. the Contractor must pay all costs incurred in the preparation of the assignment; and
- e. where the proposed assignee is a company then the Council may require the directors and/or controlling shareholders of the company to enter into a deed guaranteeing the performance by that company of the terms of the assignment. Such guarantee must be in a form acceptable to the Council and the costs incurred by the Council in the preparation and execution of the guarantee shall be paid by the Contractor.

**11. NOTICES**

11.1 Any notice or other document required to be given or served under this Agreement:

- a. shall be signed by the party giving the notice or by that party's solicitor;



- b. shall be in writing addressed to the address of the recipient shown in this Agreement or to such other address as it may have notified the sender; and
- c. will be deemed to be duly given or made:
  - i. in the case of personal delivery, when delivered to the recipient;
  - ii. in the case of a letter which is posted, three (3) Business Days after posting to the last known place of business or abode of the recipient or the recipient's registered office if the recipient is a Council; or
  - iii. in the case of a facsimile or email, when dispatched, but if such delivery or receipt is later than 4.00 p.m. (local time) on a day on which business is generally carried on in the place to which such communication is sent, it shall be deemed to have been duly given or made at the commencement of business on the next Business Day in that place.

## 12. GENERAL PROVISIONS

### 12.1 Governing law

This Agreement shall be governed by the laws of Tasmania and the parties agree to submit to the non-exclusive jurisdiction of the Courts of Tasmania.

### 12.2 Remedies cumulative

Remedies provided in this Agreement in favour of Council or the Contractor arising because of an event of default by the Contractor or the Council or after a repudiation of this Agreement by the Contractor or the Council will not be deemed to be exclusive but will be cumulative and will be in addition to all other remedies existing at law, in equity or in bankruptcy. The election at any time to enforce any such remedies will in no way bar the later enforcement from time to time of any other such remedies.

### 12.3 No merger

None of the terms or conditions of this Agreement, nor any act, matter or thing done under or by virtue of, or in connection with this Agreement will operate as a merger of any of the rights and remedies of Council in or under this Agreement or otherwise. All such rights and remedies of Council will continue in full force and effect.

### 12.4 Delay

No failure or delay on the part of a party to exercise any power or right under this Agreement will operate as a waiver of that power or right. Nor will any single or partial exercise of any power or right under this Agreement preclude any other or further exercise of that power or right. A party will only be taken to have waived any

power or right under this Agreement, including (without limitation) any right in respect of any event of default by the other party, to the extent that the right or power has been expressly waived in writing by a director, secretary or other officer of that party, irrespective of any previous waiver of any other breach of the same or any other provision of this Agreement.

12.5 Entire Agreement

This Agreement is the entire agreement between the parties and may only be varied if such variation is in writing and signed by both parties.

12.6 Legal costs

Each party shall pay its own legal costs of and incidental to the preparation of this Contract.

12.7 Severance

Any provision of this Agreement which is prohibited, invalid or unenforceable in any jurisdiction shall, as to such jurisdiction, be ineffective to the extent of such prohibition, invalidity or unenforceability but that shall not invalidate the remaining provisions of this Agreement or affect the validity or enforceability of such provision in any other jurisdiction.

**EXECUTION CLAUSES**

**EXECUTED** by the parties on the date of this Agreement

THE COMMON SEAL of THE )  
SORELL COUNCIL )  
was affixed in the presence of )

Witness sign .....

Witness name .....

CONTRACTOR ) .....  
 )

Either

Witness sign .....

Witness name .....

OR

**EXECUTED** for and on behalf of }  
CONTRACTOR }  
in accordance with Section 127 of the }  
*Corporations Act 2001* (if applicable) }  
}

.....  
\*Name of director/company secretary

.....  
\*Signature of director/company secretary

.....  
\*Name of director/company secretary

.....  
\*Name of director/company secretary

# Schedule 1 – Proposed Sub-Contractors

**Contract No. C-24-B-002**

The Tenderer is to advise the nature and extent of work proposed to be sub-contracted and the names of any proposed sub-contractors. Nominated sub-contractors cannot be changed without prior approval of Council.

Nature and value of work to be sub-contracted	Proposed sub-contractor (Name, ABN/ACN)	Relevant experiences & staffing details

Tenderers Name:
Signed:
Dated:

## Schedule 2 – Statement of Non-Compliance

**Contract No. C-24-B-002**

The Tenderer is to signify whether or not its Tender conforms to the requirements of the Tender Documents by striking out below \*\* that which is not applicable.

*This Tender \*\* does/does not conform*

Should the Tender not conform with the requirements of the Tender Documents, the Tenderer shall list below all areas of non-conformance and the reasons for such non-conformance.

Area of Non-Conformance and Reason

Tenderers Name:
Signed:
Dated:







# Formal Instrument of Agreement

C-24-B-002

Sorell Memorial Hall - Extension

**For more information please contact:**

*Anthony Walters on (03) 6269 0000 or  
Anthony.Walters@sorell.tas.gov.au*

**Close of Tender:**

2.00pm on Wednesday 26 February 2025

Revision	Date	Description
A	[Date]	[Description]



## FORMAL INSTRUMENT OF AGREEMENT

**THIS AGREEMENT** is made on the..... day of..... 20.....

### **PARTIES:**

**SORELL COUNCIL** (ABN 12 690 767 695) of 47 Cole Street, Sorell TAS 7172  
 (“**Council**”)

AND

.....

.....

(“**Contractor**”)

### **BACKGROUND**

- A. The Council seeks to engage a suitable entity to provide the Services as an independent contractor.
- B. The Contractor seeks to be engaged by Council to provide the Services.
- C. The Council agrees to engage the Contractor to provide the Services in the capacity of an independent contractor in accordance with the terms and conditions of this Agreement.

### **DEFINITIONS**

- a. “**Agreement**” is a reference to this Formal Instrument of Agreement and includes any documents expressly incorporated by reference, schedules and annexures and to this Agreement, including but not limited to:
  - i. Council's Requirements and the Specification which are annexed hereto as Contract Schedule 1 and Contract Schedule 2 respectively.
  - ii. AS 2124-1992 General Conditions of Contract which is annexed hereto as Contract Schedule 3;
  - iii. The Contract Sum which is annexed hereto as Contract Schedule 4;
  - iv. The submitted Tender Response of the Contractor which is annexed hereto as Appendix 1;
  - v. Letter of Acceptance from Council to the Contractor dated..... which is annexed hereto as Appendix 2;

- vi. The signed Execution Clause which is annexed hereto at the end of this document.
- b. **“Business Day”** means a day, which is not a Saturday, Sunday or Public Holiday as taken under the Statutory Holiday Act 2000 limited to the greater Hobart area;
- c. **“Contractor”** means the Contractor, and where appropriate its employees, sub-contractors, agents and any other persons or entities under the control or direction of the Contractor;
- d. **“Principal”** means the Council;
- e. **“Services”** is a collective reference to the works described and specified in the Tender;
- f. **“Tender”** means the tender documents dated [insert date] and provided by the Council.

## INTERPRETATION

In this Agreement except to the extent that the context requires otherwise or the contrary intention appears:

- a. references to any legislation or to any provision of any legislation shall include any modification, consolidation or re-enactment of, or any provision substituted for, and all statutory instruments issued under such legislation or provisions;
- b. where in this Agreement a period of time dating from a given day, act or event is specified or allowed for any purpose, the time shall be reckoned exclusive of that day or of the day on which the act or event occurred but inclusive of the day on which that period expires or in the event that any day on which the work or payment is to be done is not a Business Day such act, matter or thing shall be done on the immediately succeeding Business Day;
- c. words importing the singular or plural shall include the plural and the singular respectively;
- d. words importing any gender shall include every gender;
- e. a reference to a person includes a reference to a corporation, firm, authority, government or governmental agent;
- f. clause headings do not affect the interpretation of this Agreement;
- g. where a word or phrase is given a particular meaning in this Agreement, other cognate parts of speech and grammatical forms of that word or phrase shall have a corresponding meaning;

- h. references to a clause, paragraph, schedule, annexure or part shall be a reference to a clause, paragraph, schedule, annexure or part of this Agreement;
- i. every contract or undertaking expressed or implied by which more than one person is bound shall bind those persons and any two or greater number of them jointly and each of them severally;
- j. references to a party shall include that party's executors, administrators and permitted assigns, or being a Council, its successors and permitted assigns and any other person deriving title under those persons or Councils;
- k. reference to time shall be reference to Tasmanian time.

# DOCUMENT A – SPECIFICATION

## 1 PRELIMINARIES AND GENERAL REQUIREMENTS

### 1.1 Contract

All Works are to be carried out in accordance with the Australian Standard General Conditions of Contract A.S. 2124-1992 together with A.S. 2125-1992 and A.S. 2127-1992, the Standard Specifications attached, the drawings nominated below and to the satisfaction of the Superintendent. The Contractor shall obtain and make themselves familiar with all relevant Council By-Laws.

This contract shall be a lump sum contract not subject to Rise and Fall.

Clauses in this specification where appropriate shall over-ride clauses in the General Conditions of Contract and notes and details on the contract drawings shall over-ride this specification.

The term Engineer, Consulting Engineer, Supervisor shall be read to be the Superintendent in all parts of the Contract Documents, similarly the term Builder shall be read to be Contractor.

Refer Annexure to the General Conditions of Contract, Part A included with these documents, for a summary of contractual information applicable to this contract.

### 1.2 Extent of Contract

This contract includes the construction of building, services and associated siteworks as specified in this document and shown on the drawings.

### 1.3 Site

47 Cole St, frontage off Dubs and Co Drive, Sorell – Refer Location Plan – Drawing CD03

### 1.4 Extent of Site

The Contractor shall confine activities, construction sheds etc. to areas adjacent to the works and to the approval of the Superintendent. Construction site to be fenced for the duration of the contract.

### 1.5 Insurances

The Contractor shall effect insurance in the joint names of the Principal, the Contractor and Sub-Contractors required by clauses 18 to 20 of the General Conditions of Contract.

The amounts of insurance cover shall be:-

- Insurance of works for full contract amount, plus an amount of \$10,000-00 for demolition and removal of debris, plus an additional percentage of 10% of the Contract Amount for fees.
- Public Liability Insurance for an amount of not less than \$20,000,000 per event.
- Workers Compensation Insurance as per the Workers Compensation Act in force in Tasmania and the Common Law Section of the policy shall be increased to an unlimited amount.

The Contractor will be required to produce all policies for inspection prior to any work commencing, and shall not proceed until approval of the policies has been granted. The policies will be maintained until the Contractors liabilities and obligations cease, that is until the issue of the Final Certificate of Payment.

## 1.6 Worker Induction & Training

Council will coordinate with other contractors to ensure that a site specific induction and online induction is provided for all workers, including sub-contractors, before commencing works.

Contractor will:

- ensure workers are trained and competent for the work to be carried out;
- ensure workers are trained to deal with any risks associated with the work and understand the control measures in place;
- ensure all the workers have had relevant “White Card” training (or other appropriate training from another jurisdiction);
- ensure on-site training and supervision is provided;
- organise external training for specific tasks where required;
- seek high risk licences for all high risk work and maintain a register of licences; and
- communicate with other contractors to ensure their workers are appropriately trained and competent.

## 1.7 Extension of Time for Inclement Weather

The Contractor shall implement a system, mutually agreed with the Superintendent for recording lost time due to the inclement weather or conditions resulting from inclement weather.

Such lost time shall be recorded daily by the contractor when it occurs and he shall present his record to the Superintendent within two days of the event. The Superintendent will initial the record and confirm whether or not they agree with the claim.

Should a record as above not be made then it shall be deemed that no lost time has occurred.

## 1.8 Use of Explosives

Should the Contractor elect to make use of explosives during any stage of the works, then such use shall be subject to the requirements and the permission of all relevant Authorities and the approval of the Superintendent.

Use of explosives shall be at the sole risk of the Contractor.

## 1.9 Inspections

The Contractor shall give the Superintendent not less than 48 hours forward notice of all inspections required by Council. No additional work shall be done to cover up the work requiring inspection until that inspection has been carried out.

Should the Contractor neglect to give such notice, the Superintendent may at their discretion order any completed work to be demolished so that an inspection can be made and, in this event, the whole responsibility and cost for such demolition, and for any making good which may be required shall be the Contractors.

Should the Superintendent not order such demolition, the whole responsibility for any error, or omission found in or arising out of the work at any subsequent time and the cost of making it good shall be the Contractor's.

When directed, the Contractor shall open up or cut away any part of work for inspection.

If the work is found defective, it shall be removed and made good at the Contractor's expense, including cost of opening up.

The Engineer may require test pieces cut from any or all of the pieces of material, and may direct that certain tests be made to ascertain conformity with this specification.

The Contractor shall bear all costs involved in taking such test specimens and making such test and making any required restitution to the work as the Engineer may direct.

## 1.10 Drawings

### **LOCI Architecture & Planning:**

- Architectural
  - 5.2024.267.1 LETTER – PLANNING PERMIT NOTIFICATION
  - 5.2024.267.1 PLANNING PERMIT
  - 19364TG-MEM1-D01 CAR PARK ASSESSMENT
  - CD COVER N/A
  - CD 01 CONSTRUCTION NOTES
  - CD 02 SITE PLAN 1:500
  - CD 03 EXISTING FULL BUILDING PLAN 1:200
  - CD 04 EXISTING LOCALISED PLAN 1:100
  - CD 05 PROPOSED SITE PLAN 1:500

- CD 06 PROPOSED FULL BUILDING PLAN 1:200
- CD 07 PROPOSED EXTENSION FLOOR PLAN 1:100
- CD 08 PROPOSED ROOF PLANS & ELEVATIONS 1:200
- CD 09 PROPOSED SECTIONS
- CD 10 DOOR & WINDOW SCHEDULE
- CD 11 PROPOSED UNISEX DDA TOILET 1:20
- CD 12 CONSTRUCTION DETAILS 01 1:5
- CD 13 CONSTRUCTION DETAILS 02
- CD14 CONSTRUCTION DETAILS 03 1:5
- CD 15 CONSTRUCTION DETAILS 04 1:5
- CD 16 CONSTRUCTION DETAILS 05 1:5
- WHS 01 WHS REPORT 1:50
- P.164990 FOLIO PLAN
- TITLE SEARCH
- FORM 35
- FORM 2
- DOOR HARDWARE SCHEDULE
- REECE QUOTE 95017093

### **Engineering Solutions Tasmania**

- Electrical:
  - 24232-S1-E01 ELECTRICAL LEGEND & NOTES
  - 24232-S1-E02 ELECTRICAL SERVICES
  - 24232-S1-E03 POWER, COMMS & SECURITY – GROUND FLOOR LAYOUT 1:100
  - 24232-S1-E04 POWER – ROOF LAYOUT 1:100
  - 24232-S1-E05 LIGHTING – GROUND FLOOR LAYOUT 1:100
  - 24232-S1-E06 SWITCHBOARD SCHEDULE (DB-EX)
  - 24232-S1-E07 ELECTRICAL SERVICES – DEMOLITION 1:100
  
- Hydraulic:
  - FORM 35
  - 24232-S1-H01 HYDRAULIC LEGEND, SCHEDULES & KEYPLAN
  - 24232-S1-H02 HYDRAULIC NOTES 1:100
  - 24232-S1-H03 WATER LAYOUT – PART A 1:100
  - 24232-S1-H04 WATER LAYOUT – PART B 1:200
  - 24232-S1-H05 DRAINAGE LAYOUT 1:100
  - 24232-S1-H06 ROOF DRAINAGE
  
- Mechanical:
  - 24232-S1-M01 MECHANICAL LEGEND & NOTES
  - 24232-S1-M02 HVAC – GROUND FLOOR LAYOUT
  - 24232-S1-M03 HVAC – ROOF LAYOUT
  - 24232-S1-M04 MECHANICAL SCHEDULES
  - 24232-S1-M05 MECHANICAL DETAILS

### **Prima Engineering**

- Structural
  - 24-C-724 RISK ASSESSMENT

- I.01 INDEX
- EN.01 ENGINEERING NOTES
- EN.02 WORKPLACE HEALTH & SAFETY NOTES
- S.01 FOOTINGS AND SLABS PLAN
- S.02 BRACING AND LINTELS PLAN
- S.03 WALLS PLAN / CELING JOISTS PLAN (ABOVE TOILET)
- S.04 ROOF FRAMING PLAN
- S.05 FOOTINGS AND SLAB DETAILS
- S.06 STEEL FRAMING DETAILS
- S.07 BRACING, WALS TO TRUSSES CONNECTIONS AND TIE-DOWNS DETAILS
- FORM 35

### 1.11 Duration of the Contract

All work included in this contract shall be completed within 6 months from the day that the Contractor takes possession of the site.

Work shall be undertaken as per the EPA guidelines - between the following hours:

Monday - Friday	7.00am - 6.00pm
Saturday	9.00am-6.00pm
Sunday/ Public Holidays	10.00am-6.00pm

The contract period is inclusive of all holiday periods. No work to be undertaken on Sundays or Public Holidays, without written permission of the Superintendent or their representative.

### 1.12 Temporary Services

### 1.13 Contingency Sum

The procedure for approval of variations to the contract shall be strictly in accordance with Item 1.18 of this document.

### 1.14 Damages for Non-Completion

The amount of liquidated and ascertained damages for delay in completion in accordance with Clause 35.6 of the General Conditions of Contract shall be \$500-00 per day for each separable portion of the works.

### 1.15 Programme of Works

Within 14 calendar days of notification of acceptance of the tender the Contractor shall provide three (3) copies of a chart showing the proposed planned construction programme. This shall be in an acceptable bar chart form showing planned weekly progress and have provision for entering comparative actual progress. If at any time during the carrying out of the works the actual progress for any item of work shown is less than that forecast by the bar chart, or the Superintendent considers that the bar



chart does not show a satisfactory programme, the Contractors shall provide within 3 calendar days, a revised and satisfactory programme.

If it is necessary for the Contractor to work overtime to maintain the contract schedule all the additional costs caused by overtime or shift work shall be borne in full by the Contractor or the Sub-Contractor.

#### 1.16 Site Meetings

The Superintendent shall arrange, chair and minute site meetings at intervals to be nominated for the duration of the Contract Period. (Usually fortnightly)

All minutes shall be enumerated and brought forward to the next meeting until satisfactorily discharged.

#### 1.17 Field Instructions

During the currency of the contract any instructions and/or approvals shall be issued on the Superintendent's standard form for that purpose.

Should the Contractor and/or Sub-Contractor consider that any direction involves any time or cost variation, he shall so inform the Superintendent forthwith and before complying with the direction.

#### 1.18 Variations to the Contract

#### 1.19 Fees and Regulations

The costs of all necessary permits and connections fees to all concerned authorities and the obtaining of these permits to cater for the works required in this tender ***shall be included in this quotation.***

The Contractor shall pay all fees and comply with all regulations as detailed in Clause 14 of the General Conditions of Contract.

The whole of the work is to be carried out in accordance with all By-Laws and Regulations of any Authorities having jurisdiction over the works.

#### 1.20 Barriers

The Contractor shall provide, erect and maintain all necessary temporary barriers around footways and all trenches for the protection of the public. This work shall be completely removed at the completion of the Works.

#### 1.21 Existing Services

The Contractor shall be responsible to prevent damage to any existing services on site. Any damage caused shall be made good to the satisfaction of the Superintendent.

### 1.23 Retention Monies

Council requires the Contractor to lodge two Bank Guarantees valued at 5% each to cover retention funds required during the course of the contract and/or the defects liability period.

### 1.24 Safety

The Contractor shall carry out the whole of the works in a thoroughly safe manner and in particular shall conform to the requirements of all occupational health and safety standards including relevant Acts and Statutes of Parliament, Regulations, By-Laws or Orders relating to the safety of persons on or about the site.

The Contractor shall ensure that all equipment necessary for execution of the works is of adequate strength and otherwise safe for use, and shall remove from the site any equipment which becomes, or is likely to become unsafe.

#### **Please Note**

- All machinery must be fitted with Burst Hose Protection on all hydraulic cylinders and fitted with a Roll Over Protection System (ROPS) or Fall Over Protection System (FOPS) Canopy.
- All trucks must have a roadworthy certificate, rotating safety lights.
- All submitted plant and machinery must comply with Workplace Health and Safety standards.
- All materials must be NATA certified.

#### **Contractor shall submit a Safety Management Plan which will address the following:**

- WHS requirements(eg. policies, procedures, incident notification, etc.)
- WHS roles and responsibilities of the contractor (including their management teams)
- Procedures for handling non-compliance with WHS policies, procedures and agreed work methods
- Process for eliminating or reducing WHS risks as far as practicable
- Reporting expectations, including:
  - Health and safety performance (e.g. incidents, near misses and hazards)
  - Site inductions and training
  - Minutes of consultation arrangements and issue resolution
  - Changing agreed actions or controls
- Procedures for handling changes to processes, procedures or controls
- Scheduling and procedures for inspections and audits of work
- Principal and contractor communications
- The requirement for Contractors to inform the Principal that their personnel are on-site
- Induction and training processes
- Methods or processes for dealing with:

- Unexpected or previously unidentified hazards (such as sub surface asbestos) and the expectation that contractors shall implement effective risk management practices as per WHS regulatory requirements
- There will be high risk work associated with this contract which includes, but not limited to working at heights and electrical installation.

### **Standard of Plant, Machinery and Material**

Sorell Council requires that all plant and machinery operating on designated works sites meet all statutory requirements relating to registration and insurance and are free from defects that may affect their safe operation. Plant and machinery that do not meet these requirements may be banned from the work site until the matter is remedied.

All materials supplied to Council need to conform with Australian Standards where applicable and proof of such qualification may be required prior to the material being accepted on the work site.

Any breaches of these standards may result in the issue of a non-conformance to the contractor or supplier.

### 1.25 Approved Sub-Contractors

The Contractor, shall submit for approval, a list of all Sub-Contractors to whom they intend subcontracting any portion of the works.

The company nominated as sub-contractor on the tender form must be used to carry out the works during construction. If circumstances arise where the nominated sub-contractor can no longer carry out the works and another sub-contractor must be engaged, consent must be given by Council prior to engaging that sub-contractor.

Any Sub-Contractor not approved shall not undertake any of the works covered by this Contract.

### 1.26 Making Good

The Contractor shall be responsible for making good any damage to fencing, drains, roads, footpaths and surfaces generally, and any other works which may be disturbed or injured by cartage or any other operation in carrying out this Contract.

### 1.27 Site Visit

The lodging of a tender shall infer that the Contractor has previously visited the site and become familiar with all work involved in this contract, together with existing conditions on and surrounding the site.

No claim for extra work or time will be considered as a result of neglect of the above provision.

### 1.28 Dimensions on Drawings

The Contractor shall check all dimensions before setting out any work on the site. Any discrepancies shall be referred immediately to the Superintendent. The drawings shall not be scaled.

### 1.29 Materials and Workmanship

Where applicable the latest SAA Code (with amendments) shall define the acceptable standards for materials and workmanship.

Where no standard exists the Contractor shall refer to the Superintendent for advice. The Superintendent reserves the right to reject any such work that does not meet with his approval.

All materials shall be new and to the approval of the Superintendent.

### 1.30 Samples

When requested, the Contractor shall furnish to the Superintendent for approval samples of all materials to be used in the execution of the works and of the finishes to be applied.

Materials and finishes used in the works, must be in accordance with and equal to the approved samples.

### 1.31 Contractor to Supply

The Contractor shall supply all equipment, labour and materials as may be required to ensure the proper execution of the whole of the works, unless noted elsewhere in the contract documents. All items shown on the drawings and/or specified are to be included in the Contract.

### 1.32 Foreman

The Contractor shall appoint a competent Foreman, Deputy or representative to whom instructions can be issued by the Superintendent for the duration of the Contract. The appointment shall be approved by the Superintendent and the Foreman shall not be changed without approval. The Foreman shall be available on site during working hours.

### 1.33 Cleaning and Finishing

During building operations the Contractor shall at all times keep the site and works clean and tidy. Spoil and debris must be removed as work proceeds and not allowed to accumulate.

On completion of works and prior to handing over to the Principal:-

- Remove all temporary structures, fences, services, plant and equipment.
- Remove all surplus materials and debris.

- Make good all damage and bring all surfaces to the specified finish.
- Clean the site.

#### 1.34 Obvious Work

Where a construction or item of work is to be obviously inferred or is usual and proper in the class of work generalised in this Specification the same is to be included notwithstanding that such construction or such necessary item is not specially mentioned in this Specification or shown on the drawings.

#### 1.35 Sealed Containers

No manufactured material or products which is sold in closed or sealed containers is to be taken onto the site of the works or on to any place where any part of the works is being carried out unless still in the original container and with the manufacturer's seal intact. Failure to comply with this requirement will result in rejection of the material or product.

#### 1.36 Mounted Drawings

One set of all drawings required by the Contract is to be kept on the site of works by the Contractor and shall be suitably mounted and protected.

#### 1.37 Import Duty

The Contract Sum shall be deemed to include allowance for Customs Duty (where same applied) on all imported goods, materials and fittings required or used in or forming part of the works.

#### 1.38 Poisonous and Other Injurious Substances

Adequate precautions shall be taken to keep all poisonous and other injurious substances in places secured against access by unauthorised persons.

#### 1.39 Existing Trees and Shrubs

Every endeavour must be made to preserve existing trees and shrubs. The Contractor is required to slash all vegetation with a trunk diameter less than 150mm, and to remove slashed material off site.

#### 1.40 As Constructed Drawings

The Principal's Surveyor shall prepare "as constructed" drawings to the standard required by the local authority. The contractor shall supply a competent member of their workforce to assist the surveyor if required. No service may be backfilled or covered in any way prior to measurements being taken. Written authorisation to backfill is then required from the Principal's Surveyor and the Superintendent. This cost of this shall be covered within the Contract rates.

#### 1.41 Charges and Fees

All charges of whatever description are deemed to be included in rates tendered in the contract schedules.

All Municipal fees and other lawful charges due or requisite on account of the work of contract shall be paid by the Contractor as part of his contract unless the Contractor ascertains specifically from the relevant authority that the work is free of payment of such fees or dues.

***TCBIB fee to be paid and receipt provided to Council before possession of site will be arranged.***

#### 1.42 Provision for Traffic and Services

The Contractor shall provide, erect and maintain such temporary fences, barriers, night lights, etc. as may be necessary to protect the general public and property and in this respect shall comply with any direction from the Superintendent.

The contractor shall similarly provide all works necessary to avoid interruption to all services such as drains, water pipes, gas pipes, electricity supply mains, telephone cables and sewers. Where existing pipes are passed under they are to be securely slung or underpinned as directed. Any damage to gas pipes, electric supply, water or telephone lines is to be repaired immediately to the Superintendent's satisfaction.

The Contractor shall accept full responsibility for any accidents arising from the neglect of any necessary precaution whether specified herein or not during the contract time until the end of the maintenance. He shall obey all directions given to him with regard to the provision of lighting and barriers but shall not be thereby relieved of responsibility for any accidents or damage.

On completion of the works or any section thereof all drains and surrounding surfaces shall be made good and restored to their original condition. In the event of the Contractor's refusal or failure to carry out any of these works the Superintendent may, after twenty-four (24) hours notice in writing have such works carried out at the Contractor's expense.

The cost of the above-mentioned work shall be deemed to be included in the scheduled rates for excavation.

#### 1.43 Alteration of Services

The Contractor shall promptly arrange for the alteration, lowering etc. of any water, gas, or other service or drainage pipe from properties which may require adjustment owing to construction of these works.

The Contractor shall, however, as part of his Contract, expose all pipes, mains and fittings to be altered, excavate for all new trenches as directed, backfill and consolidate all trenches and maintain the whole work as specified. Arrangements to lift or lower any manhole cover, inspection shaft, fireplug or valve must be made by the Contractor with the Authority concerned and all costs of alterations shall be deemed to be included in the Contract.

#### 1.44 Sufficient Employees, Plant Etc

The Contractor shall engage and have at work sufficient employees to enable the Contract to be completed within the time of completion. The Contractor shall have sufficient plant and arrange an adequate supply of tools, materials, etc., together with a satisfactory rate of delivery of culvert and drainage pipes etc. to maintain a rate of progress satisfactory to the Superintendent.

If, in the opinion of the Superintendent, the Contractor fails to employ an adequate number of workers, or has not sufficient plant, materials, equipment, etc. to keep up a satisfactory rate of progress then the Principal may withhold all progress payments wholly or in part until the Superintendent's requirements have been complied with.

#### 1.45 Prime Cost Items and Provisional Sums

Tenderers shall include in their tenders the prime costs items and/or provisional sum items scheduled. Transaction regarding such items shall be made only after the Contractor has received written instructions from the Superintendent authorising expenditure on such items. Payment for such works shall be made after official receipts for payments made the contractor have been lodged with the Superintendent.

#### 1.46 Work Outside Normal Hours

No works of the contract shall proceed outside normal working hours without the prior written approval of the Superintendent and such other Statutory Authorities as may be required. This applies to work before 7.00 a.m. on any day or later than 5.00 p.m. on any day, and on Saturdays, Sundays, Public Holidays and Bank Holidays. The Contractor shall pay the costs of any additional supervision or inspections made necessary by work outside the times specified.

#### 1.47 Corner Pegs

Corner pegs disturbed, buried or removed during construction of works are to be replaced by the Principal's Surveyor. The Contractor shall check all lot dimensions against site measurements before using any corner pegs to set out works. Any discrepancies shall be referred immediately to the Superintendent.

#### 1.48 Specification

Prior to any relevant works the Contractor shall refer immediately to the Superintendent any differences between this specification and the current specification of the relevant authority.

No claims for variations to the contract sum will be considered for any work resulting from a conflict between the above mentioned specifications.

#### 1.49 Setting Out of the Works

The Contractor is responsible for setting out the works as shown on the drawings. The Principal's Surveyor will provide digital information for use by plant mounted with working GPS technology.

The Principal's Surveyor will provide lot pegs and markers at manhole centres, if applicable.

The Principal's Surveyor will provide to the Contractor survey set out plans showing the lot pegs and dumpy pegs placed on the ground.

The Contractor is responsible for offsetting or repositioning temporary marks to allow construction to proceed.

#### 1.50 Soil and Water Management

The Contractor is responsible for carrying out effective soil and water management practices in accordance with "Water Sensitive Urban Design in Engineering Procedures for Stormwater Management Procedures in Southern Tasmania" from [www.derwentestuary.org.au](http://www.derwentestuary.org.au) and in accordance with the Soil and Water Management Drawing for this contract.

#### 1.51 Hold Points

Hold Points will be negotiated with the successful tenderer at the pre-construction meeting.

#### 1.52 Statutory Declaration

The Contractor shall provide to Council prior to Practical Completion being given, a Stat Dec stating that all subcontractors and material suppliers have been paid.



19 December 2024

Loci Architecture & Planning  
PO Box 705  
NORTH HOBART TAS 7000

**Email:**

Dear Sir/Madam

**5.2024.267.1 AT 47 COLE STREET, SORELL - EXTENSION TO MEMORIAL HALL**

I advise that the above application has now been approved and attached the permit which includes conditions of approval.

It should be noted that the use and development as shown on the endorsed plans must not be altered without further consent and once commenced it must be carried out in accordance with the requirements of this permit.

This is a planning permit only and does not imply that any other approval required under any other by-law or legislation has been granted.

Separate building and plumbing approval may be required before any works commence.

Yours sincerely,

A handwritten signature in blue ink, appearing to read 'Shane Wells'.

Shane Wells  
**MANAGER PLANNING**

Encl. Permit and endorsed plan



# PLANNING PERMIT

5.2024.267.1

## TASMANIAN PLANNING SCHEME - SORELL

**FOR:** EXTENSION TO MEMORIAL HALL  
**AT:** 47 COLE STREET, SORELL  
**USE:** COMMUNITY MEETING AND ENTERTAINMENT (OTHER)  
**TYPE:** PERMITTED  
**APPLICANT:** LOCI ARCHITECTURE & PLANNING

**APPROVAL DATE:** 17 DECEMBER 2024

**This planning permit is subject to the following conditions. This is not a building approval.**

### General:

1. Except where modified by a condition of this permit, the use and development must be substantially in accordance with the endorsed plans and documents:
  - a) P1 Design drawings by Loci Architecture & Planning Dated 10/10/2024; and
  - b) P1 Car Parking Assessment by Ratio Dated 29/07/2024.
2. Storm water shall be discharged to the existing piped Council Storm water system.
3. The development shall be undertaken with all the requirements of TasWater.
4. Unless otherwise approved in writing by the General Manager, during construction:
  - a) soil, building waste and debris must only leave the site in an orderly fashion to be disposed of at an approved facility;
  - b) any damaged or unclean private or public infrastructure must be promptly rectified; and

5.2024.267.1

- c) public land, footpaths and roads must not be unreasonably obstructed.
5. Equipment, materials, waste and machinery stored externally must be located or screened to restrict visibility from any public road, public land or adjoining residence.

This condition is to maintain the amenity and appearance of the site and to avoid unsightly storage of items.

#### THE FOLLOWING ADVICE APPLIES TO THIS PERMIT

##### Legal

- This planning approval shall lapse at the expiration of two (2) years from the date on which this permit became valid, if the permit is not substantially commenced. At the discretion of the Planning Authority, the expiration date may be extended for a further two (2) years on two separate occasions for a total of six (6) years. Once lapsed, a new application will be required.

##### Asset Protection

- In accordance with the *Local Highway Bylaw 2 of 2015*, the owner is required to repair any damage to any Council infrastructure caused during construction.
- Council recommends contacting Dial-Before-You-Dig (phone 1100 or [www.1100.com.au](http://www.1100.com.au)) before undertaking any works.

##### Other Approvals

- All stormwater management measures and designs on the endorsed plans and documents, together with any related permit condition, constitutes General Managers consent under section 14 of the *Urban Drainage Act 2013*.
- This permit does not imply that any other approval required under any other by-law or legislation has been granted.
- Separate building and plumbing approval may be required prior to the commencement of the development/use.

You may appeal against the above conditions, any such appeal must be lodged within fourteen (14) days of service of this notice to TASCAT, 38 Barrack Street Hobart 7000 Ph: (03) 6165 6790 or email [resourceplanning@tascat.tas.gov.au](mailto:resourceplanning@tascat.tas.gov.au)



# PLANNING PERMIT

5.2024.267.1

You may appeal against the above conditions, any such appeal must be lodged within fourteen (14) days of service of this notice to TASCAT, 38 Barrack Street Hobart 7000 Ph: ☎ (03) 6165 6790 or email [resourceplanning@tascat.tas.gov.au](mailto:resourceplanning@tascat.tas.gov.au)

Yours sincerely,

Shane Wells  
**MANAGER PLANNING**

To	Shane Wells (Senior Planner, Sorell Council)
From	Manesha Ravji (Ratio)
CC	
Regarding	Car Parking Assessment of Proposed Development at 47 Cole Street, Sorell
Date	29 July 2022
Reference Number	19364TG
Document Number	19364TG-MEM1-D01

Dear Shane

Ratio Consultants (Ratio) have now completed a car parking assessment for the proposed developments at 47 Cole Street, Sorell. The following detail of this memo summarises our assessment and findings.

## 1. Overview

Council proposes to develop the vacant areas of 47 Cole Street, Sorell into the Sorell Jobs Hub and the Sorell Community Cultural Centre. Ratio was commissioned to undertake a car parking assessment for the development proposals and provide advice regarding the parking demands of the proposed activities.

The location of the development sites in the context of the surround area are outlined in Figure 1.1:

Figure 1.1: Site Locations



As outlined above, the proposed Sorell Jobs Hub site and Sorell Community Cultural Centre site are located immediately south of Dubs and Co Drive at 47 Cole Street, this address is also home to the Sorell Council Offices.

The Sorell Park and Ride car park is located to the east of the proposed Community Cultural Centre, whilst the existing Sorell Council Offices are located to the south of the proposed Jobs Hub site. Ratio has been advised that there is an oversupply of 20-30 car parking spaces associated with the existing Sorell Council Offices. In addition, it is understood that there is currently a parking oversupply of some 36 spaces within the Sorell Park and Ride carpark.<sup>1</sup>

## 2. Background Document and Information Review

### Preamble

Council provided a number of background documents relevant to the development proposals. A summary of the reviewed documents is provided in the following subsections.

#### Sorell Streetscape Plan 2014

The Sorell Streetscape Plan 2014 establishes a framework for future investment in Sorell’s main streets. The Plan outlines the vision for Sorell as being *“As active, lived in place, steeped in its history but looking to its future as a place where people want to do business, shop, work, visit and participate on the life of the community”*. This Vision is noted as being consistent with State and Regional Policy and the community’s views about the future of the town.

The Plan also includes the following Streetscape Master Plan relevant to the subject site:

Figure 2.1: Sorell Streetscape Plan 2014 – Streetscape Master Plan



Figure 2.1 notes that the vacant portions of 47 Cole Street are intended for commercial and civic uses, consistent with the current Jobs Hub and Community Cultural Centre development proposals.

<sup>1</sup> The Traffic Impact Assessment Report for the proposed the Mixed Use Development at 33 Dubs and Co Drive (prepared by Howarth Fisher and Associates, dated March 2022) indicates that the Park and Ride facility has a parking supply of 68 spaces and a peak surveyed occupancy of 32 spaces, indicating an oversupply (based on current weekday demand) of 36 spaces.



## Sorell Streetscape Plan Update 2021

Following on from the Sorell Streetscape Plan 2014, the Sorell Streetscape Plan Update 2021 was prepared by Council. This document notes that in preparing the Update, Council is aiming to put itself at the forefront of a world movement to create livable town centres and aims to ensure that Sorell will be a 'good place to live' for many years to come.

The Streetscape Plan includes the following Concept Master Plan relevant to the study area:

Figure 2.2: Station Lane / Dubs and Co Drive – Concept Master Plan



Figure 2.2 acknowledges both the proposed Jobs Hub and Community Cultural Centre.

## Approved Emergency Services Hub at 47 Cole Street

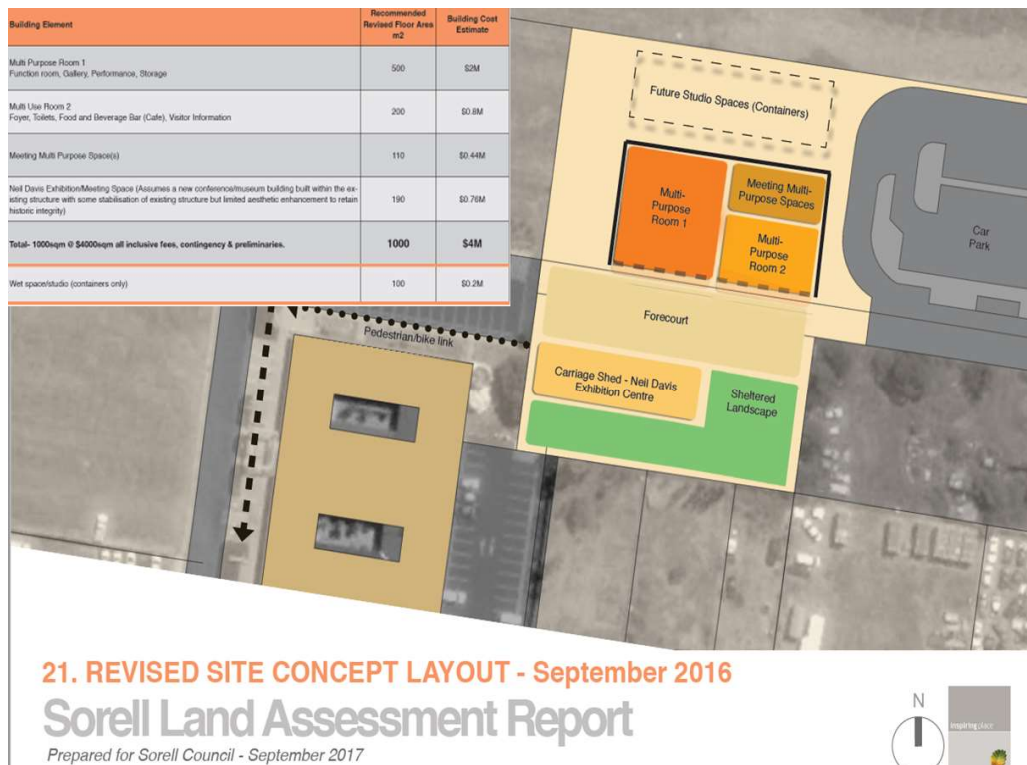
The development of an Emergency Services Hub on Lot 1 47 Cole Street was approved by Council in April 2021. The Traffic Impact Assessment (TIA) report<sup>2</sup>, for the development proposal includes an onsite provision of 101 car parking spaces. This provision exceeds the statutory requirement of 63 spaces. The parking demand of the Emergency Services Hub is therefore expected to be fully catered for onsite.

## Sorell Land Assessment Report (September 2017)

The Sorell Land Assessment Report outlines an initial concept for the proposed community cultural precinct. The document includes the following revised Concept Layout Plan for the proposed Community Cultural Centre:

<sup>2</sup> Prepared by GHD and dated December 2020.

Figure 2.4: Potential Community Cultural Centre Floor Area Breakdown



### 3. Development Proposal

#### Overview

The development proposals for 47 Cole Street include the development of the Sorell Jobs Hub and the Sorell Cultural Community Centre. The location of these components in the context of the surrounding areas are outlined in Figure 3.1:



**Sorell Council**  
**PLANNING PERMIT DOCUMENT**

This is the approved plan to which the below planning permit applies.  
 Permit No: 5.2024.267.1

Date Permit Issued: 17/12/2024  
 Signed: *Shane Wells*  
 SHANE WELLS



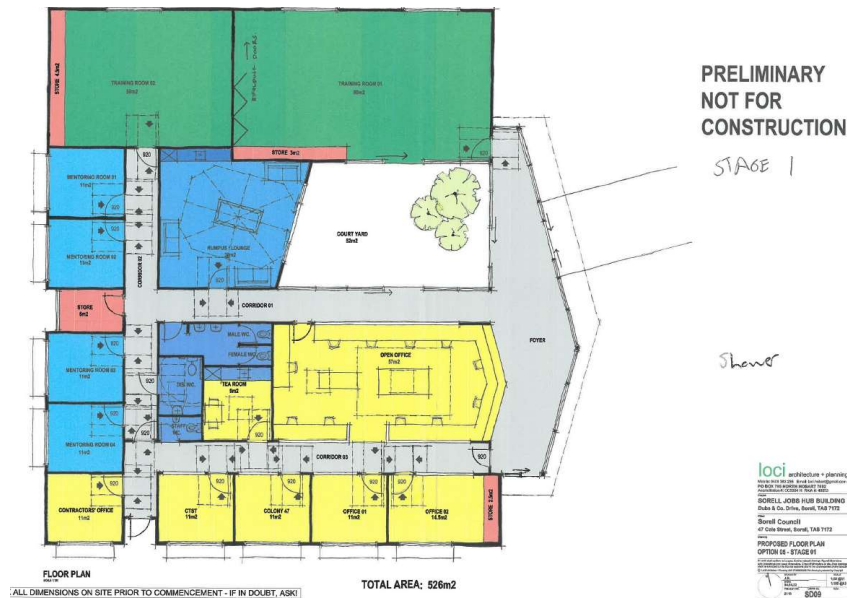
Figure 3.1: Proposed Development Locations



### Proposed Sorell Jobs Hub

Preliminary plans for the proposed Jobs Hub were provided by Council and have been reproduced in Figure 3.2 and Figure 3.3:

Figure 3.2: Preliminary Plans for the Proposed Sorell Jobs Hub – Stage 1



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 Signed:  
 SHANE WELLS

Figure 3.3: Preliminary Plans for the Proposed Sorell Jobs Hub – Stage 1 + Stage 2



Based on the above plans, the proposed development yields for the proposed Jobs Hub are summarised as follows:

Table 3.1: Proposed Job Hub Floor Areas

Development Component	Stage 1	Stage 2	Stage 1 + Stage 2
Training Rooms	130sqm (maximum of 20 students and an allowance of 4 staff)		130 sqm
Office	396	103	499
		<b>Total</b>	<b>629</b>

Based on the information provided by Council it is understood that there is potential to provide car parking (approximately 20 spaces) on the Sorell Jobs Hub site as outlined below in Figure 3.4:

Figure 3.4: Proposed Jobs Hub Parking Sketch Plan (provided by Council)



### Proposed Community Cultural Centre

The Sorell Community Cultural Centre: Business Case (June 2018) for the proposed Community Cultural Centre was also provided by Council.

The Business Case notes that the centre is likely to include display space, workshop/studio space, café and dining space, meeting spaces, offices spaces and associated amenities. In addition, the Business Plan notes that the site could incorporate outdoor dining, a garden/plaza and a play area for 2-10 year-olds. The proposed floor areas for the various components of the proposed Centre are outlined in the Business Plan as follows:

Figure 3.5: Potential Community Cultural Centre Floor Area Breakdown

Space Type	Areas	S1	S2	Description
Parking				For cars, bicycles and service vehicles (external)
Entry	-			A distinct entry point for pedestrians (external)
Welcome and Information	15m <sup>2</sup>	15	0	Space to provide information about the Centre e.g. operating hours and "What's On". This may include a ticketing point for special events and festivals
Amenities	50m <sup>2</sup>	25	25	Toilet facilities, including disabled and baby change. S1 = 5 toilets in total. 4 Unisex toilets + 1 DDA
Display Space	100m <sup>2</sup>	50	50	Indoor and outdoor display space for arts and cultural products (artworks, sculpture)  User groups request: 400m <sup>2</sup> (less 100 minimal already in brief) = + 300
Workshop/Studio Space	90m <sup>2</sup>	45	45	Indoor and outdoor space for activities, with associated wet areas. + Some outdoor directly connected
Café Kiosk	20	20		Space for a café/commercial gallery. This could be a food truck parking bay in early stages. + outdoor directly connected
Dining Internal	50	0	50	Allowance 50m <sup>2</sup> (seating for 40 people internal)
Events and Functions Space	145	-		This is anticipated to be located in the Carriage Workshop. It may also be a location for temporary exhibitions, markets and workshops or for permanent display, functions S1 – can be used for display
Meetings Space	50	30	20	Space for group meetings of up to 20 people (Allow 2m <sup>2</sup> per person). Adjacent to kitchenette 10m <sup>2</sup>
Office space	15	0	15	A space for site operation staff or volunteers. Allowance for 3 hot desks (5m <sup>2</sup> per person). Welcome Info is provided for S1
Kitchen/lunch area	10	0	10m <sup>2</sup>	Space for tea making/ fridge etc.
Storage	20	0	20m <sup>2</sup>	Storage for materials used regularly by users. These could be lockers allocated to groups. Men's Shed or Carriage works used S1
Loading				A service entry for delivery, waste etc.
<b>Total Internal</b>	<b>565 (865)</b>	<b>185</b>	<b>425</b>	
15% circulation	<b>85 (120)</b>	<b>30</b>		
<b>Total Floor Area</b>	<b>650 (995)</b>	<b>220</b>		
Dining External			50	50m <sup>2</sup> (seating for 40 people internal)
Garden		250	250	This could be a major feature of the Centre and be both a cultural, interpretive and attractive feature.
Play	-			Designed nature and culture play space for 2 – 10 years old. This could also be a major attractor.
<b>Total External</b>	<b>550</b>	<b>250</b>		

Note: Red text identified proposed areas provided through the stakeholder consultation process.

S1 = Stage 1 functions, S2 = Stage 2 functions. The Business Case recognises that all of the above outlined functions may not be provided at the onset. The numbers highlighted in red above indicate the spaces requested by consulted stakeholder groups.

As outlined in Figure 3.5, the total floor area of the Community Cultural Hub is expected to be in the order of 650 to 995 sqm, with the latter amount reflecting the spaces requested by the consulted stakeholder groups.

ratio:

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Signed: SHANE WELLS




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ratio.com.au



It is further understood that, at present, no parking spaces are proposed on the Sorell Community Cultural Centre site but rather that the open space area surrounding the onsite buildings is to be utilised for civic open space (e.g. markets, outdoor eating and recreational space).

## 4. Car Parking Assessment

### Sorell Interim Planning Scheme 2015 Parking Requirements

Table E6.1 of Clause E6.0: Parking and Access of the Sorell Interim Planning Scheme 2015 outlines the number of parking spaces required for various land uses. The statutory car parking requirements of the proposed Jobs Hub and the Community Cultural Centre have been assessed against the Planning Scheme requirements as outlined follows:

#### Proposed Jobs Hub

The proposed Jobs Hub is made up of 2 stages and the statutory parking requirements of each stage are summarised as follows:

Table 4.1: Jobs Hub Stage 1 Parking Requirements

Development Component	Floor Area (sqm)	Planning Scheme Land Use Definition	Planning Scheme Parking Rate	Parking Requirements
Training Rooms	130sqm (maximum of 20 students and an allowance of 4 staff)	User Class: Educational and Occasional Care - Educational and occasional care, except as otherwise specified in this table	0.5 spaces for each employee and 0.1 for each student/client	3 spaces
Office	396	User Class: Business and Professional Services - Office	1 for each 30sqm floor area	13 spaces
<b>Total</b>	<b>526</b>			<b>16 spaces</b>

Table 4.2: Jobs Hub Stage 1 + Stage 2 Parking Requirements

Development Component	Floor Area (sqm)	Planning Scheme Land Use Definition	Planning Scheme Parking Rate	Parking Requirements
Training Rooms	130sqm (maximum of 20 students and an allowance of 4 staff)	User Class: Educational and Occasional Care - Educational and occasional care, except as otherwise specified in this table	0.5 spaces for each employee and 0.1 for each student/client	3 spaces
Office	499	User Class: Business and Professional Services - Office	1 for each 30sqm floor area	17 spaces
<b>Total</b>	<b>629</b>			<b>20 spaces</b>

Based on the above, the proposed Job Hub has statutory parking requirement of 20 spaces on completion of Stage 1 and 2.

The sketch plan shown in Figure 3.4 indicates that the statutory parking requirement of 20 spaces can be provided fully on the proposed Jobs Hub site with no reliance on the existing parking supply surrounding the site.

**ratio:**

<p>Sorell Council <b>PLANNING PERMIT DOCUMENT</b></p> <p>This is the approved plan to which the below planning permit applies. Permit No: 5.2024.267.1</p> <p>Date Permit Issued: 17/12/2024 Signed: SHANE WELLS</p>	
--	--

19364TG-MEM01-D01 P9

## Proposed Community Cultural Centre

The make-up of the proposed Cultural Community Centre is yet to be finalised. However, the Business Case for the Centre (refer to Figure 3.5) notes that the Centre is likely to include display space, workshop/studio space, café and dining space, meeting spaces, offices spaces and associated amenities.

In addition, the Business Plan notes that the site could incorporate outdoor dining, a garden/plaza and a play area for 2-10 year-olds. The Business Case includes both baseline developable floor areas and additional floor areas as requested by consulted stakeholder groups.

From a statutory parking requirement perspective, the proposed Cultural Community Centre has been assessed as a Civic Centre / Function Centre based on the information provided in the previously outlined Sorell Land Assessment Report (September 2017). The resulting statutory parking requirements are summarised as follows:

Table 4.3: Community Cultural Centre Parking Requirements

Development Component	Floor Area (sqm)		Planning Scheme Land Use Definition	Planning Scheme Parking Rate	Parking Requirements
	Business Case	Requested by Consulted Stakeholder Groups			
Cultural Hub	650	995	Use Class: Community Meeting and Entertainment – Cinema, church, civic centre, function centre, public hall, theatre	1 space for each 15 sqm floor area	43-66 spaces

As outlined about the proposed Cultural Community Centre has a statutory parking requirement of some 43 - 66 spaces, with the upper limit representing the parking requirement if it were to be developed in line with the spaces requested by consulted stakeholder groups.

## 5. Anticipated Parking Demand

### Proposed Jobs Hub

The peak parking demand of the proposed Jobs Hub is expected to occur on a weekday during business hours when the training rooms are being used to full capacity (i.e. 20 students + 4 staff).

The peak parking demand of the training rooms has been assessed by assuming that 80% of the people associated with the training rooms activity will drive to the Jobs Hub, resulting in a parking demand of 19 spaces.

In addition, the peak demand for the remaining Jobs Hub area has been assessed on the basis of an average employee/attendee density will be 4.75 people per 100sqm floor area<sup>3</sup>. Assuming that all these employees/attendees drive to the site, the resulting peak parking demand is 24 spaces for the remainder of the proposed Jobs Hub.

The peak parking demand for the entire Jobs Hub is therefore expected to be in the order of 43 parking spaces.

The preliminary plans for the Jobs Hub indicate that approximately 20 parking spaces are proposed onsite, resulting in a potential parking shortfall of up to 23 parking spaces at peak times. This shortfall could be catered for in the parking area north of the adjoining Sorell Council Buildings site outlined below:

<sup>3</sup> Based on the employee density of office outlined in Section 5.6 of the Roads and Transport Authority (RTA) NSW "Guide to Traffic Generating Developments" document dated October 2022.

Figure 5.1: Proposed Jobs Hub Parking Sketch Plan (provided by Council)



Weekday aerial photography suggests that this parking area has a peak demand of 13 spaces, indicating a surplus of 24 spaces. This surplus could be used to fully cater for the parking shortfall associated with peak activity on the proposed Jobs Hub site.

The proposed onsite parking supply of some 20 spaces on the Jobs Hub site is therefore considered appropriate.

## Proposed Community Cultural Centre

The parking demand of the proposed Community Cultural Hub has been assessed by assuming that it will function as a community facility, with scope for hosting markets in its outdoor space.

Guidance on the parking demand of the proposed Community Cultural Centre has been sought by assessing the existing parking provisions at other regional cultural community centres. A summary of the parking provisions at comparable (in terms of use, not size) is provided as follows:

Table 5.1: Parking Provisions at existing Regional Community Cultural Centres

Community Cultural Centre	Uses	Centre Size (sqm)	Parking Provision (spaces)	Parking Rate (sqm per space)
Burrinja, Upwey, Victoria	Gallery space, artist's studios, theatre, making and meeting spaces, garden and cafe	4,380	151	29
Burnie Arts and Function Centre, Tasmania	Event and performance space, meeting rooms, kitchen and catering	1,700	65 (approx.)	26
<b>Average</b>				1 space per 28 sqm

It is highlighted that the above outlined average rate of 1 space per 28 sqm is significantly lower than the Interim Planning Scheme requirement of 1 space per 15 sqm for the Use Class: Community Meeting and Entertainment which includes cinema, church, civic centre, function centre, public hall and theatre uses.

The average rate outlined in Table 5.1 is considered more reflective of the proposed Cultural Community Centre uses and less likely to result in the over provision of car parking spaces.

Applying the average parking rate outlined in Table 5.1 to the proposed Community Cultural Centre in Sorell results in a parking provision of some 23 - 36 spaces, with the upper limit representing the parking requirement if the Centre were to be developed in line with the spaces requested by consulted stakeholder groups.

It is highlighted that there is scope to accommodate some/all of this parking provision on the adjoining Sorell Park and Ride site, which as outline previously, has a current an oversupply of some 36 spaces. It is however noted that if a portion of the Park and Ride car park was to be used to service the proposed Community Cultural Centre that mechanisms/restrictions would need to be put in place dedicating the nominated parking area to Community Cultural Centre use only.

It is further understood that the outdoor space could be used for community markets. Such regional community markets are generally held on the weekend and can generate a parking demand between 40-100 spaces, dependant on the size of the market. If a weekend market was to be held at the proposed Community Cultural Hub, the parking demand could be catered for by the Park and Ride car park (68 spaces) and the Council car park to the west (37 spaces, previously outlined in Figure 4.1) given the use of these parking areas is expected to be minimal during weekends.

## 6. Summary and Recommendations

Based on the findings of the assessment discussed in this memo the following parking provisions are suggested for the proposed developments:

### Proposed Jobs Hub

It is recommended that onsite parking be provided in accordance with the statutory requirement of 20 spaces. Any additional parking demand associated overlapping peak activity of the various onsite uses (potentially up to 23 spaces) can be readily catered for by the underutilised parking spaces associated with the existing Sorell Council Offices at 47 Cole Street.

### Proposed Community Cultural Centre

The proposed Community Cultural Centre in Sorell is expected to require a parking provision of some 23 - 36 spaces, with the upper limit representing the parking requirement if the Centre were to be developed in line with the spaces requested by consulted stakeholder groups.

It is highlighted that there is scope to accommodate some/all of this parking provision on the adjoining Sorell Park and Ride site, which has a current oversupply of some 36 spaces. It is however noted that if a portion of the Park and Ride car park was to be used to service the proposed Community Cultural Centre that mechanisms/restrictions would need to be put in place dedicating the nominated parking area Community Cultural Centre use only.

It is further understood that the outdoor space could be used for community markets. Such regional community markets are generally held on the weekend and can generate a parking demand between 40-100 spaces, dependant on the size of the market. If a weekend market was to be held on the proposed Community Cultural Hub, the parking demand could be catered for by the Park and Ride car park (68 spaces) and the Council car park to the given the use of these parking areas is expected to be minimal during weekends.





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COLE STREET

Sorell Council  
**PLANNING PERMIT DOCUMENT**  
 This is the approved plan to which the below planning permit applies.  
 Permit No: 5.2024.267.1  
 Date Permit Issued: 17/12/2024  
 Signed: SHANE WELLS

**loci** architecture + planning  
 Mobile: 0408 383 235 Email: loci.hobart@gmail.com  
 PO BOX 705 NORTH HOBART 7002  
 Accreditation #: CCS364 H RAIA #: 48053

Project  
**Sorell Memorial Hall**  
 47 Cole Street, Sorell, TAS 7172

Client  
**Sorell Council**  
 47 Cole Street, Sorell, TAS 7172

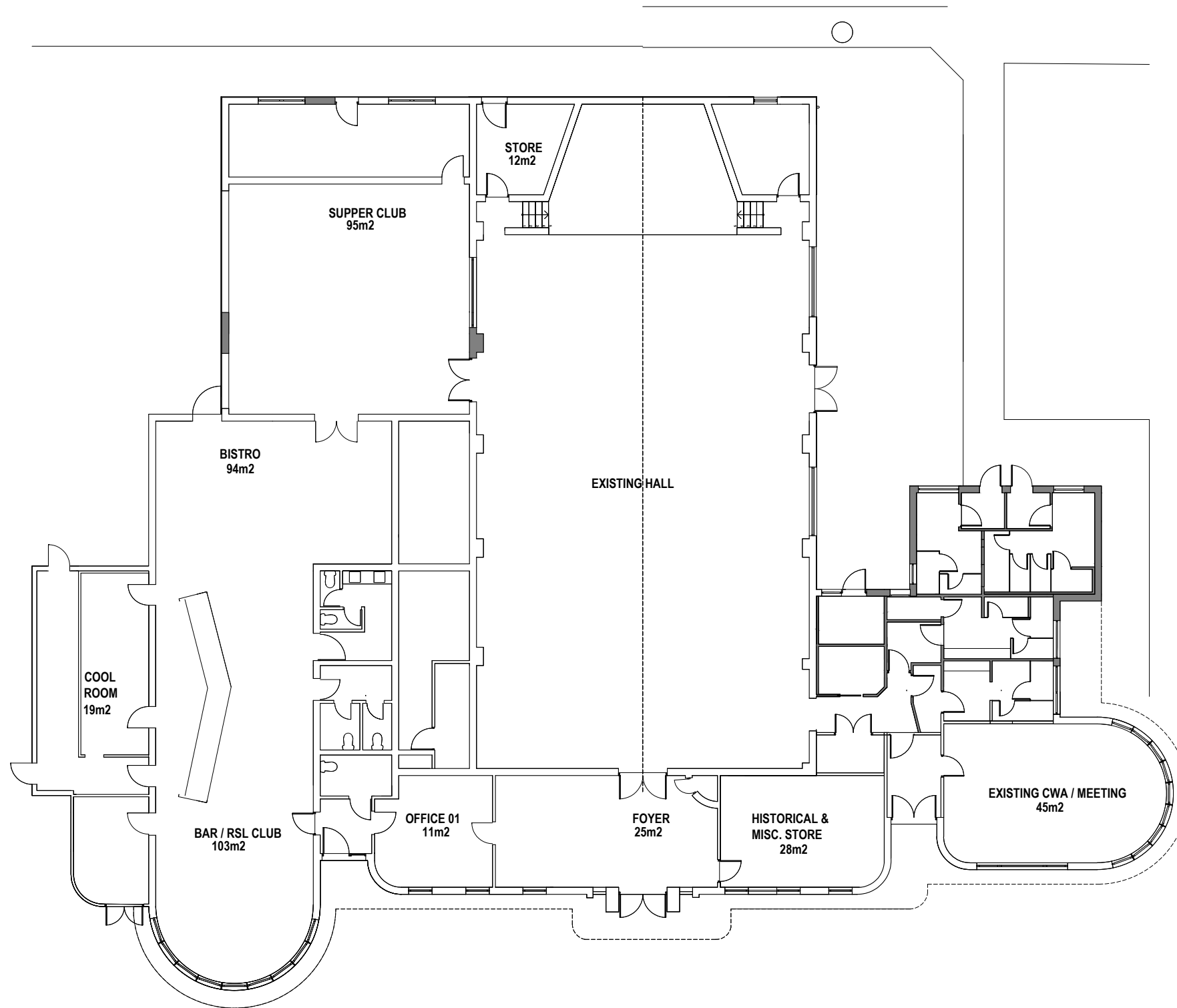
Drawing  
**SITE PLAN**

01 SITE PLAN  
 SCALE 1:200

All work shall conform to the spec. & other relevant drawings. Figured dimensions take precedence over scaled dimensions. Check all dimensions on site. Shop drawings shall be submitted to this office for approval prior to the commencement of any fabrication.  
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DRAWN BY J.B.	SCALE 1:500@A3
DATE 10.10.24	1:250@A1
PROJECT NO. 2406	DRWN NO. TP01

CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT - IF IN DOUBT, ASK!



**01**  
TP01 **EXISTING FULL PLAN**  
SCALE 1:200

**Sorell Council**  
**PLANNING PERMIT DOCUMENT**

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Signed: *Shane Wells*  
SHANE WELLS



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Drawing  
**EXISTING FULL BUILDING PLAN**

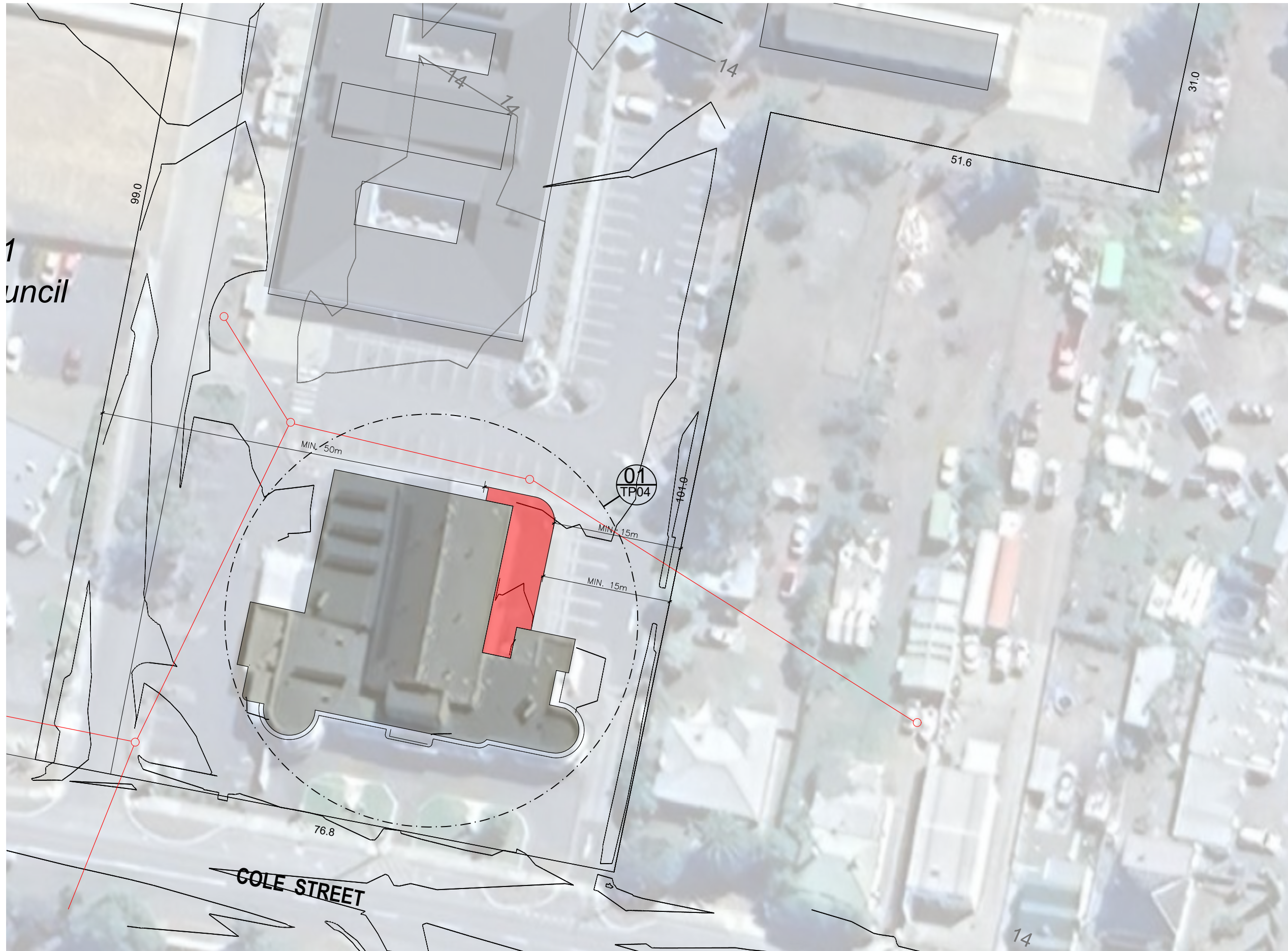
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DATE 10.10.24	1:100@A1
PROJECT NO. 2406	DRWN NO. TP02
REV.	

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**01 SITE PLAN**  
SCALE: 1:200

Sorell Council  
**PLANNING PERMIT DOCUMENT**

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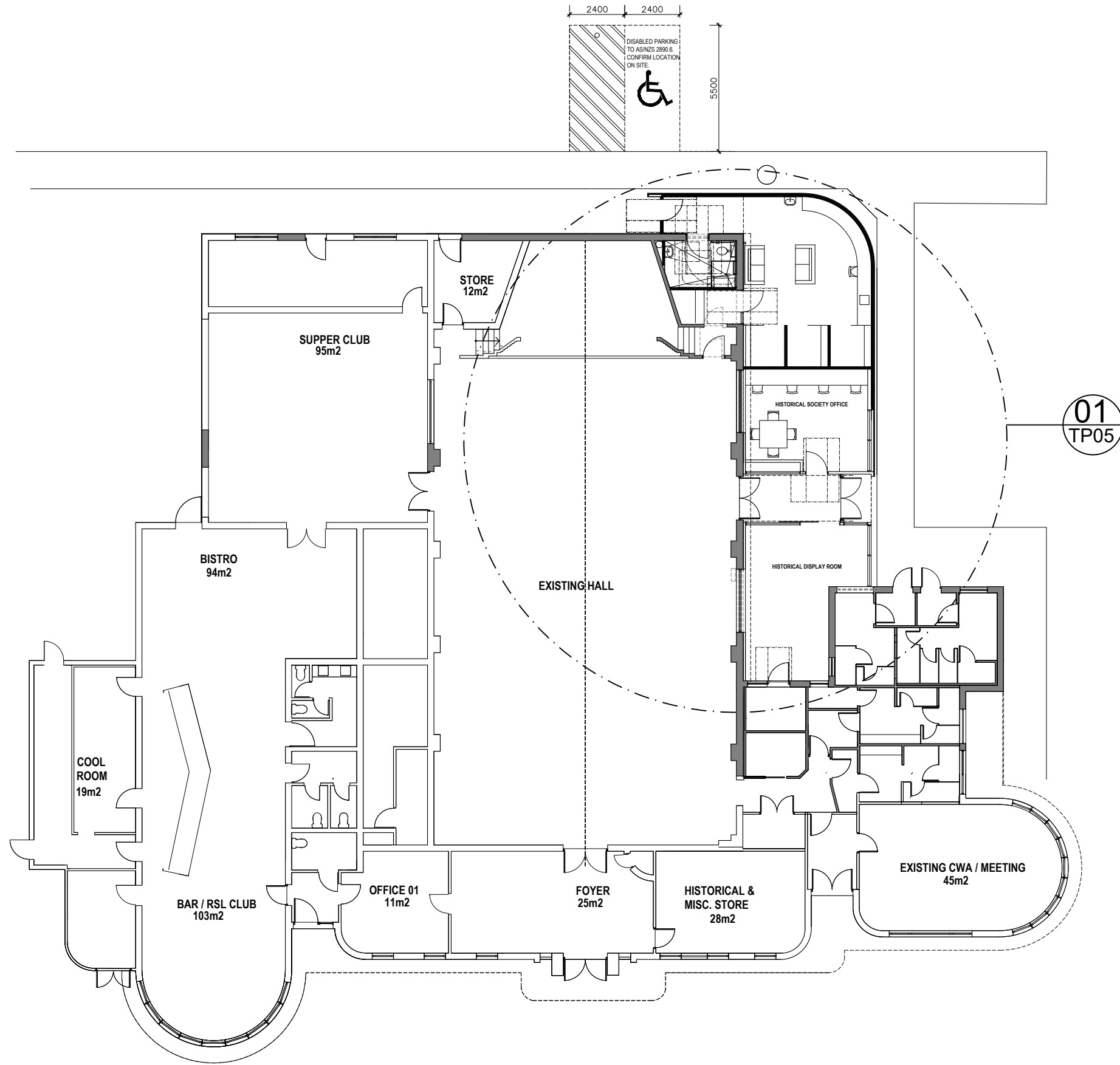
Drawing  
**PROPOSED SITE PLAN**

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DATE 10.10.24	REV. 1:250@A1
PROJECT NO. 2406	DRAWN NO. TP03

CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT - IF IN DOUBT, ASK!



**01** EXISTING FULL PLAN  
SCALE 1:200  
TP03

Sorell Council  
**PLANNING PERMIT DOCUMENT**

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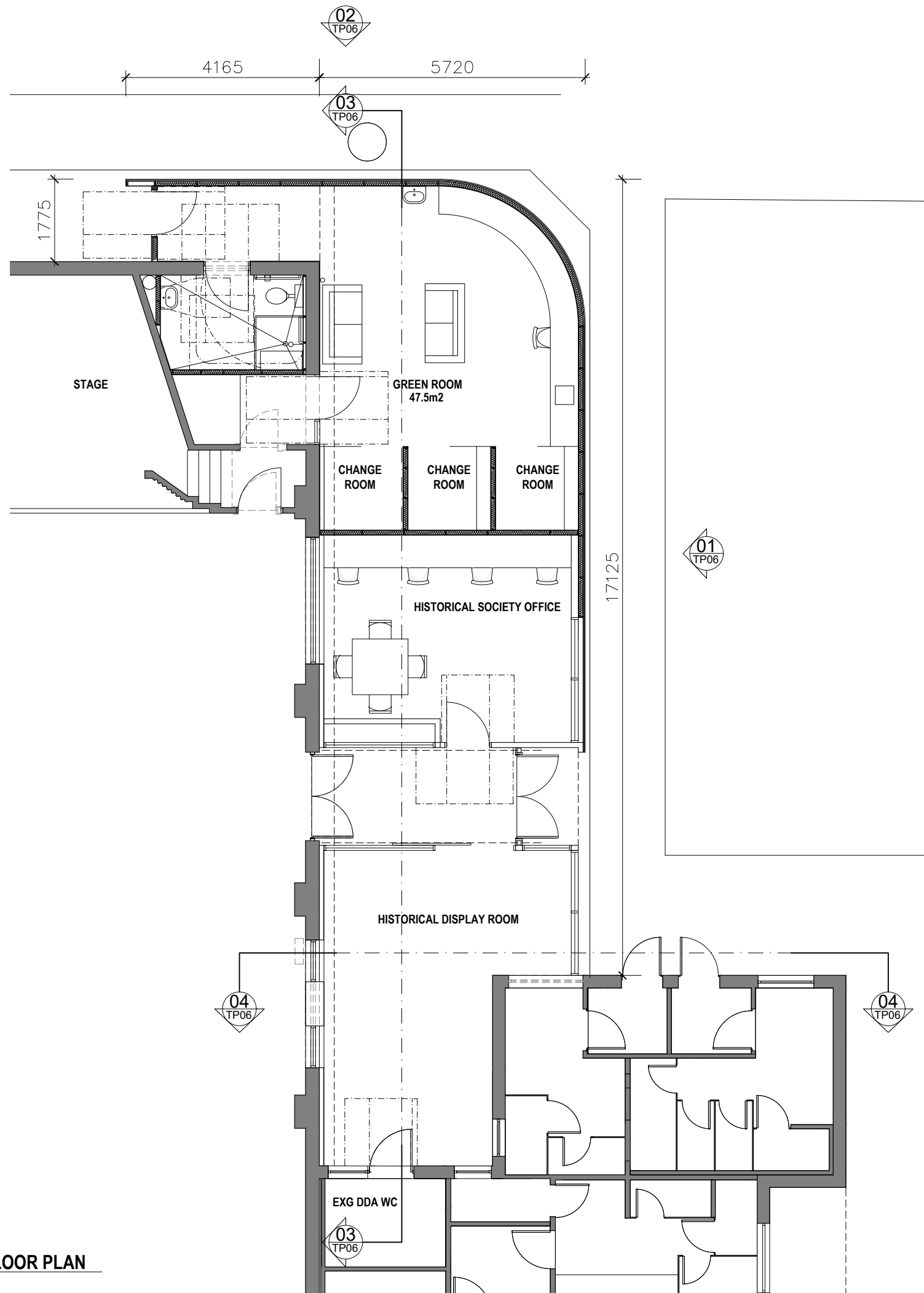
Drawing  
**PROPOSED FULL BUILDING PLAN**

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J.B.	1:200@A3
DATE	1:100@A1
10.10.24	
PROJECT NO.	DRWN NO.
2406	TP04

CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT - IF IN DOUBT, ASK!





**02**  
TP04  
SCALE 1:100  
**PROPOSED FLOOR PLAN**

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Sorell Council  
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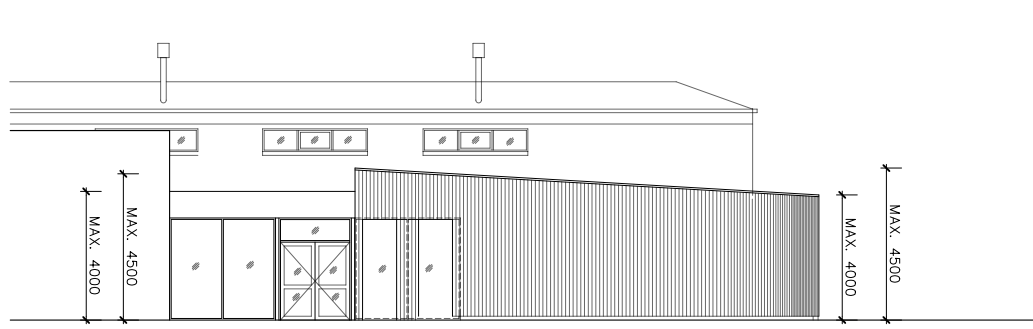
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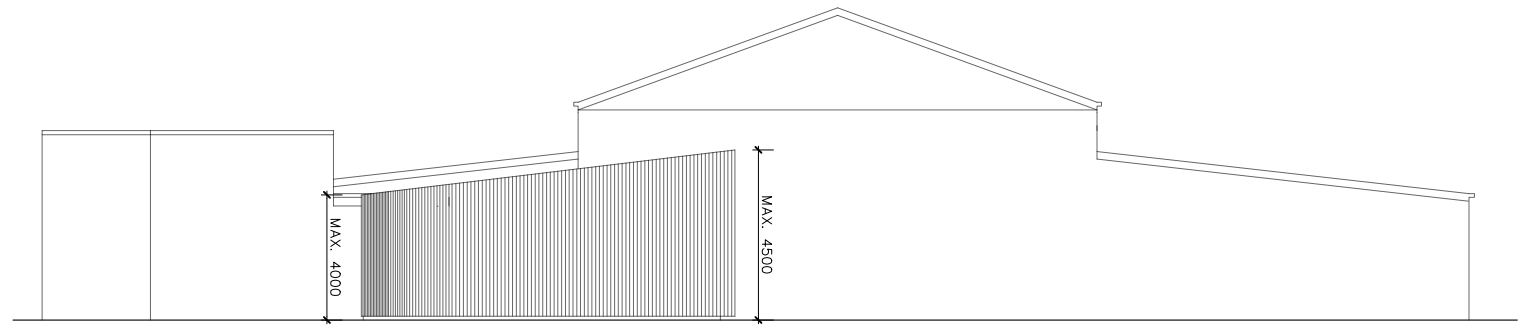
Drawing  
**PROPOSED EXTENSION**  
**FLOOR PLAN**

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DRAWN BY	1:100@A3
J.B.	1:50@A1
DATE	REV.
10.10.24	
PROJECT NO.	DRAWN NO.
2406	TP05



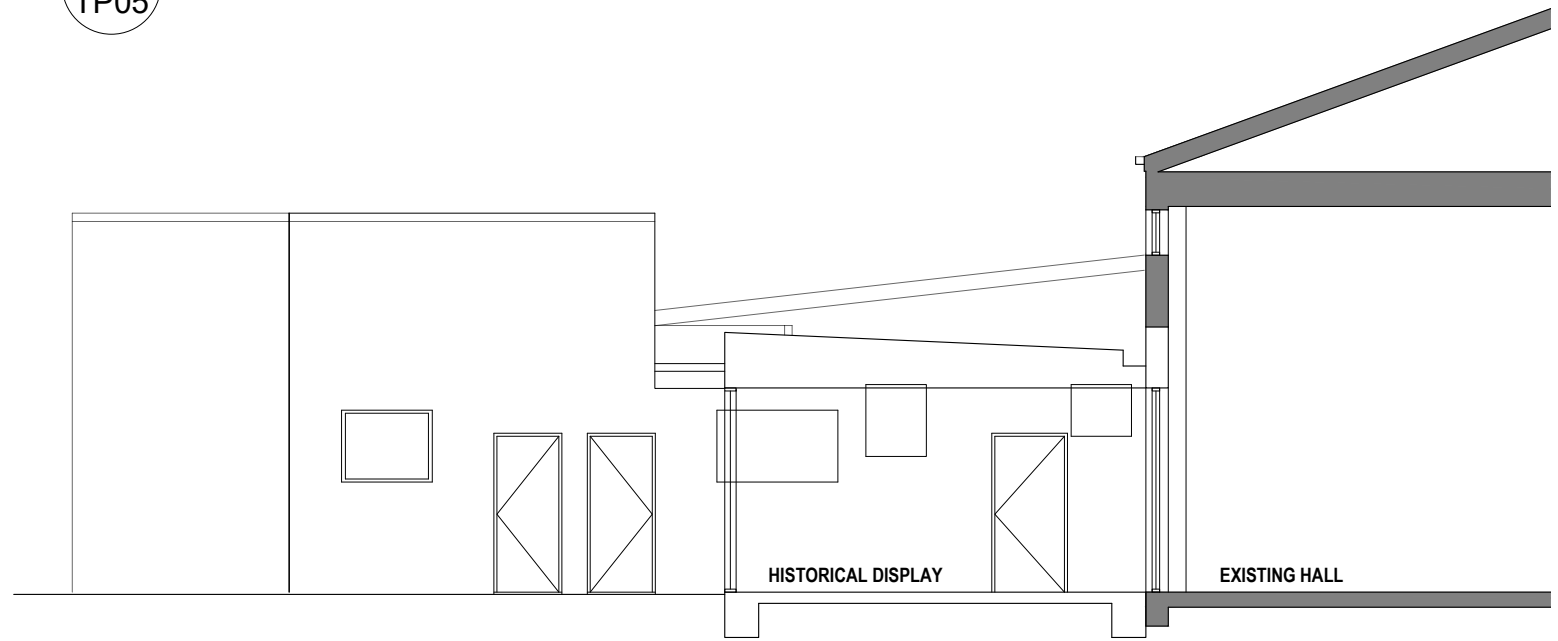
**01 EAST ELEVATION**  
TP05 SCALE 1:200



**02 NORTH ELEVATION**  
TP05 SCALE 1:200



**03 SECTION A-A**  
TP05 SCALE 1:100



**04 SECTION B-B**  
TP05 SCALE 1:100

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**Sorell Memorial Hall**  
47 Cole Street, Sorell, TAS 7172

Client:  
**Sorell Council**  
47 Cole Street, Sorell, TAS 7172

Drawing  
**PROPOSED ELEVATIONS & SECTIONS**

**Sorell Council**  
**PLANNING PERMIT DOCUMENT**

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J.B.	A/S @ A3
DATE	
10.10.24	
PROJECT NO.	DRAWN NO.
2406	TP06
	REV.

CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT - IF IN DOUBT, ASK!

**ALTERATIONS & ADDITIONS  
SORELL MEMORIAL HALL  
47 COLE ST, SORELL, TASMANIA 7172**

**ARCHITECT: LOCI ARCHITECTURE & PLANNING**

**TITLE REFERENCE #: 164990/1**

**FLOOR AREA: 132m2**

**WIND CATEGORY (TO AS4055-2012): N3 (AS CLASSIFIED BY PRIME ENGINEERING)**

**SOIL CLASSIFICATION : REFER TO GEOTECHNICAL ASSESSMENT**

**CLIMATE ZONE (TO NCC 2015 PART 1.1.1): 7**

**BAL RATING: NIL**

**loci** architecture + planning

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Accreditation #: CC5364 H RAIA #: 48053

Project

**Sorell Memorial Hall  
47 Cole Street, Sorell, TAS 7172**

Client

**Sorell Council  
47 Cole Street, Sorell, TAS 7172**

Drawing

**COVER PAGE**

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DATE 20.01.25	REV.
PROJECT NO. 2406	DRAWN NO. <b>COVER</b>

CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT - IF IN DOUBT, ASK!

**GENERAL SPECIFICATION NOTES:**

- 1 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH STRUCTURAL AND ALL OTHER CONSULTANTS DRAWINGS/DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT, TO BE READ IN CONJUNCTION AND COMPLY WITH BUILDING SURVEY; SOIL INVESTIGATION REPORT AND STRUCTURAL ENGINEER'S DRAWINGS, TRADE SPECIFICATIONS AND PRELIMINARY AND GENERAL SECTION OF THE SPECIFICATION FOR THIS PROJECT.
- 2 DO NOT SCALE FROM DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS SHOWN FOR EXISTING STRUCTURES ARE NOMINAL ONLY AND SHOULD BE CONFIRMED EXACTLY ON SITE PRIOR TO COMMENCING ANY WORKS. ALL DIMENSIONS AND ANY GIVEN LEVELS ARE TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORKS. DO NOT SCALE DRAWINGS. IF IN DOUBT, ASK.
- 3 ALL DISCREPANCIES ON THE DRAWINGS MUST BE REPORTED TO THE SUPERVISOR AND RESOLVED PRIOR TO ANY CONSTRUCTION BEING CARRIED OUT AND/OR MATERIALS BEING ORDERED. ENGINEER DESIGNED MEMBERS TO TAKE PRECEDENCE OVER MEMBERS NOMINATED IN ARCHITECTURAL DOCUMENTATION.
- 4 ANY VARIATIONS MUST BE AGREED ON IN WRITING PRIOR TO ORDERING MATERIALS AND/OR COMMENCING ANY WORKS
- 5 ALL WORKS SHALL BE CARRIED OUT IN A TRADESMAN LIKE MANNER.
- 6 SOIL CLASSIFICATION: REFER SOIL REPORT BY DOYLE SOIL ( IF RELEVANT)
- 7 ALL STRUCTURAL STEEL SHALL BE AS PER ENGINEER DESIGN AND COMPUTATIONS. TIMBER AND/OR STEEL MEMBERS TO BE PROVIDED IN ACCORDANCE TO ENGINEER'S DETAILS.
- 8 ALL EXPOSED STRUCTURAL STEELWORK SHALL BE HOT DIP GALVANIZED.
- 9 ALL TIMBER FRAMING IS TO BE IN ACCORDANCE WITH AS 1684 2010 AND ENGINEER'S DETAILS.
- 10 SET OUTS, LEVELS AND DIMENSIONS SHALL BE VERIFIED PRIOR TO COMMENCEMENT OF ANY WORKS BEING CARRIED OUT AND/OR MATERIALS/ PURCHASES BEING ORDERED.
- 11 ALL WORKS SHALL COMPLY WITH ALL RELEVANT STANDARDS AS LISTED IN NATIONAL CONSTRUCTION CODE SERIES 2022: PART 1.4 INCLUDING ALL LATEST AMENDMENTS BUT NOT LIMITED TO THE FOLLOWING:
  - AS 1288 GLASS IN BUILDINGS-SELECTION AND INSTALLATION.
  - AS 1562 DESIGN AND INSTALLATION OF SHEET ROOF & WALL CLADDING.
  - AS 1684 NATIONAL TIMBER FRAMING CODE & TIMBER FRAMING MANUAL.
  - AS 2047 WINDOWS IN BUILDINGS- SELECTION & INSTALLATION.
  - AS 2049 ROOF TILES.
  - AS 2050 INSTALLATION OF ROOF TILES.
  - AS 2870 - RESIDENTIAL SLABS AND FOOTINGS.
  - AS 2904 - DAMP PROOF COURSE AND FLASHING.
  - AS 3600 - CONCRETE STRUCTURES.
  - AS 3700 - MASONRY STRUCTURES.
  - AS 3740 - WATERPROOFING OF DOMESTIC WET AREAS
  - AS 3786 - SMOKE ALARMS.
  - AS 4055 - WIND LOADS FOR HOUSING.
  - AS 4100 - STEEL STRUCTURES.
- 12 ALL DEMOLITION WORK SHALL BE CARRIED OUT AND COMPLY WITH AS 2601 AND CODE OF PRACTICE FOR DEMOLITION 2001 UNDER WORK HEALTH AND SAFETY ACT 2012
- 13 SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES:
  - ALL ROOMS WITHIN 500MM VERTICAL DISTANCE OF THE FLOOR.
  - BATHROOMS WITHIN 1500MM VERTICAL DISTANCE FROM WITHIN 500MM HORIZONTAL FROM BATH/SHOWER TO SHOWER DOORS SCREENS AND BATH ENCLOSURES.
  - LAUNDRY WITHIN 1200MM VERTICAL DISTANCE FROM FLOOR AND/OR WITHIN 300MM VERTICAL OF TROUGH. DOORWAYS WITHIN 300MM HORIZONTAL DISTANCE FROM ALL DOORS.
  - ALL EXTERNAL GLAZING TO BE IN ACCORDANCE WITH AS 2047
  - ALL GLAZING TO BE IN ACCORDANCE WITH AS 1288
- 14 PROVIDE AN IMPERVIOUS SUBSTRATE AND SELECT SURFACE FINISH TO FLOORS WITHIN 1500mm OF ANY UN-ENCLOSED SHOWER AND SAME TO WALLS AT 1800mm ABOVE FLOORS AND 150mm ABOVE BOTH, SINKS, BASINS AND TROUGH SPLASH BACKS AND THE LIKE IN ACCORDANCE WITH AS 3740. SPLASHBACKS TO BE A MINIMUM OF 200mm HT. BEHIND SINKS, TROUGHS, VANITIES, ETC.

- 15 WET AREAS ARE TO BE WATER PROOFED AS PER INSTALLATION REQUIREMENTS OF AS3740. INSTALLER TO PROVIDE CERTIFICATION
- 16 WINDOW AND DOOR SIZES NOMINATED ARE NOMINAL ONLY, ACTUAL SIZES WILL VARY ACCORDING TO MANUFACTURER. WINDOWS FINISHED WALL OPENING SIZE. DOORS CLEAR WIDTH AND HEIGHT SIZES.
- 17 STORMWATER SHALL BE TAKEN TO LEGAL POINT OF F DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY, ALL DOWN PIPES (MAX 12m SPACING) TO BE CONNECTED TO STORMWATER DRAIN (MIN 90 Ø) AT 1 IN 100 MIN FALL, WITH 300mm MIN COVER (UNLESS NOTED OTHERWISE). REFER HYDRAULIC ENGINEER'S DRAWINGS.
- 18 SEWER / SEPTIC SYSTEM TO BE IN ACCORDANCE WITH RELEVANT AUTHORITIES REQUIREMENTS WHERE RELEVANT. REFER HYDRAULIC ENGINEER'S DRAWINGS.
- 19 ALL PLUMBING SHALL BE TO RELEVANT AUTHORITY APPROVALS. THE PLUMBER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS. REFER HYDRAULIC ENGINEER'S DRAWINGS.
- 20 FOOTINGS ARE NOT TO ENCR OACH OVER TITLE BOUNDARY.
- 21 FOR BUILDINGS IN MARINE OR OTHER EXPOSURE ENVIRONMENTS SHALL HAVE MASONRY UNITS -C- ' COMPONENTS GRID THE LIKE COMPLYING WITH THE DURABILITY REQUIREMENTS OF TABLE 5.1 OF MASONRY STRUCTURES.
- 22 WERE THE BUILDING (EXCLUDES CLASS 10B) LOCATED IN A TERMITE PRONE AREAS THE AREA TO UNDERSIDE OF BUILDING AND PERIMETER IS TO BE TREATED AGAINST TERMITE ATTACK. ALL CONSTRUCTION SHALL COMPLY WITH LOCAL AUTHORITY REQUIREMENTS AND B.C.A.
- 23 PROVIDE WALL TIES TO BRICKWORK AT A MAXIMUM 600mm CENTER IN EACH DIRECTION AND WITHIN 300mm OF ARTICULATED JOINTS. ARTICULATED JOINTS 'IN BRICKWORK (AS RECOMMENDED BY SOIL REPORT) TO BE IN ACCORDANCE WITH TN61.
- 24 SUB-FLOOR VENTS PROVIDE A RATE OF 7500mm2/m CLEAR VENTILATION OF EXTERNAL WALL AND 22000mm2/m CLEAR VENTILATION OF INTERNAL DWARF WALLS. PROVIDE CLEARANCE FROM UNDERSIDE OF BEARER OF FINISHED GROUND LEVEL OF 150mm FOR FLOOR WITH STRIP FLOORING OR 200mm FOR PARTICLEBOARD FLOORING.
- 25 FOR NEW BUILDINGS OR ADDITIONS TO EXISTING BUILDINGS PROVIDE THERMAL INSULATION AS FOLLOWS: - TO ENERGY RATING REPORT. INSULATION - FIRE RETARDANT BATTS TO WALLS AND CEILING
- 26 STEPS & STAIRS TOB RELEVANT CODES:
  - TREADS 335mm MAX., 240mm MIN.
  - RISERS 190mm MAX., 115mm MIN. (MAXIMUM GAP BETWEEN OPEN RISERS 125mm).
  - RISERS AND TREADS TO BE CONSTANT IN SIZE THROUGHOUT FLIGHT, AND HAVE NOT MORE THAN 18 OR LESS THAN 2 RISERS IN EACH FLIGHT. PROVIDE NON-SLIP FINISH OR SUITABLE NON-SKID STRIP NEAR EDGE OF TREAD NOSING. PROVIDE HEAD CLEARANCE OF 2030mm MIN ABOVE TREAD.
  - HANDRAILS 865mm MAX ABOVE TREADS WITH A MAXIMUM SPACING BETWEEN BALUSTERS OF 125mm. PROVIDE HANDRAILS TO DECKS AND BALCONIES THAT ARE 1000mm OR MORE ABOVE FINISHED GROUND LEVEL. AND 125mm MAX SPACING BETWEEN BALUSTERS.
- 27 THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF NEW AND EXISTING STRUCTURES DURING ALL STAGES OF WORKS.
- 28 INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.
- 29 INSTALLATION OF ALL APPLIANCES. FITTINGS SHALL COMPLY WITH THE RESPECTIVE MANUFACTURER AND LOCAL AUTHORITIES REQUIREMENTS.
- 30 PROVIDE A MINIMUM AIR SPACE OF 8000mm2 UNDER DOOR LEAFS TO ROOMS WITH EXHAUST FANS TO CODES, UNLESS OTHERWISE NOTED.
- 31 MECHANICAL EXHAUST FANS TO SANITARY AREAS ARE TO HAVE 25 L/S DISCHARGE MINIMUM.

- 32 PROVIDE POWDER COATED ALUMINIUM FLYSCREENS WITH BLACK WIRE TO ALL OPERABLE WINDOWS
- 33 PROVIDE LIFT OFF HINGES TO NEW TOILET DOORWAYS WHERE DOOR IS LESS THAN 1200mm FROM PAN
- 34 THE BUILDER IS RESPONSIBLE. FOR MAINTAINING THE SITE IN A TIDY AND SAFE MANNER AT ALL TIMES DURING WORKS AND IS TO ENSURE ALL LOCAL BY-LAWS, REGULATIONS AND WORK PLACE PRACTICES ARE ADHERED TO AT ALL TIMES
- 35 ALL CONTRACT MANAGEMENT INCLUDING: TENDERING, SETTING UP GENERAL CONDITIONS OF CONTRACT; SPECIAL AND SPECIFIC CONDITIONS OF CONTRACT; DEALING WITH INSURANCES, MONEY ALLOWANCES, VARIATIONS OTHER WORDS ALL CONTRACT ADMINISTRATION: - BY CLIENT & BUILDER.
- 36 SUPPLY AND INSTALL SELF CONTAINED SMOKE DETECTORS SHALL BE INSTALLED AND CONNECTED TO THE MAINS WITH A BATTERY BACK UP AND SHALL COMPLY WITH AS 3786 AND NCC 2022. SMOKE ALARMS ARE NOT BE LOCATED WITHIN 300mm OF WALL AND CEILING JUNCTIONS.
- 37 INSULATION- ENERGY REPORT REQUIREMENTS TAKE PRECEDENCE. OTHERWISE PROVIDE FIRE RETARDANT BATTS WALLS- R2.5 BATTS (OR SIMILAR APPROVED) CEILING- R4.1 BATTS (OR SIMILAR APPROVED)
- 38 ALL NEW WORK TO COMPLY WITH THE PROVISIONS OF NCC 2022 (INCLUDING ALL AMENDMENTS BEFORE THE DATE OF SIGNING THIS CONTRACT), TASMANIAN APPENDIX AND ALL OTHER RELEVANT BUILDING CODES, CODES OF PRACTICE AND LOCAL AUTHORITIES REQUIREMENTS.

**Prime Cost Sums**

**Definition: Prime Cost Sum**  
 An amount included in the contract documents to cover the purchase by the contractor of a specified item, such as a particular fixture or fitting, but excluding any associated labour and delivery from any supplier to site, joiner's shop, etc. A Prime Cost sum includes the purchase price and margins  
 Allow for the following Prime Cost Sums:

Section No.	Section Name	\$ Amount
1.	Internal floor tiles \$70 x TBCm2	\$TBC

**Definitions are quotes from (Standards Australia "Glossary of Building Terms") SAA HB 50 - 2004**

**Provisional Sums**

**Definition: Provisional Sum**  
 An amount included in the contract documents to cover foreseeable necessary work. Allow for the following Provisional Sums:


**Nominated Sub-contractors**

**Definition:**  
 Sub-contractors nominated as those to be used for specific trades or purposes within the works.

S.C. No.	Scope	Sub-contractor name	Contact

**Contingency Amount**

**Incl 5% contingency in overall building quote.**

NOTE ALL DIMENSIONS ARE STUD TO STUD UNLESS OTHERWISE NOTED  
 REFER TO ENGINEERING DOCUMENTS FOR ALL STRUCTURAL ELEMENTS  
 CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT  
 - IF IN DOUBT, ASK!  
 REFER TO DRAWING CD 07 FOR GENERAL NOTES

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**CONSTRUCTION NOTES**

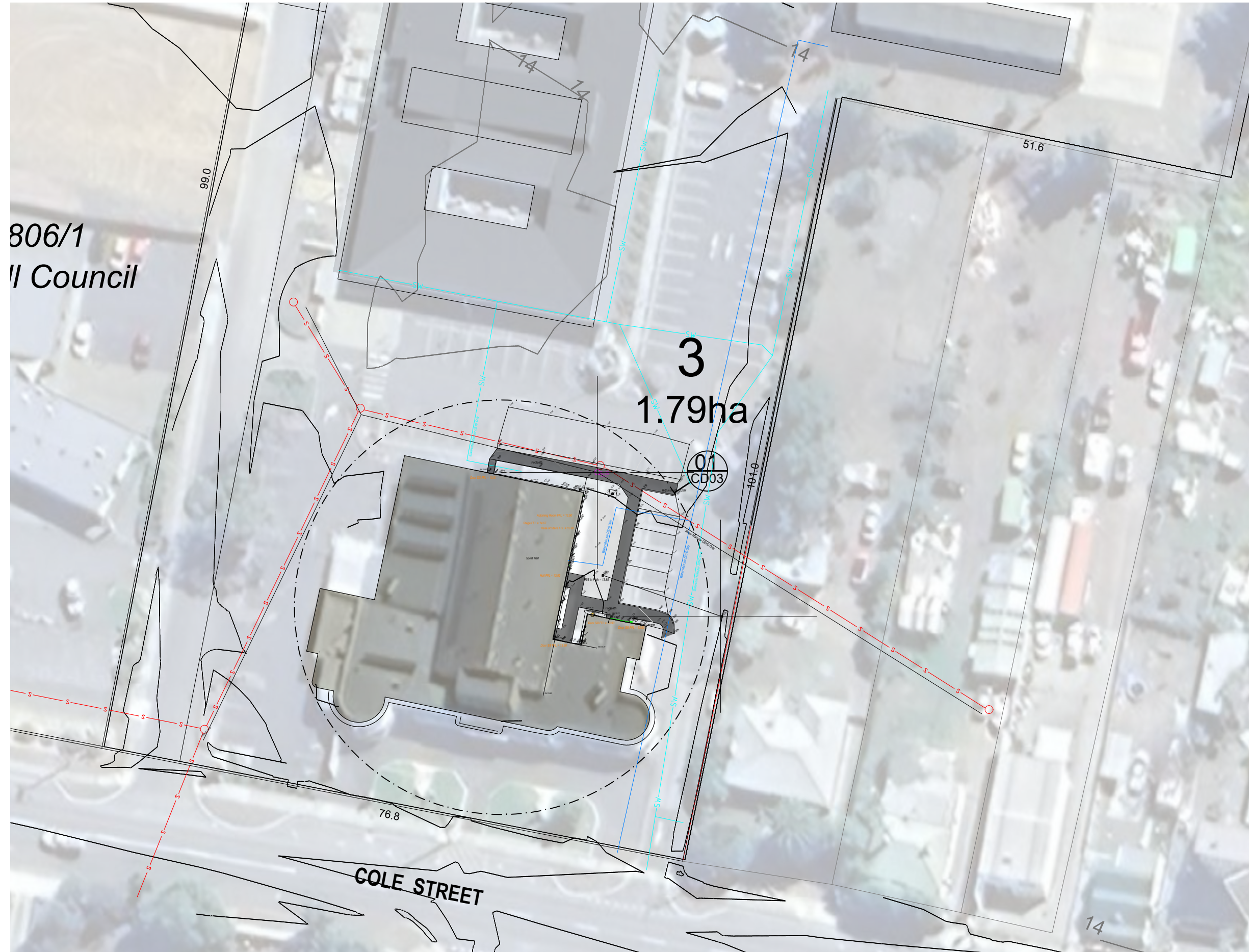
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DATE <b>20.01.25</b>	
PROJECT NO. <b>2406</b>	DRWN NO. <b>CD01</b>
	REV. 





806/1  
Council

3  
1.79ha

01  
CD03

COLE STREET

01 SITE PLAN  
SCALE 1:250

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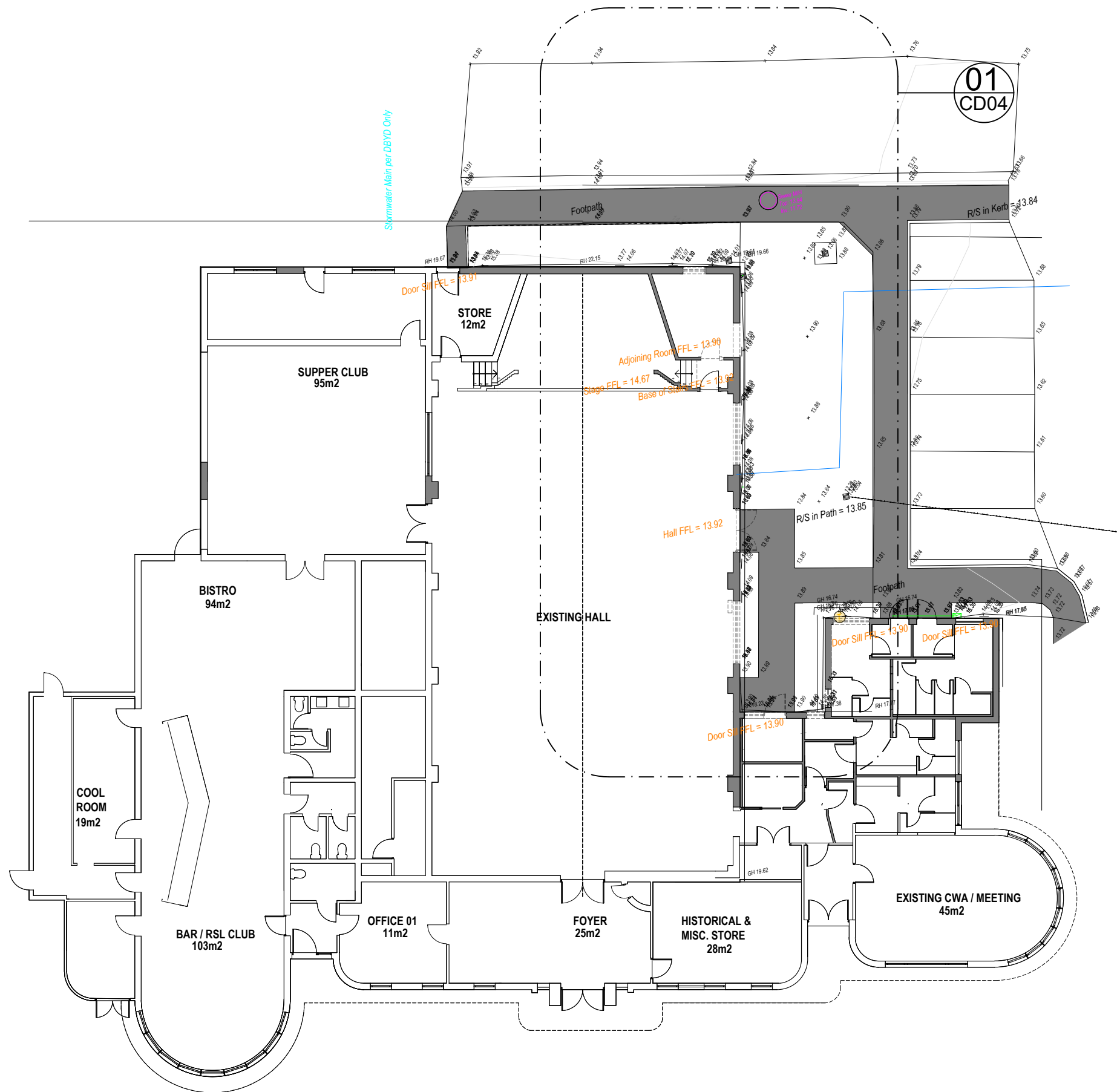
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DATE	20.01.25	SCALE	1:250@A1
PROJECT NO.	2406	DRAWN NO.	CD02
REV.		REV.	



**01**  
CD02 EXISTING FULL PLAN  
SCALE 1:100

**loci** architecture + planning  
Mobile: 0408 383 235 Email: loci.hobart@gmail.com

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Drawing  
**EXISTING FULL BUILDING PLAN**

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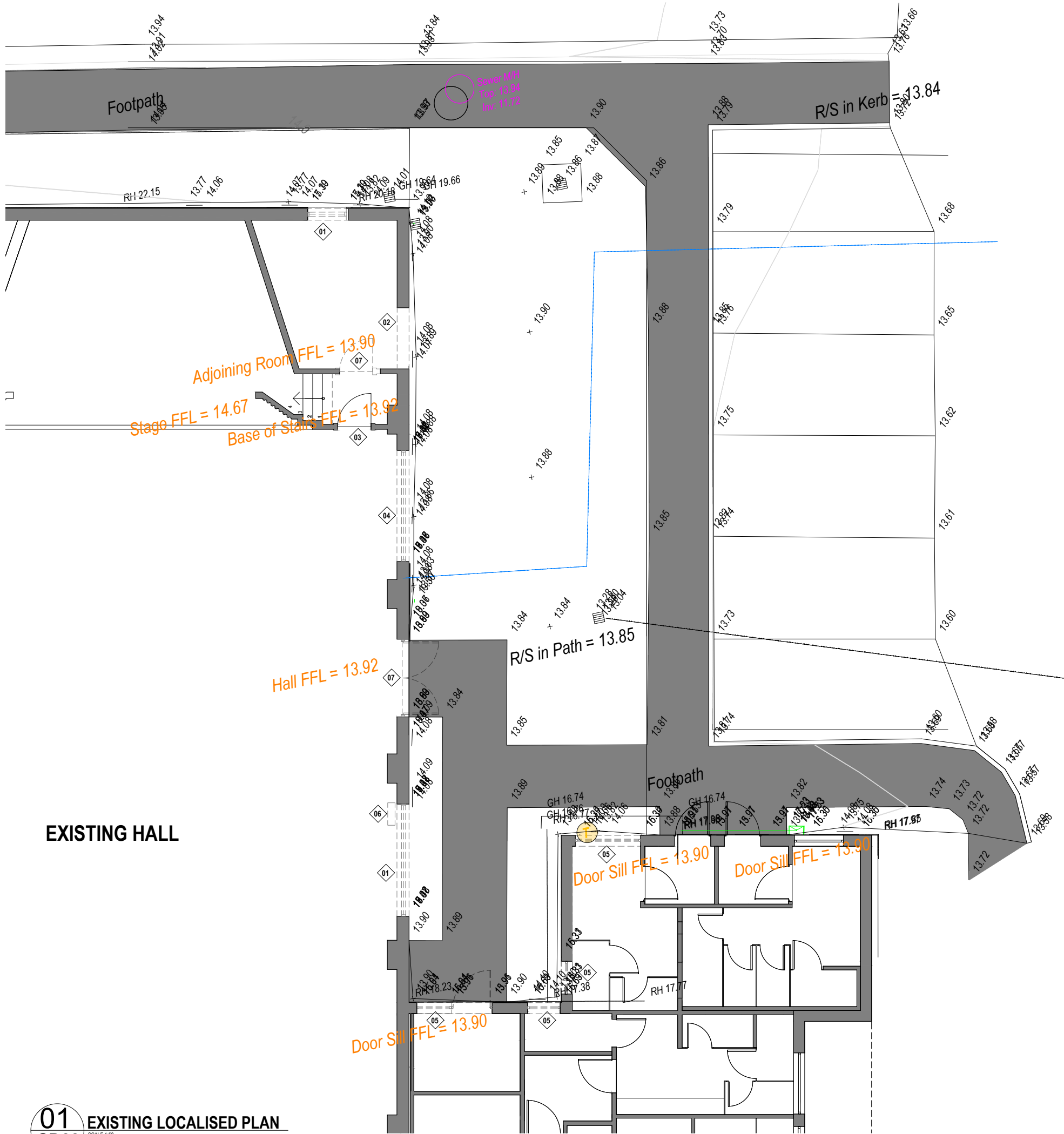


CD03

CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT - IF IN DOUBT, ASK!



DRAWING INDEX		
CONSTRUCTION DRAWINGS		
CD 01	CONSTRUCTION NOTES	NA
CD 02	EXISTING SITE PLAN	1:250
CD 03	EXISTING FULL BUILDING PLAN	1:100
CD 04	EXISTING LOCALISED FLOOR PLAN	1:50
CD 05	PROPOSED SITE PLAN	1:250
CD 06	PROPOSED FULL BUILDING PLAN	1:100
CD 07	PROPOSED LOCALISED FLOOR PLAN	1:50
CD 08	PROPOSED ELEVATIONS & ROOF PLAN	AS
CD 09	PROPOSED SECTIONS	1:50
CD 10	PROPOSED DOOR & WINDOW SCHEDULE	1:50
CD 11	PROPOSED UNISEX DDA TOILET	1:20
CD 12	CONSTRUCTION DETAILS 01	1:5
CD 13	CONSTRUCTION DETAILS 02	1:5
CD 14	CONSTRUCTION DETAILS 03	1:5
CD 15	CONSTRUCTION DETAILS 04	1:5
CD 16	CONSTRUCTION DETAILS 05	1:5
WHS 01	WHS REPORT	1:50



- DEMOLITION NOTES (01-07)**
- 01 Demolish existing window and wall below where grey dashed to form opening for door as documented.
  - 02 Demolish wall where grey dashed to form opening for door as documented.
  - 03 Demolish door and adjacent wall where grey dashed to form opening for door as documented.
  - 04 Demolish existing window where grey dashed for new window and infill wall.
  - 05 Demolish existing window where grey dashed for infill wall.
  - 06 Salvage fire hose reel where grey dashed for relocation.
  - 07 Demolish existing door/s and adjacent wall where grey dashed to form opening as documented.

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

**EXISTING HALL**

**01 EXISTING LOCALISED PLAN**  
CD03 SCALE 1:50

CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT - IF IN DOUBT, ASK!

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 Accreditation #: CG5364 H RAIA #: 48053

Project  
**Sorell Memorial Hall**  
 47 Cole Street, Sorell, TAS 7172

Client  
**Sorell Council**  
 47 Cole Street, Sorell, TAS 7172

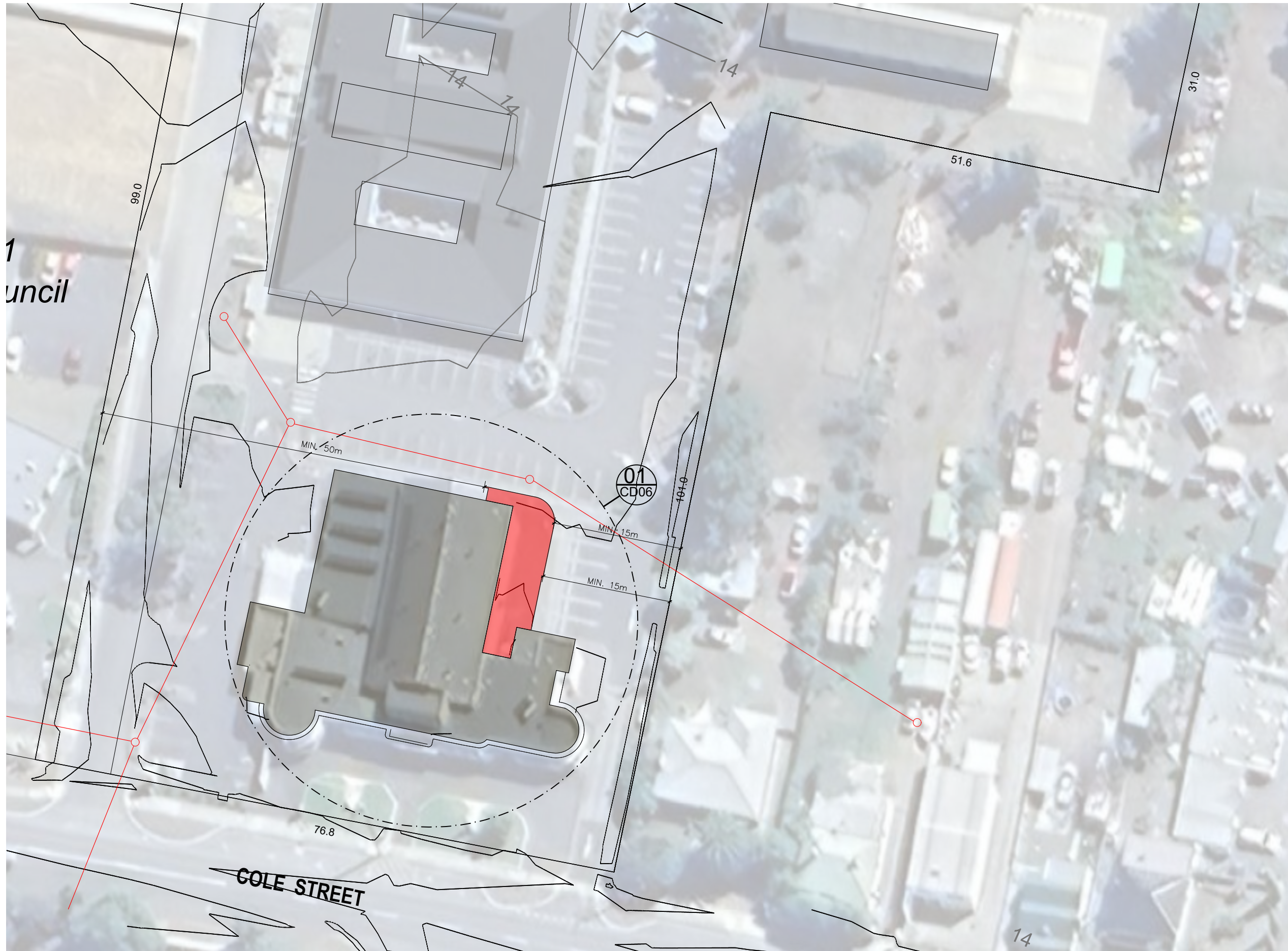
Drawing  
**EXISTING LOCALISED PLAN**  
 (Showing demolition in grey dash.)

All work shall conform to the spec. & other relevant drawings. Figured dimensions take precedence over scaled dimensions. Check all dimensions on site. Shop drawings shall be submitted to this office for approval prior to the commencement of any fabrication.

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DRAWN BY J.B.	SCALE 1:100@A3
DATE 20.01.25	1:50@A1
PROJECT NO. 2406	DRWN NO. CD04
REV.	





**01 SITE PLAN**  
SCALE: 1:250

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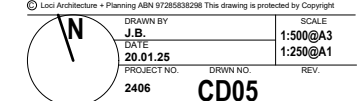
Client  
**Sorell Council**  
47 Cole Street, Sorell, TAS 7172

Drawing  
**PROPOSED SITE PLAN**

All work shall conform to the spec. & other relevant drawings. Figured dimensions take precedence over scaled dimensions. Check all dimensions on site. Shop drawings shall be submitted to this office for approval prior to the commencement of any fabrication.

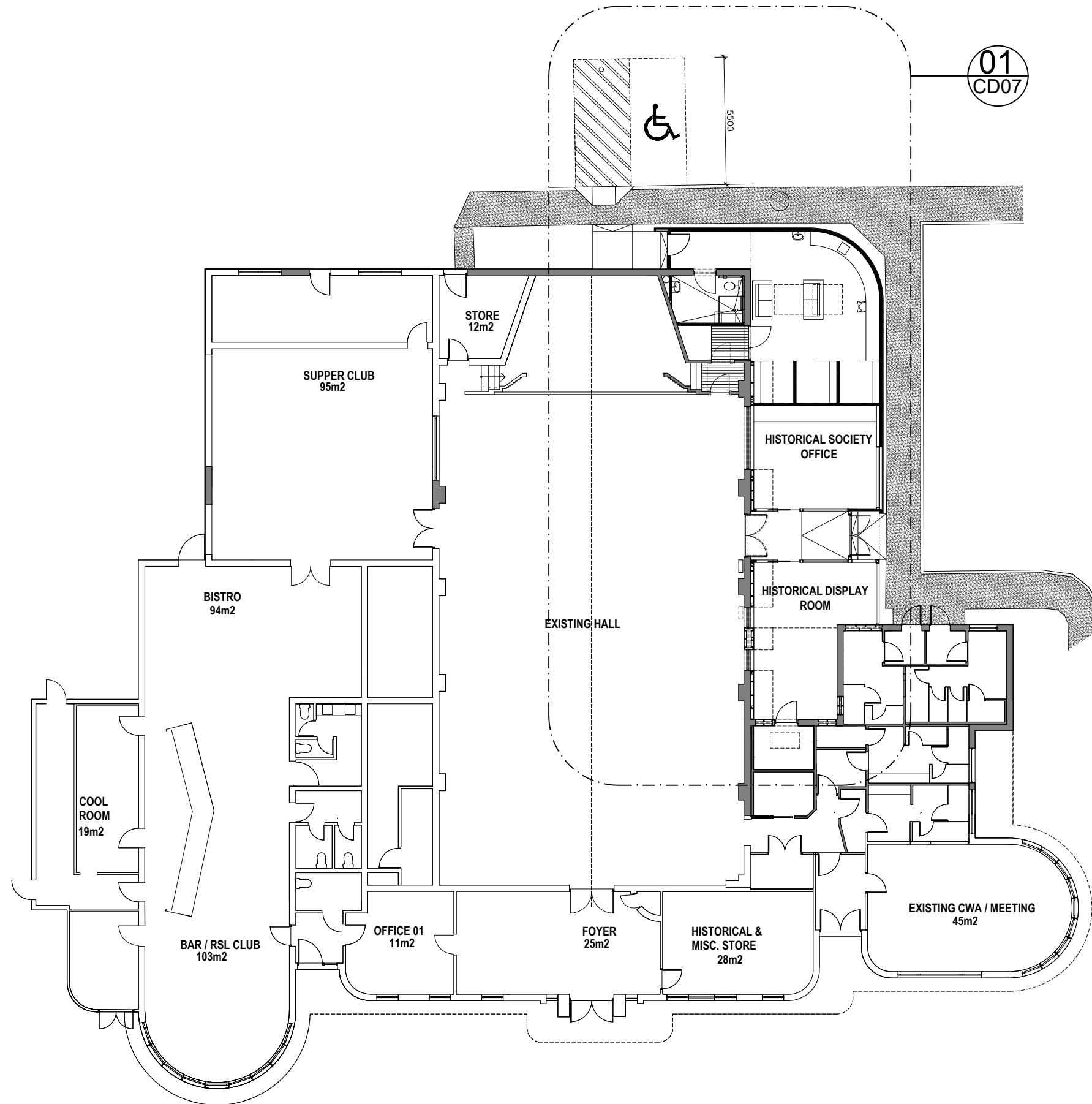
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DATE 20.01.25	1:250@A1
PROJECT NO. 2406	DRWN NO. CD05
	REV.



CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT - IF IN DOUBT, ASK!





**01** EXISTING FULL PLAN  
CD04 SCALE 1:100

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Client  
**Sorell Council**  
 47 Cole Street, Sorell, TAS 7172

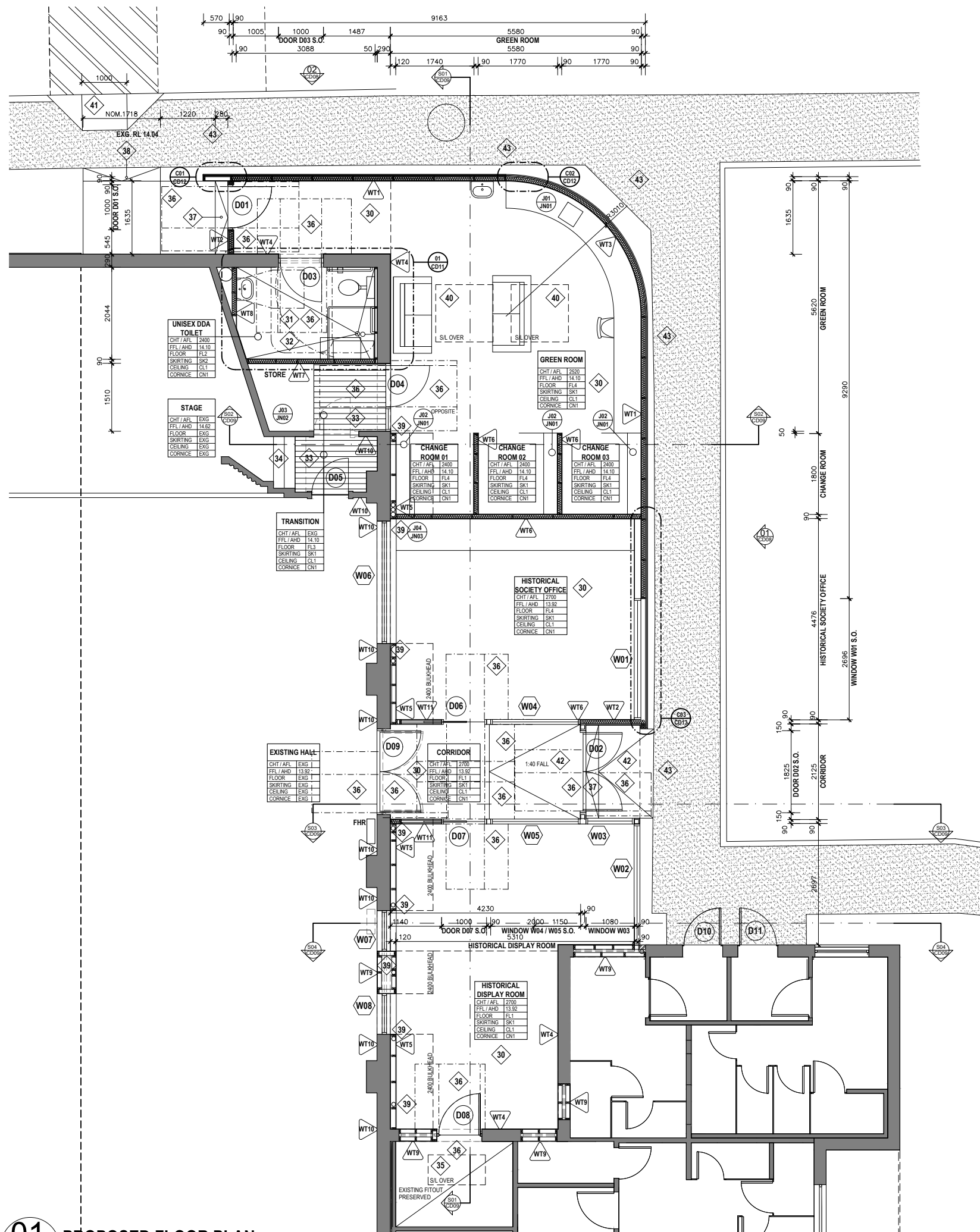
Drawing  
**PROPOSED FULL BUILDING PLAN**

All work shall conform to the spec. & other relevant drawings. Figured dimensions take precedence over scaled dimensions. Check all dimensions on site. Shop drawings shall be submitted to this office for approval prior to the commencement of any fabrication.

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	DATE 20.01.25	1:100@A1
	PROJECT NO. 2406	DRWN NO. CD06
		REV.



CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT - IF IN DOUBT, ASK!



**WALL LEGEND**

- WT1 90 x 45 MGP10 Stud wall lined in 13mm plasterboard internally. Paint finish. All walls to have Enviroseal Proctor Wrap RW vapour permeable wall wrap to outside of frame. Externally Mortlock Timber Proplank Timber Batten Lining System. Tasoak 40x20mm block profile. Create 1:100 fall to top of battens away from building. Finish Cutek CD50 clear oil to manufacturer's instructions. fixed to 9mm cement sheet, paint black, on 18mm Cavibat battens (provide ventilation cavity), installed to manufacturer's instructions and specifications. Refer Detail C02 & C03 on drawing CD12.
- WT2 90 x 45 MGP10 Stud wall lined in 10mm plasterboard internally. Paint finish. All walls to have Enviroseal Proctor Wrap RW vapour permeable wall wrap to outside of studs and packed with vapour permeable R2.5 insulation. Externally 9mm Cementel Barestone Ash concealed fixings to 18mm Cavibat battens (provide ventilation cavity), installed to manufacturer's instructions and specifications. Clear finish to approval.
- WT3 90 x 45 MGP10 Stud wall lined in 13mm plasterboard internally. Paint finish. All walls to have Enviroseal Proctor Wrap RW vapour permeable wall wrap to outside of frame. Externally Mortlock Timber Proplank Timber Batten Lining System. Tasoak 40x20mm block profile. Create 1:100 fall to top of battens away from building. Finish Cutek CD50 clear oil to manufacturer's instructions. fixed to 9mm cement sheet, paint black, on 18mm Cavibat battens (provide ventilation cavity), installed to manufacturer's instructions and specifications. Refer Detail C02 & C03 on drawing CD12.
- WT4 Line existing brickwork with 10mm plasterboard direct stick to Green Room, and Historical Display Room side, MR 10mm plasterboard to Unisex DDA Toilet side. Gyrocor cornice cement at 450 centres and edges. Use to manufacturer's instructions and specifications. Pack wall as required to achieve a level flush finish with no hollows. Paint finish.
- WT5 Min. 90 x 45 MGP10 Stud wall lined in 13mm plasterboard to face side. Paint finish. Allow for ventilation to be installed in cavity to Engineering Solutions Tasmania's drawings & specifications. Allow for 120mm cavity.
- WT6 90 x 45 MGP10 Stud wall lined in 13mm plasterboard both sides. Paint finish. Walls to be packed with R2.0 Rockwool acoustic insulation where indicated with hatching. Refer to Structural Engineer's drawings & specifications.
- WT7 90 x 45 MGP10 Stud wall lined in 13mm plasterboard. MR 10mm plasterboard to Unisex DDA Toilet. Paint finish. Walls to be packed with R2.0 Rockwool acoustic insulation where indicated with hatching. Refer to Structural Engineer's drawings & specifications.
- WT8 90 x 45 MGP10 Stud wall lined in MR 10mm plasterboard to Unisex DDA Toilet. Paint finish. Produce services duct. Refer EST's drawings. Walls to be packed with R2.0 Rockwool acoustic insulation where indicated with hatching. Refer to Structural Engineer's drawings & specifications.
- WT9 90 x 35 MGP10 Stud wall lined in 13mm plasterboard infill. Align to adjacent walls finished surfaces. Walls to be packed with R2.0 Rockwool acoustic insulation where indicated with hatching. Paint finish. Where wall is over 3 meters use 90 x 45 MGP10 stud.
- WT10 Make good existing wall where disrupted. Paint finish.
- WT11 Cavity wall for cavity slider. Line in 13mm plasterboard. Paint finish.
- WT12 90 x 35 MGP10 Stud parapet wall to gutter of new roof over existing. All walls to have Enviroseal Proctor Wrap RW vapour permeable wall wrap to outside of studs. 9mm Cementel Barestone Ash concealed fixings to 18mm Cavibat battens (provide ventilation cavity), installed to manufacturer's instructions and specifications. Clear finish to approval.

**FLOOR NOTES (30-43)**

- 30 Refer to structural drawings for concrete slab and footing details.
- 31 New concrete slab to Unisex DDA Toilet at indicated level. Refer to structural drawings. Continuous fall to waste, max. fall 1:50, min. fall 1:80 to AS3740 - 2021.
- 32 Seal total floor in wet area membrane extended 150mm min. up walls generally and full height in showers. Allow provisional sum for vinyl for supply only.
- 33 New Tasoak strip timber floor at indicated level. Refer to structural drawings for timber floor framing details.
- 34 Step treads & risers to be constructed from select timber to match 'FL3'. 32mm nosing with no overhang. 10mm shadow gap between nosing and riser. Stainless steel handrail min. 865mm above stair tread. Confirm rail location on site.
- 35 665 x 1275 Velux FCM 2246 Skylight over. Low-e double glazing. Install to manufacturer's specifications and instructions. Refer to Roof Plan. 10mm Plasterboard shaft- paint finish Colour TBC. Shaft to be insulated with R2.5 insulation. Coordinate size with truss setbacks prior to ordering.
- 36 Provide adequate door circulation to comply with AS1428.1 to Building Surveyor's approval.
- 37 Threshold ramp 1:8 gradient 280mm deep, 35mm high. To AS1428.1 10.5.
- 38 Ramp to existing path level. Maximum gradient 1:20. Confirm setout and levels on site before proceeding.
- 39 Provide vertical subfloor ventilation ducts to mechanical extraction fan to Engineering Solutions Tasmania drawings and specifications. Confirm locations on site.
- 40 1275 x 1275 Velux FCM 4646 Skylight over. Install to manufacturer's specifications and instructions. Refer to Roof Plan. 10mm Plasterboard shaft- paint finish Colour TBC. Shaft to be insulated with R2.5 insulation. Coordinate size with truss setbacks prior to ordering.
- 41 1.8 kerb ramp to existing path level to AS1428.1 and AS/NZS 2890.6 - 2009. Maximum length 1520mm. Confirm levels on site before proceeding.
- 42 Corridor / Walkway to existing path level. Maximum gradient 1:40. Confirm levels and NCC2022 compliance with Building Surveyor onsite prior to commencing works.
- 43 Preserve existing path. Make good any damage.

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WHS 01 WHS REPORT	1:50

- NOTES:**
- These drawings are to be read in conjunction with Engineer's drawings, Door & Window Specifications and Specification
  - Timber and/or steel members to be provided in accordance to Engineer's details.
  - All glazing to be in accordance with AS 1288
  - All timber framing is to be in accordance with AS 1684 and Engineer's details.
  - All works are to comply with the Building Code of Australia and local requirements.
  - All dimensions and any given levels are to be checked on site prior to commencement of works. Written dimensions take precedence over scale - do not scale drawings. **If in doubt, ask.**
  - All plumbing shall be to relevant authority approvals. The plumber is responsible for obtaining all necessary approvals. Confirm Storm Water discharges to the lawful point of discharge. Suspended storm water, (where applicable) suspend under floor and fix at every second joist.
  - Supply and install (hard wired) smoke alarms in accordance to AS 3786. Smoke alarms are not to be located within 300mm of wall and ceiling junctions. (refer also electrical plan)
  - Insulation - Fire retardant batts New Walls R2.5 batts (or similar approved) Roof R4.0 batts - insulate entire ceiling space existing and new. Polyester fire retardant
  - All exposed structural steelwork shall be hot dip galvanized.
  - Soil Classification: refer soil report (where relevant.)
  - Provide a minimum air space of 8000 mm: under door leaves to rooms with exhaust fans, unless otherwise noted.
  - Mechanical exhaust fans to sanitary areas are to have 25 l/s discharge.
  - Splashesbacks to be a minimum of 200mm ht. Behind sinks, troughs, vanities, etc., as detailed in the specification and/or drawings.
  - Provide flyscreens with black wire to all operable windows (refer to window schedule.)
  - Provide lift off hinges to new toilet doorways where door is less than 1200mm from pan
  - All work to comply with the WHS Act. Any present or predicted safety risks to be reported to the Architect immediately.
  - Wet areas are to be water proofed as per installation requirements of AS3740 2010 - installer to provide certification
  - Make good all walls and ceilings where demolition has occurred.

**LEGEND**

EXISTING WALLS	REFER TO CONSTRUCTION DETAILS ON CD11
NEW BRICK WALLS	REFER TO JOINERY DETAILS ON JN
NEW TIMBER WALLS	REFER TO SECTIONS ON CD09
REFER TO WALL TYPE LEGEND	WATER TAP TAP INDICATES TAP FROM LUG-RUN WATER TANK
REFER TO DOOR SCHEDULE ON CD10	
REFER TO WINDOW SCHEDULE ON CD10	

**FINISHES SCHEDULE**

FLOOR	
FL1 NEW CONC. SLAB GRIND TO 800 GRIT FINISH. CLEAR POLYURETHANE FINISH.	FL2 NEW FLOOR TILES. REFER PC SCHEDULE ON CD01.
FL3 NEW POLISHED TIMBER FLOOR. TIMBER TYPE TBC.	FL4 CARPET BY OTHERS. ENSURE FLOORS ARE LEVEL & FREE OF DETRITUS.
FL5 NEW CONC. SLAB SCREED FINISH.	
SKIRTING	
SK1 NEW SKIRTING. PROFILE TIME. ALLOW FOR 18 X 100 TIMBER PAINT FINISH	SK2 100mm HIGH TILE SKIRTING. TILE TYPE TBC.
CEILING	
CL1 NEW 10mm PLASTERBOARD PAINT FINISH	CL1 EXISTING MAKE GOOD. PAINT FINISH.
CORNICHE	
CN1 NEW SQUARE SET	CN2 EXISTING MAKE GOOD. PAINT FINISH.

**01 PROPOSED FLOOR PLAN**  
CD06 SCALE 1:50

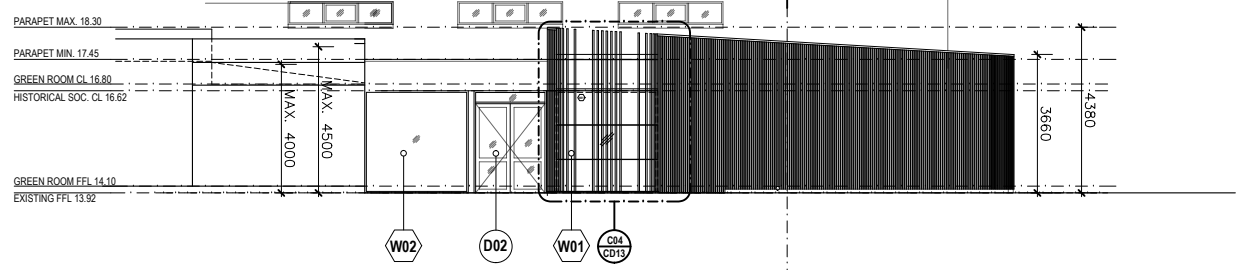
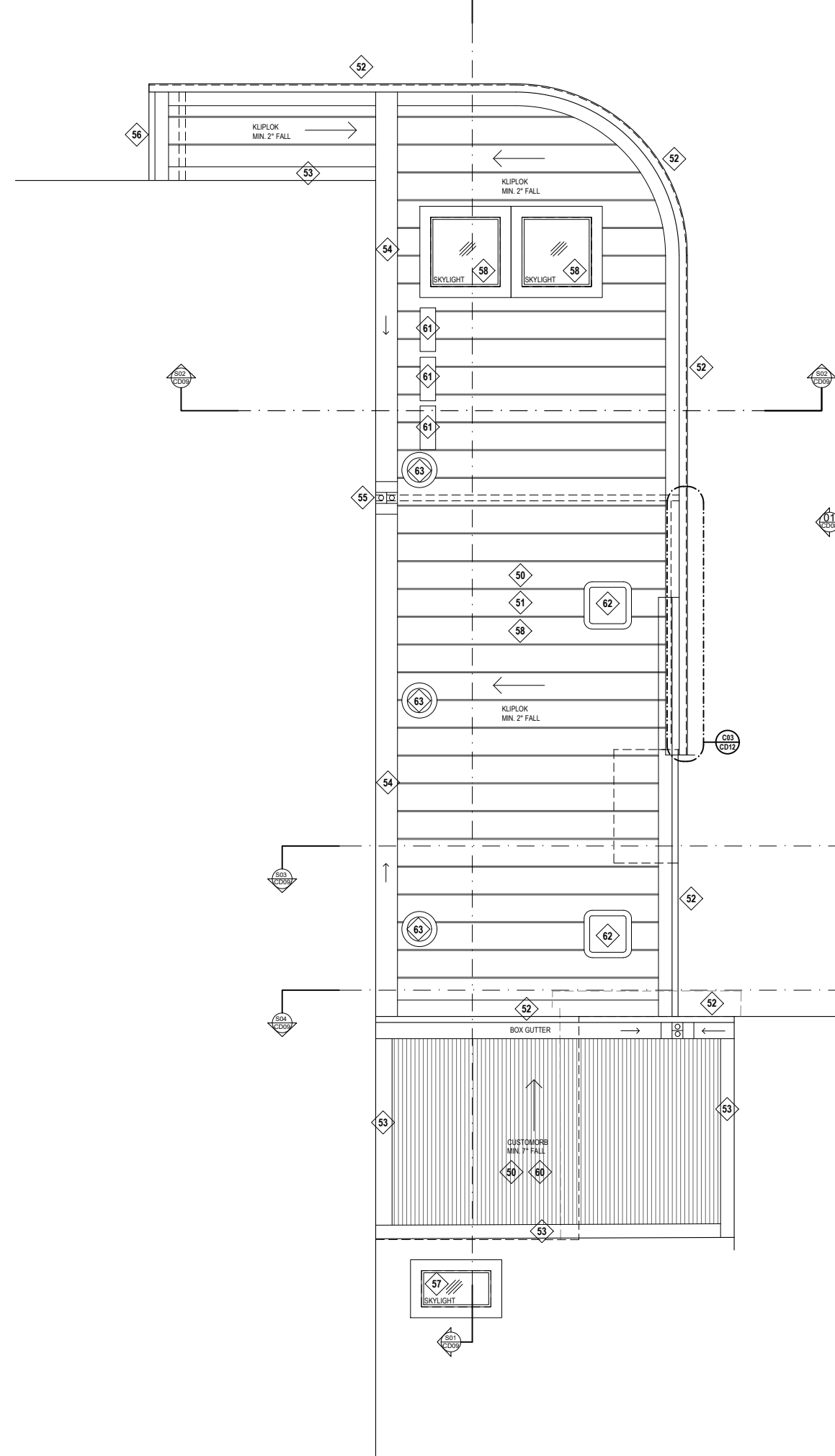
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 Project  
**Sorell Memorial Hall**  
 47 Cole Street, Sorell, TAS 7172  
 Client  
**Sorell Council**  
 47 Cole Street, Sorell, TAS 7172  
 Drawing  
**PROPOSED EXTENSION FLOOR PLAN**  
 All work shall conform to the spec. & other relevant drawings. Figured dimensions take precedence over scaled dimensions. Check all dimensions on site. Shop drawings shall be submitted to this office for approval prior to the commencement of any fabrication.  
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 DRAWN BY: J.B. SCALE: 1:100@A3  
 DATE: 20.01.25 1:50@A1  
 PROJECT NO: 2406 DRAWN NO. REV.  
**CD07**

CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT - IF IN DOUBT, ASK!

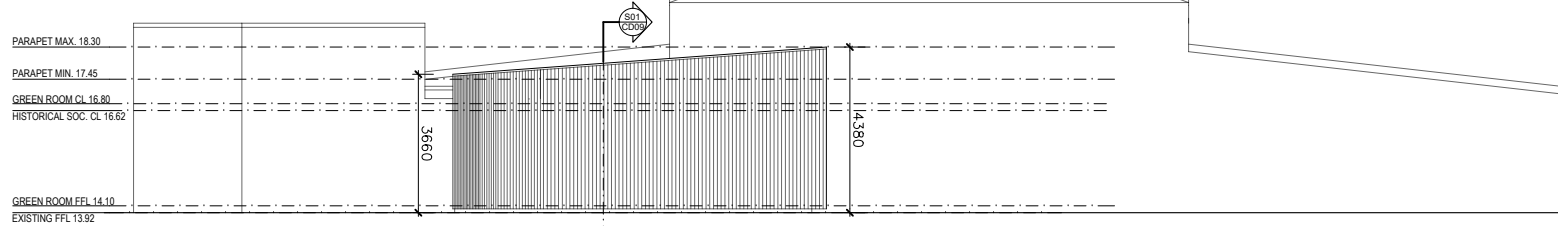


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CD 04	EXISTING LOCALISED FLOOR PLAN	1:50
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CD 06	PROPOSED FULL BUILDING PLAN	1:100
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CD 16	CONSTRUCTION DETAILS 05	1:5
WHS 01	WHS REPORT	1:50

- NOTES:**
- These drawings are to be read in conjunction with Engineer's drawings, Door & Window Specifications and Specification
  - Timber and/or steel members to be provided in accordance to Engineer's details.
  - All glazing to be in accordance with AS 1288
  - All timber framing is to be in accordance with AS 1684 and Engineer's details.
  - All works are to comply with the Building Code of Australia and local requirements.
  - All dimensions and any given levels are to be checked on site prior to commencement of works. Written dimensions take precedence over scale - do not scale drawings. **If in doubt, ask.**
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  - Supply and install (hard wired) smoke alarms in accordance to AS 3786. Smoke alarms are not to be located within 300mm of wall and ceiling junctions. (refer also electrical plan)
  - Insulation - Fire retardant batts  
New Walls R2.5 batts (or similar approved)  
Roof R4.0 batts - insulate entire ceiling space existing and new. Polyester fire retardant
  - All exposed structural steelwork shall be hot dip galvanized.
  - Soil Classification: refer soil report (where relevant.)
  - Provide a minimum air space of 8000 mm: under door leads to rooms with exhaust fans, unless otherwise noted.
  - Mechanical exhaust fans to sanitary areas are to have 25 ls discharge.
  - Splashbacks to be a minimum of 200mm ht. Behind sinks, troughs, vanities, etc., as detailed in the specification and/or drawings.
  - Provide flyscreens with black wire to all operable windows (refer to window schedule.)
  - Provide lift off hinges to new toilet doorways where door is less than 1200mm from pan
  - All work to comply with the WHS Act. Any present or predicted safety risks to be reported to the Architect immediately.
  - Wet areas are to be water proofed as per installation requirements of AS3740 2010 - installer provide certification
  - Make good all walls and ceilings where demolition has occurred.



**01 EAST ELEVATION**  
SCALE 1:100  
CD07



**02 NORTH ELEVATION**  
SCALE 1:100  
CD07

**FLOOR NOTES (30-43)**

- 30 Refer to structural drawings for concrete slab and footing details.
- 31 New concrete slab to Unisex DDA Toilet at indicated level. Refer to structural drawings. Continuous fall to waste, max. fall 1:50, min. fall 1:80 to AS3740 - 2021.
- 32 Seal total floor in wet area membrane extended 150mm min. up walls generally and full height in showers. Allow provisional sum for vinyl for supply only.
- 33 New Tasoak strip timber floor at indicated level. Refer to structural drawings for timber floor framing details.
- 34 Step treads & risers to be constructed from select timber to match 'FL3'. 32mm nosing with no overhang, 10mm shadow gap between nosing and riser. Stainless steel handrail min. 865mm above stair tread. Confirm rail location on site.
- 35 665 x 1275 Velux FCM 2246 Skylight over. Low-e double glazing. Install to manufacturer's specifications and instructions. Refer to Roof Plan. 10mm Plasterboard shaft- paint finish Colour TBC. Shaft to be insulated with R2.5 insulation. Coordinate size with truss setbacks prior to ordering.
- 36 Provide adequate door circulation to comply with AS1428.1 to Building Surveyor's approval.
- 37 Threshold ramp 1:8 gradient 280mm deep, 35mm high. To AS1428.1 10.5.
- 38 Ramp to existing path level. Maximum gradient 1:20. Confirm setback and levels on site before proceeding.
- 39 Provide vertical subfloor ventilation ducts to mechanical extraction fan to Engineering Solutions Tasmania drawings and specifications. Confirm locations on site.
- 40 1275 x 1275 Velux FCM 4646 Skylight over. Install to manufacturer's specifications and instructions. Refer to Roof Plan. 10mm Plasterboard shaft- paint finish Colour TBC. Shaft to be insulated with R2.5 insulation. Coordinate size with truss setbacks prior to ordering.
- 41 1:8 kerb ramp to existing path level to AS1428.1 and AS/NZS 2890.6 - 2009. Maximum length 1520mm. Confirm levels on site before proceeding.
- 42 Corridor / Walkway to existing path level. Maximum gradient 1:40. Confirm levels and NCC2022 compliance with Building Surveyor onsite prior to commencing works.
- 43 Preserve existing path. Make good any damage.

**ROOF NOTES (50-63)**

- 50 All roof framing to structural engineer's details.
- 51 Colorbond Lysaght Klip-lok 0.48 BMT tray roof at minimum 2 degree fall, fixed at max. 900 cts. Colour: Colorbond Monument. Install to manufacturer's specifications and instructions. Refer to Details on CD21 & CD22. All flashings and cappings to be Colorbond to match.
- 52 Colorbond parapet flashing 40mm turn down both sides. Colorbond flashing from under parapet flashing over inside face of parapet, extend 300mm over roof sheeting.
- 53 Colorbond flashing notched into existing wall. Extend 300mm over roof.
- 54 400w x 100mm deep Colorbond box gutter. 1:200 fall to sump. Refer to Hydraulic Consultant's drawings & specifications.
- 55 Min. 400w x 600mmL x 150mm deep Colorbond sump with overflow downpipe. Refer to Hydraulic Consultant's drawings & specifications.
- 56 Colorbond flashing over roof sheeting 300mm. Turn down over fascia 40mm.
- 57 665 x 1275 Velux FCM 2246 Skylight. Low-e double glazed. Install to manufacturer's specifications and instructions. 10mm Plasterboard shaft- paint finish Colour TBC. Coordinate size with truss setbacks prior to ordering.
- 58 1275 x 1275 Velux FCM 4646 Skylight. Install to manufacturer's specifications and instructions. 10mm Plasterboard shaft- paint finish Colour TBC. Coordinate size with truss setbacks prior to ordering.
- 59 Trusses by others. Refer to Structural Engineer's drawings and specifications for all fixings and structural support. Confirm levels and setbacks prior to commencing work.
- 60 Colorbond Customorb roof at minimum 7 degree fall Colour: Colorbond Monument. Install to manufacturer's specifications and instructions. Refer to Details on CD21 & CD22. All flashings and cappings to be Colorbond to match. Retain existing roof under where applicable, and run new rafters over the existing roof for one continuous fall to box gutter.
- 61 External A/C unit to Engineering Solutions Tasmania drawings and specifications. Confirm locations on site. Ensure the unit is not visible from ground level or through skylights. Install to manufacturer's instructions.
- 62 Fantech centrifugal fan to Engineering Solutions Tasmania drawings and specifications. Confirm locations on site. Ensure the unit is not visible from ground level or through skylights. Install and flash to manufacturer's instructions.
- 63 Fantech fan from sub-floor ventilation ducts to Engineering Solutions Tasmania drawings and specifications. Confirm locations on site. Install and flash to manufacturer's instructions.

**WALL LEGEND**

- WT1 90 x 45 MGP10 Stud wall lined in 13mm plasterboard internally. Paint finish. All walls to have Enviroseal Proctor Wrap RW vapour permeable wall wrap to outside of frame. Externally Mortlock Timber Proplank Timber Batten Lining System. Tasoak 40x20mm block profile. Create 1:100 fall to top of battens away from building. Finish Cutek CD50 clear oil to manufacturer's instructions. fixed to 9mm cement sheet, paint black, on 18mm Cavibat battens (provide ventilation cavity), installed to manufacturer's instructions and specifications. Refer Detail C02 & C03 on drawing CD12.
- WT2 90 x 45 MGP10 Stud wall lined in 10mm plasterboard internally. Paint finish. All walls to have Enviroseal Proctor Wrap RW vapour permeable wall wrap to outside of frame. Externally 9mm Cement Barestone Ash concealed fixings to 18mm Cavibat battens (provide ventilation cavity), installed to manufacturer's instructions and specifications. Clear finish to approval.
- WT3 90 x 45 MGP10 Stud wall lined in 13mm plasterboard internally. Paint finish. All walls to have Enviroseal Proctor Wrap RW vapour permeable wall wrap to outside of frame. Externally Mortlock Timber Proplank Timber Batten Lining System. Tasoak 40x20mm block profile. Create 1:100 fall to top of battens away from building. Finish Cutek CD50 clear oil to manufacturer's instructions. fixed to 9mm cement sheet, paint black, on 18mm Cavibat battens (provide ventilation cavity), installed to manufacturer's instructions and specifications. Refer Detail C02 & C03 on drawing CD12.
- WT4 Line existing brickwork with 10mm plasterboard direct stick to Green Room, and Historical Display Room side; MR 10mm plasterboard to Unisex DDA Toilet side- Gyprok cornice cement at 450 centres and edges. Use to manufacturer's instructions and specifications. Pack wall as required to achieve a level flush finish with no hollows. Paint finish.
- WT5 Min. 90 x 45 MGP10 Stud wall lined in 13mm plasterboard to face side. Paint finish. Allow for ventilation to be installed in cavity to Engineering Solutions Tasmania's drawings & specifications. Allow for 120mm cavity.
- WT6 90 x 45 MGP10 Stud wall lined in 13mm plasterboard both sides. Paint finish. Walls to be packed with R2.0 Rockwool acoustic insulation where indicated with hatching. Refer to Structural Engineer's drawings & specifications.
- WT7 90 x 45 MGP10 Stud wall lined in 13mm plasterboard. MR 10mm plasterboard to Unisex DDA Toilet. Paint finish. Walls to be packed with R2.0 Rockwool acoustic insulation where indicated with hatching. Refer to Structural Engineer's drawings & specifications.
- WT8 90 x 45 MGP10 Stud wall lined in MR 10mm plasterboard to Unisex DDA Toilet. Paint finish. Produce services duct. Refer EST's drawings. Walls to be packed with R2.0 Rockwool acoustic insulation where indicated with hatching. Refer to Structural Engineer's drawings & specifications.
- WT9 90 x 35 MGP10 Stud wall lined in 13mm plasterboard infill. Align to adjacent walls finished surfaces. Walls to be packed with R2.0 Rockwool acoustic insulation where indicated with hatching. Paint finish. Where wall is over 3 meters use 90 x 45 MGP10 stud.
- WT10 Make good existing wall where disrupted. Paint finish.
- WT11 Cavity wall for cavity slider. Line in 13mm plasterboard. Paint finish.
- WT12 90 x 35 MGP10 Stud parapet wall to gutter of new roof over existing. All walls to have Enviroseal Proctor Wrap RW vapour permeable wall wrap to outside of studs. 9mm Cement Barestone Ash concealed fixings to 18mm Cavibat battens (provide ventilation cavity), installed to manufacturer's instructions and specifications. Clear finish to approval.

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**Sorell Memorial Hall**  
47 Cole Street, Sorell, TAS 7172

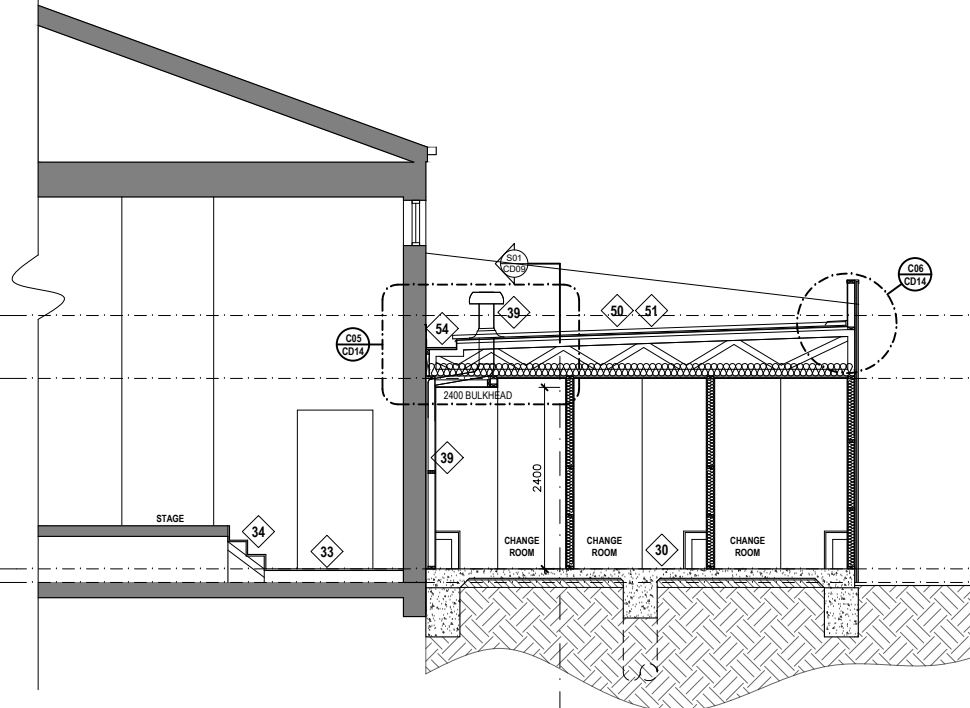
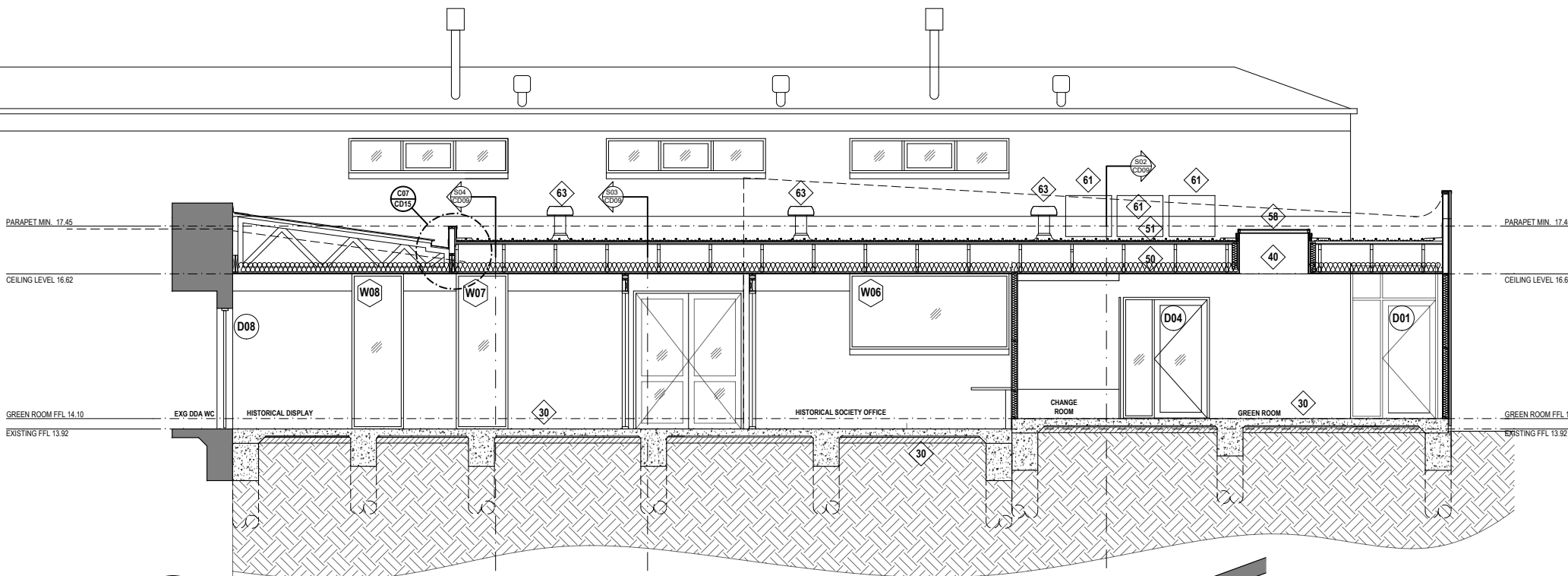
**Sorell Council**  
47 Cole Street, Sorell, TAS 7172

**PROPOSED ROOF PLANS & ELEVATIONS**

All work shall conform to the spec. & other relevant drawings. Figured dimensions take precedence over scaled dimensions. Check all dimensions on site. Shop drawings shall be submitted to this office for approval prior to the commencement of any fabrication.  
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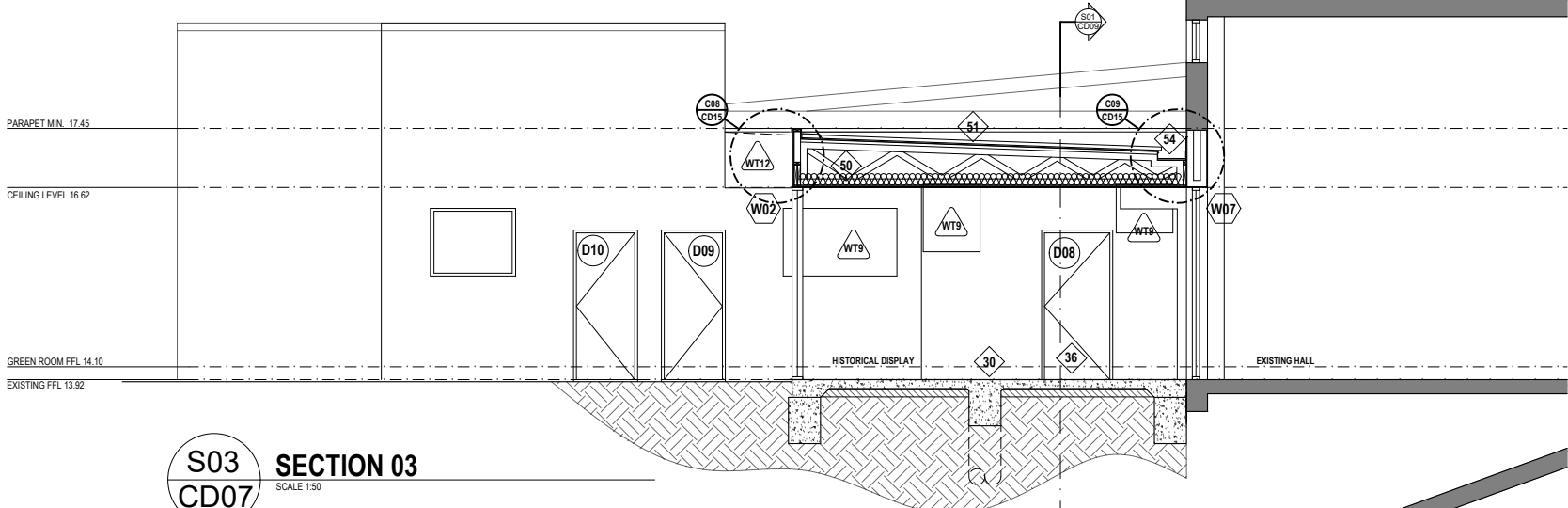
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DATE 20.01.25	1:100 @ A1
PROJECT NO. 2406	DRWN NO. CD08
REV.	

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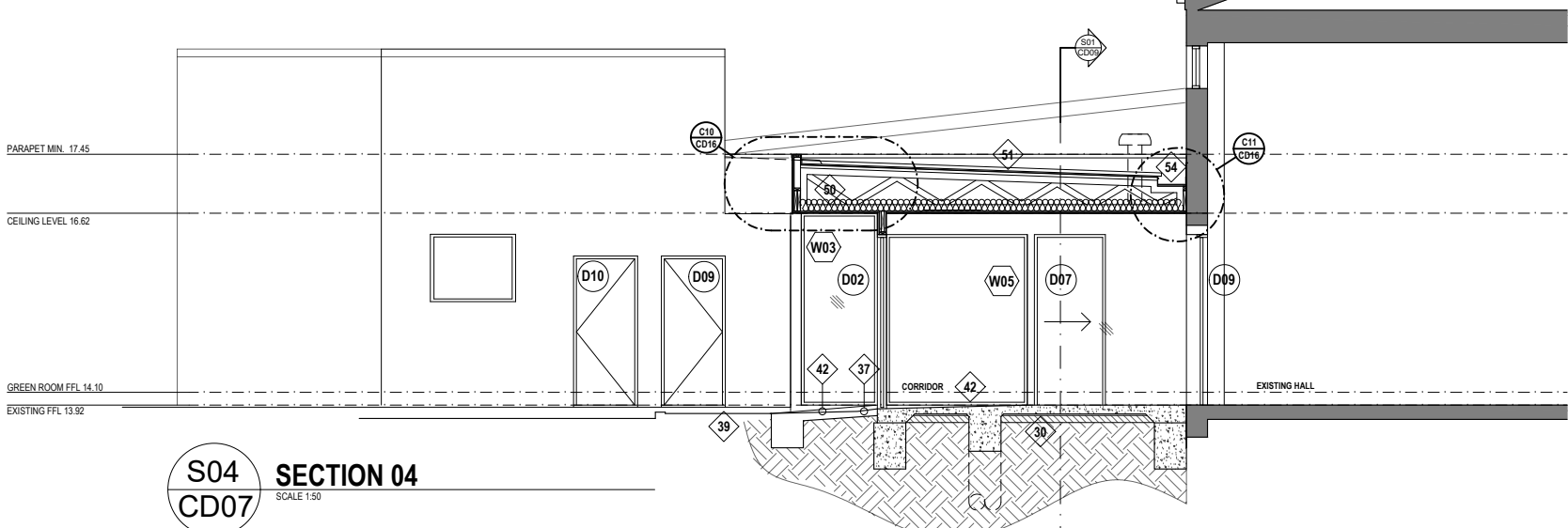


**S01 SECTION 01**  
SCALE 1:50  
CD07

**S02 SECTION 02**  
SCALE 1:50  
CD07



**S03 SECTION 03**  
SCALE 1:50  
CD07



**S04 SECTION 04**  
SCALE 1:50  
CD07

**ROOF NOTES (50-63)**

- 50 All roof framing to structural engineer's details.
- 51 Colorbond Lysaght Klip-lok 0.48 BMT tray roof at minimum 2 degree fall, fixed at max. 900 cts. Colour: Colorbond Monument. Install to manufacturer's specifications and instructions. Refer to Details on CD21 & CD22. All flashings and cappings to be Colorbond to match.
- 52 Colorbond parapet flashing 40mm turn down both sides. Colorbond flashing from under parapet flashing over inside face of parapet, extend 300mm over roof sheeting.
- 53 Colorbond flashing notched into existing wall. Extend 300mm over roof.
- 54 400w x 100mm deep Colorbond box gutter. 1:200 fall to sump. Refer to Hydraulic Consultant's drawings & specifications.
- 55 Min. 400W x 600mmL x 150mm deep Colorbond sump with overflow downpipe. Refer to Hydraulic Consultant's drawings & specifications.
- 56 Colorbond flashing over roof sheeting 300mm. Turn down over fascia 40mm.
- 57 665 x 1275 Velux FCM 2246 Skylight. Low-e double glazed. Install to manufacturer's specifications and instructions. 10mm Plasterboard shaft-paint finish Colour TBC. Coordinate size with truss setbacks prior to ordering.
- 58 1275 x 1275 Velux FCM 4646 Skylight. Install to manufacturer's specifications and instructions. 10mm Plasterboard shaft-paint finish Colour TBC. Coordinate size with truss setbacks prior to ordering.
- 59 Trusses by others. Refer to Structural Engineer's drawings and specifications for all fixings and structural support. Confirm levels and setbacks prior to commencing work.
- 60 Colorbond Customorb roof at minimum 7 degree fall Colour: Colorbond Monument. Install to manufacturer's specifications and instructions. Refer to Details on CD21 & CD22. All flashings and cappings to be Colorbond to match. Retain existing roof under where applicable, and run new rafters over the existing roof for one continuous fall to box gutter.
- 61 External A/C unit to Engineering Solutions Tasmania drawings and specifications. Confirm locations on site. Ensure the unit is not visible from ground level or through skylights. Install to manufacturer's instructions.
- 62 Fantech centrifugal fan to Engineering Solutions Tasmania drawings and specifications. Confirm locations on site. Ensure the unit is not visible from ground level or through skylights. Install and flash to manufacturer's instructions.
- 63 Fantech fan from sub-floor ventilation ducts to Engineering Solutions Tasmania drawings and specifications. Confirm locations on site. Install and flash to manufacturer's instructions.

**WALL LEGEND**

- WT1 90 x 45 MGP10 Stud wall lined in 13mm plasterboard internally. Paint finish. All walls to have Enviroseal Proctor Wrap RW vapour permeable wall wrap to outside of frame. Externally Mortlock Timber Proplank Timber Batten Lining System. Tasoak 40x20mm block profile. Create 1:100 fall to top of battens away from building. Finish Cutek CD50 clear oil to manufacturer's instructions. fixed to 9mm cement sheet, paint black, on 18mm Cavibat battens (provide ventilation cavity), installed to manufacturer's instructions and specifications. Refer Detail C02 & C03 on drawing CD12.
- WT2 90 x 45 MGP10 Stud wall lined in 10mm plasterboard internally. Paint finish. All walls to have Enviroseal Proctor Wrap RW vapour permeable wall wrap to outside of studs and packed with vapour permeable R2.5 insulation. Externally 9mm Cemental Barestone Ash concealed fixings to 18mm Cavibat battens (provide ventilation cavity), installed to manufacturer's instructions and specifications. Clear finish to approval.
- WT3 90 x 45 MGP10 Stud wall lined in 13mm plasterboard internally. Paint finish. All walls to have Enviroseal Proctor Wrap RW vapour permeable wall wrap to outside of frame. Externally Mortlock Timber Proplank Timber Batten Lining System. Tasoak 40x20mm block profile. Create 1:100 fall to top of battens away from building. Finish Cutek CD50 clear oil to manufacturer's instructions. fixed to 9mm cement sheet, paint black, on 18mm Cavibat battens (provide ventilation cavity), installed to manufacturer's instructions and specifications. Refer Detail C02 & C03 on drawing CD12.
- WT4 Line existing brickwork with 10mm plasterboard direct stick to Green Room, and Historical Display Room side; MR 10mm plasterboard to Unisex DDA Toilet side- Gyprok cornice cement at 450 centres and edges. Use to manufacturer's instructions and specifications. Pack wall as required to achieve a level flush finish with no hollows. Paint finish.
- WT5 Min. 90 x 45 MGP10 Stud wall lined in 13mm plasterboard to face side. Paint finish. Allow for ventilation to be installed in cavity to Engineering Solutions Tasmania's drawings & specifications. Allow for 120mm cavity.
- WT6 90 x 45 MGP10 Stud wall lined in 13mm plasterboard both sides. Paint finish. Walls to be packed with R2.0 Rockwool acoustic insulation where indicated with hatching. Refer to Structural Engineer's drawings & specifications.
- WT7 90 x 45 MGP10 Stud wall lined in 13mm plasterboard. MR 10mm plasterboard to Unisex DDA Toilet. Paint finish. Walls to be packed with R2.0 Rockwool acoustic insulation where indicated with hatching. Refer to Structural Engineer's drawings & specifications.
- WT8 90 x 45 MGP10 Stud wall lined in MR 10mm plasterboard to Unisex DDA Toilet. Paint finish. Produce services duct. Refer EST's drawings. Walls to be packed with R2.0 Rockwool acoustic insulation where indicated with hatching. Refer to Structural Engineer's drawings & specifications.
- WT9 90 x 35 MGP10 Stud wall lined in 13mm plasterboard infill. Align to adjacent walls finished surfaces. Walls to be packed with R2.0 Rockwool acoustic insulation where indicated with hatching. Paint finish. Where wall is over 3 meters use 90 x 45 MGP10 stud.
- WT10 Make good existing wall where disrupted. Paint finish.
- WT11 Cavity wall for cavity slider. Line in 13mm plasterboard. Paint finish.
- WT12 90 x 35 MGP10 Stud parapet wall to gutter of new roof over existing. All walls to have Enviroseal Proctor Wrap RW vapour permeable wall wrap to outside of studs. 9mm Cemental Barestone Ash concealed fixings to 18mm Cavibat battens (provide ventilation cavity), installed to manufacturer's instructions and specifications. Clear finish to approval.

**FLOOR NOTES (30-43)**

- 30 Refer to structural drawings for concrete slab and footing details.
- 31 New concrete slab to Unisex DDA Toilet at indicated level. Refer to structural drawings. Continuous fall to waste, max. fall 1:50, min. fall 1:80 to AS3740 - 2021.
- 32 Seal total floor in wet area membrane extended 150mm min. up walls generally and full height in showers. Allow provisional sum for vinyl for supply only.
- 33 New Tasoak strip timber floor at indicated level. Refer to structural drawings for timber floor framing details.
- 34 Step treads & risers to be constructed from select timber to match 'FL3'. 32mm nosing with no overhang. 10mm shadow gap between nosing and riser. Stainless steel handrail min. 865mm above stair tread. Confirm rail location on site.
- 35 665 x 1275 Velux FCM 2246 Skylight over. Low-e double glazing. Install to manufacturer's specifications and instructions. Refer to Roof Plan. 10mm Plasterboard shaft-paint finish Colour TBC. Shaft to be insulated with R2.5 insulation. Coordinate size with truss setbacks prior to ordering.
- 36 Provide adequate door circulation to comply with AS1428.1 to Building Surveyor's approval.
- 37 Threshold ramp 1:8 gradient 280mm deep, 35mm high. To AS1428.1 10.5.
- 38 Ramp to existing path level. Maximum gradient 1:20. Confirm setback and levels on site before proceeding.
- 39 Provide vertical subfloor ventilation ducts to mechanical extraction fan to Engineering Solutions Tasmania drawings and specifications. Confirm locations on site.
- 40 1275 x 1275 Velux FCM 4646 Skylight over. Install to manufacturer's specifications and instructions. Refer to Roof Plan. 10mm Plasterboard shaft-paint finish Colour TBC. Shaft to be insulated with R2.5 insulation. Coordinate size with truss setbacks prior to ordering.
- 41 1:8 kerb ramp to existing path level to AS1428.1 and AS/NZS 2890.6 - 2009. Maximum length 1520mm. Confirm levels on site before proceeding.
- 42 Corridor / Walkway to existing path level. Maximum gradient 1:40. Confirm levels and NCC2022 compliance with Building Surveyor onsite prior to commencing works.
- 43 Preserve existing path. Make good any damage.

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**PO BOX 705 NORTH HOBART 7002**  
Accreditation #: CC5364 H RAIA #: 48053  
Project

**Sorell Memorial Hall**  
47 Cole Street, Sorell, TAS 7172  
Client  
**Sorell Council**  
47 Cole Street, Sorell, TAS 7172

Drawing  
**PROPOSED SECTIONS**

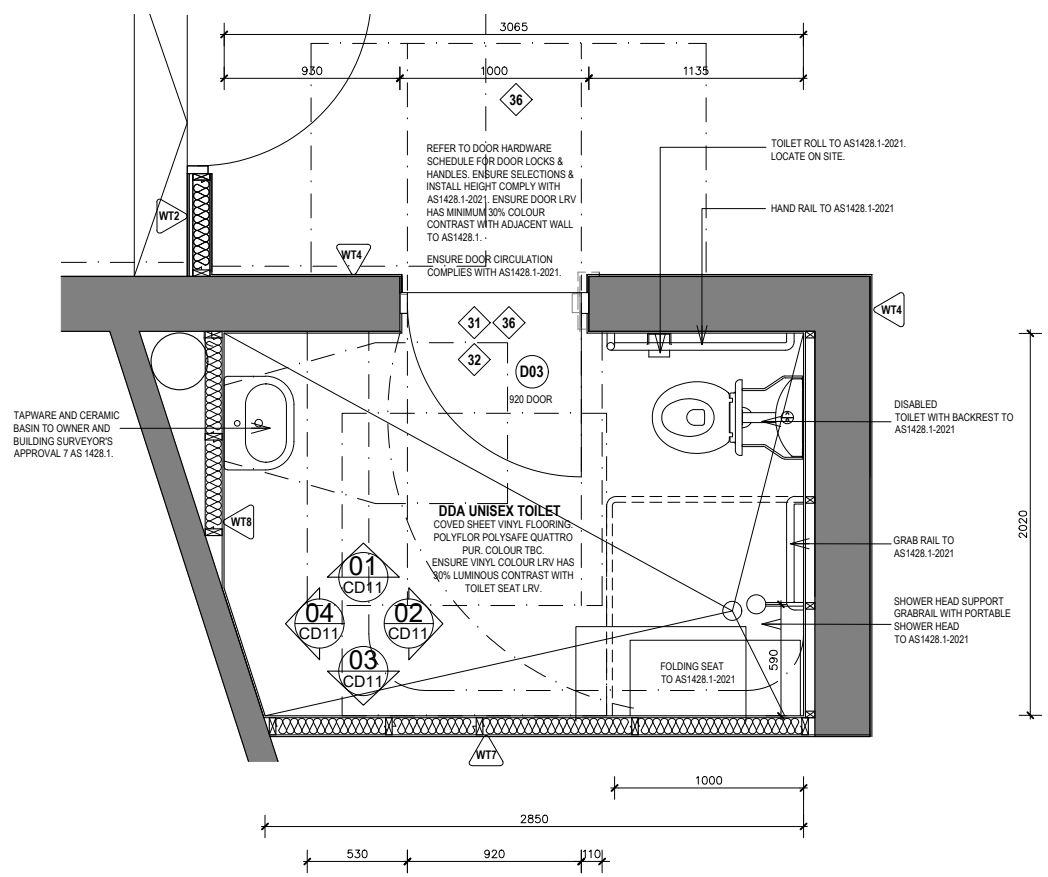
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DRAWN BY: J.B. SCALE: A/S @ A3  
DATE: 20.01.25  
PROJECT NO.: 2406  
DRAWN NO.:  
REV.:  
**CD09**

**CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT - IF IN DOUBT, ASK!**

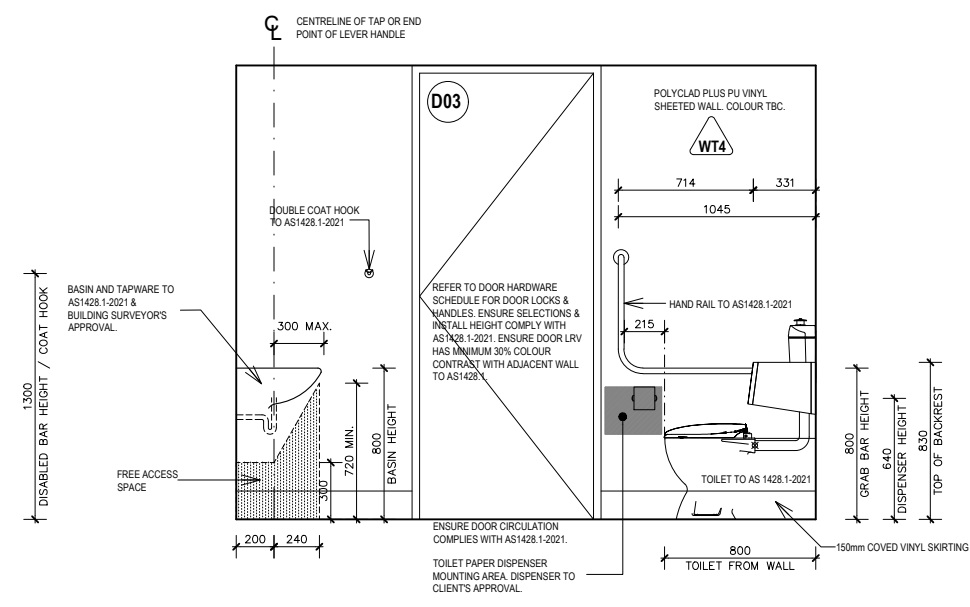




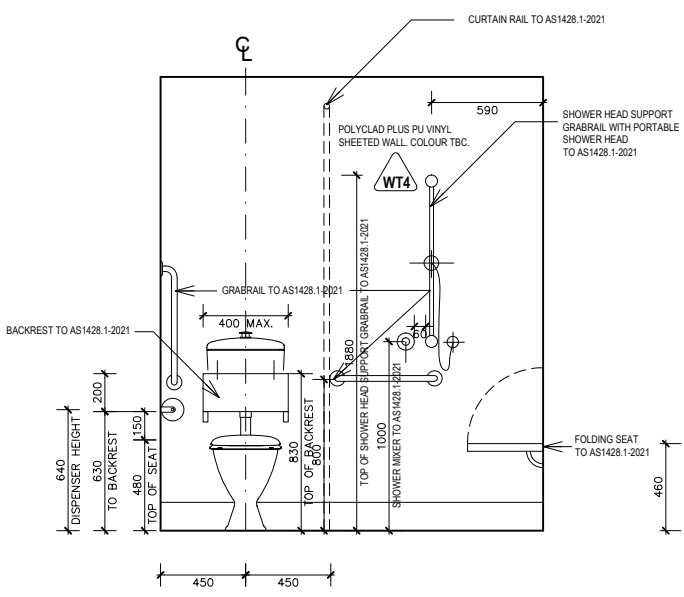
DRAWING INDEX		
CONSTRUCTION DRAWINGS		
CD 01	CONSTRUCTION NOTES	N/A
CD 02	EXISTING SITE PLAN	1:250
CD 03	EXISTING FULL BUILDING PLAN	1:100
CD 04	EXISTING LOCALISED FLOOR PLAN	1:50
CD 05	PROPOSED SITE PLAN	1:250
CD 06	PROPOSED FULL BUILDING PLAN	1:100
CD 07	PROPOSED LOCALISED FLOOR PLAN	1:50
CD 08	PROPOSED ELEVATIONS & ROOF PLAN	A/S
CD 09	PROPOSED SECTIONS	1:50
CD 10	PROPOSED DOOR & WINDOW SCHEDULE	1:50
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WHS 01	WHS REPORT	1:50



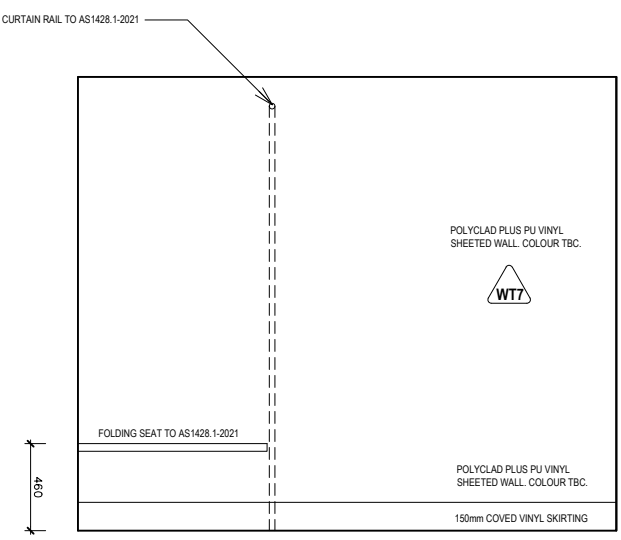
**DDA PLAN - DDA TOILET**  
CD07 SCALE 1:20



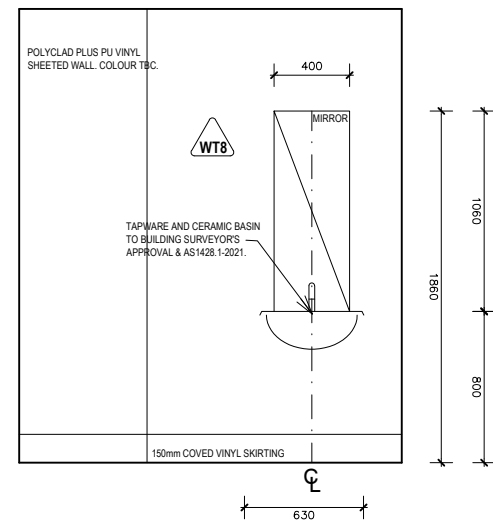
**01 NORTH INTERNAL ELEVATION**  
CD11 SCALE 1:20



**02 EAST INTERNAL ELEVATION**  
CD11 SCALE 1:20



**03 SOUTH INTERNAL ELEVATION**  
CD11 SCALE 1:20



**04 WEST INTERNAL ELEVATION**  
CD11 SCALE 1:20

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**WALL LEGEND**

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- WT2 90 x 45 MGP10 Stud wall lined in 10mm plasterboard internally. Paint finish. All walls to have Enviroseal Proctor Wrap RW vapour permeable wall wrap to outside of studs and packed with vapour permeable R2.5 insulation. Externally 9mm Cementel Barestone Ash concealed fixings to 18mm Cavibat battens (provide ventilation cavity), installed to manufacturer's instructions and specifications. Clear finish to approval.
- WT3 90 x 45 MGP10 Stud wall lined in 13mm plasterboard internally. Paint finish. All walls to have Enviroseal Proctor Wrap RW vapour permeable wall wrap to outside of frame. Externally Mortlock Timber Proplank Timber Batten Lining System. Tasoak 40x20mm block profile. Create 1:100 fall to top of battens away from building. Finish Cutex CD50 clear oil to manufacturer's instructions. fixed to 9mm cement sheet, paint black, on 18mm Cavibat battens (provide ventilation cavity), installed to manufacturer's instructions and specifications. Refer Detail C02 & C03 on drawing CD12.
- WT4 Line existing brickwork with 10mm plasterboard direct stick to Green Room, and Historical Display Room side; MR 10mm plasterboard to Unisex DDA Toilet side- Gyprock cornice cement at 450 centres and edges. Use to manufacturer's instructions and specifications. Peak wall as required to achieve a level flush finish with no hollows. Paint finish.
- WT5 Min. 90 x 45 MGP10 Stud wall lined in 13mm plasterboard to face side. Paint finish. Allow for battens away from building. Finish Cutex CD50 clear oil to manufacturer's instructions and specifications. Allow for 120mm cavity.
- WT6 90 x 45 MGP10 Stud wall lined in 13mm plasterboard both sides. Paint finish. Walls to be packed with R2.0 Rockwool acoustic insulation where indicated with hatching. Refer to Structural Engineer's drawings & specifications.
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PO BOX 705 NORTH HOBART 7002  
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Project  
**Sorell Memorial Hall**  
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Client  
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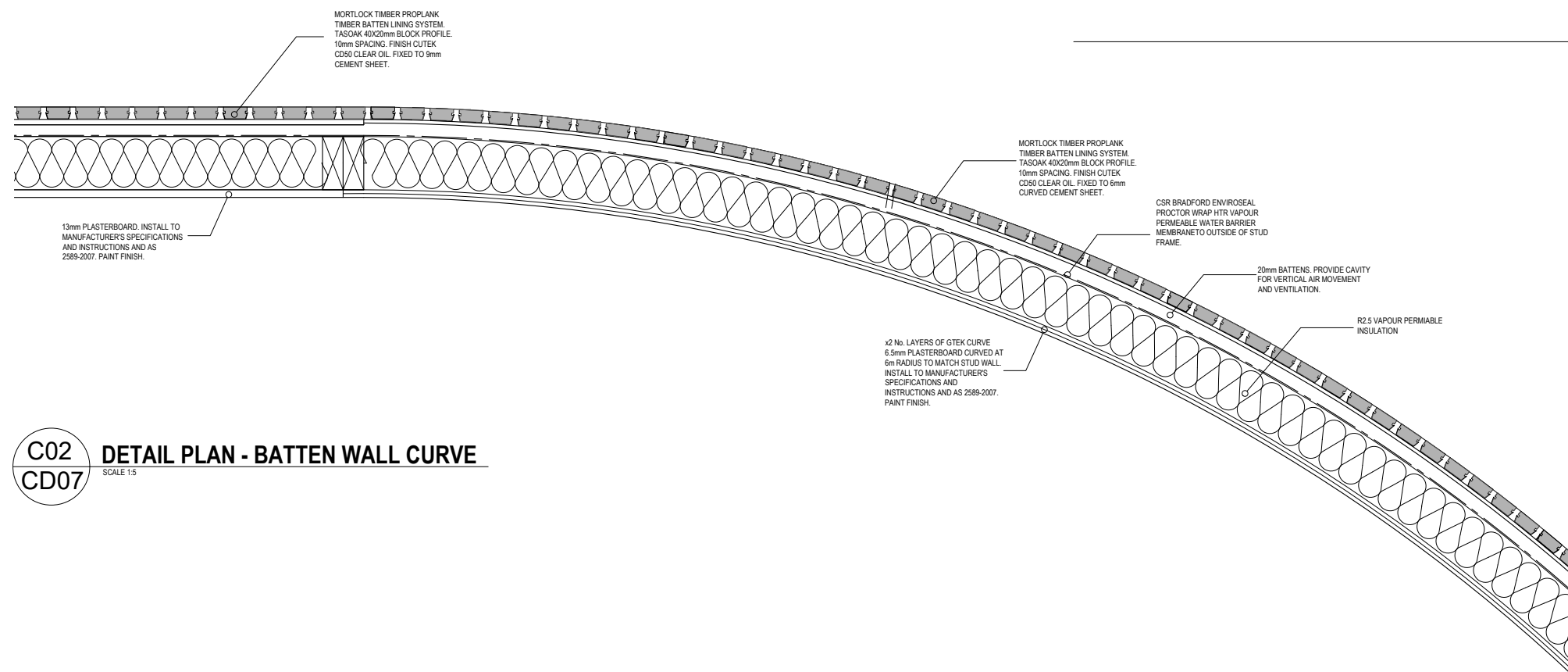
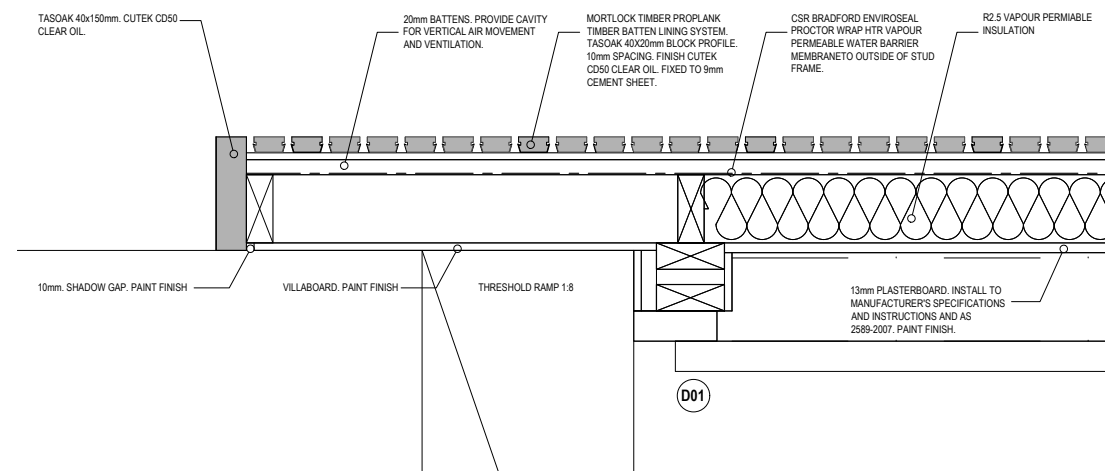
**PROPOSED UNISEX DDA TOILET**

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DATE	20.01.25	SCALE	1:40 @ A3
PROJECT NO.	2406	DRWN NO.	CD11
REV.			

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**C01**  
**CD07**  
**DETAIL PLAN - BATTEN WALL**  
SCALE 1:5

**C02**  
**CD07**  
**DETAIL PLAN - BATTEN WALL CURVE**  
SCALE 1:5

**WALL LEGEND**

- WT1** 90 x 45 MGP10 Stud wall lined in 13mm plasterboard internally. Paint finish. All walls to have Enviroseal Proctor Wrap RW vapour permeable wall wrap to outside of frame. Externally Mortlock Timber Proplank Timber Batten Lining System. Tasoak 40x20mm block profile. Create 1:100 fall to top of battens away from building. Finish Cutek CD50 clear oil to manufacturer's instructions, fixed to 9mm cement sheet, paint black, on 18mm Cavibat battens (provide ventilation cavity), installed to manufacturer's instructions and specifications. Refer Detail C02 & C03 on drawing CD12.
- WT2** 90 x 45 MGP10 Stud wall lined in 10mm plasterboard internally. Paint finish. All walls to have Enviroseal Proctor Wrap RW vapour permeable wall wrap to outside of studs and packed with vapour permeable R2.5 insulation. Externally 9mm Cementel Barestone Ash concealed fixings to 18mm Cavibat battens (provide ventilation cavity), installed to manufacturer's instructions and specifications. Clear finish to approval.
- WT3** 90 x 45 MGP10 Stud wall lined in 13mm plasterboard internally. Paint finish. All walls to have Enviroseal Proctor Wrap RW vapour permeable wall wrap to outside of frame. Externally Mortlock Timber Proplank Timber Batten Lining System. Tasoak 40x20mm block profile. Create 1:100 fall to top of battens away from building. Finish Cutek CD50 clear oil to manufacturer's instructions, fixed to 9mm cement sheet, paint black, on 18mm Cavibat battens (provide ventilation cavity), installed to manufacturer's instructions and specifications. Refer Detail C02 & C03 on drawing CD12.
- WT4** Line existing brickwork with 10mm plasterboard direct stick to Green Room, and Historical Display Room side; MR 10mm plasterboard to Unisex DDA Toilet side. Gyprok cornice cement at 450 centres and edges. Use to manufacturer's instructions and specifications. Pack wall as required to achieve a level flush finish with no hollows. Paint finish.
- WT5** Min. 90 x 45 MGP10 Stud wall lined in 13mm plasterboard to face side. Paint finish. Allow for ventilation to be installed in cavity to Engineering Solutions Tasmania's drawings & specifications. Allow for 120mm cavity.
- WT6** 90 x 45 MGP10 Stud wall lined in 13mm plasterboard both sides. Paint finish. Walls to be packed with R2.0 Rockwool acoustic insulation where indicated with hatching. Refer to Structural Engineer's drawings & specifications.
- WT7** 90 x 45 MGP10 Stud wall lined in 13mm plasterboard. MR 10mm plasterboard to Unisex DDA Toilet. Paint finish. Walls to be packed with R2.0 Rockwool acoustic insulation where indicated with hatching. Refer to Structural Engineer's drawings & specifications.
- WT8** 90 x 45 MGP10 Stud wall lined in MR 10mm plasterboard to Unisex DDA Toilet. Paint finish. Produce services duct. Refer EST's drawings. Walls to be packed with R2.0 Rockwool acoustic insulation where indicated with hatching. Refer to Structural Engineer's drawings & specifications.
- WT9** 90 x 35 MGP10 Stud wall lined in 13mm plasterboard infill. Align to adjacent walls finished surfaces. Walls to be packed with R2.0 Rockwool acoustic insulation where indicated with hatching. Paint finish. Where wall is over 3 meters use 90 x 45 MGP10 stud.
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Project  
**Sorell Memorial Hall**  
**47 Cole Street, Sorell, TAS 7172**

Client  
**Sorell Council**  
**47 Cole Street, Sorell, TAS 7172**

Drawing  
**CONSTRUCTION DETAILS 01**

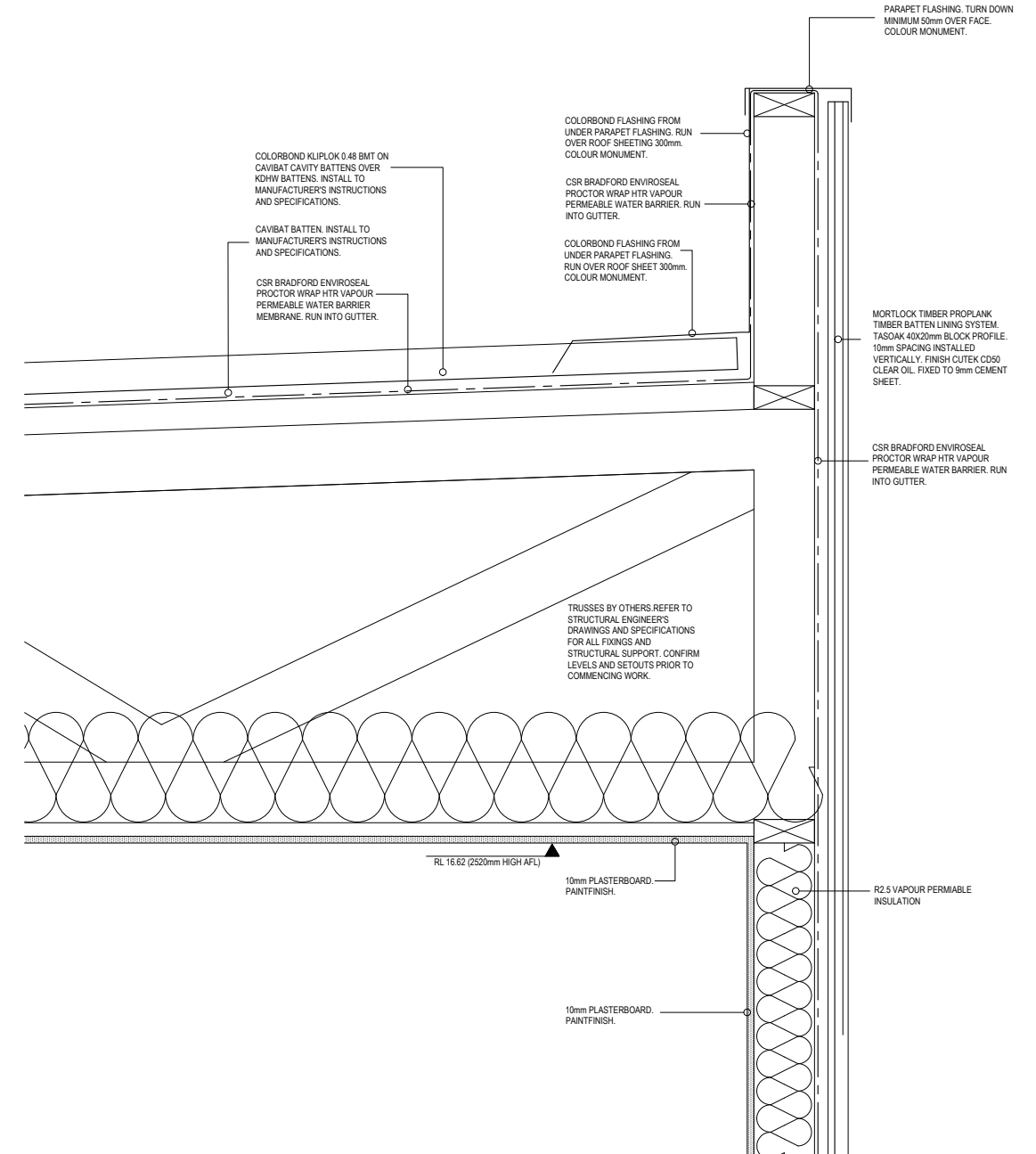
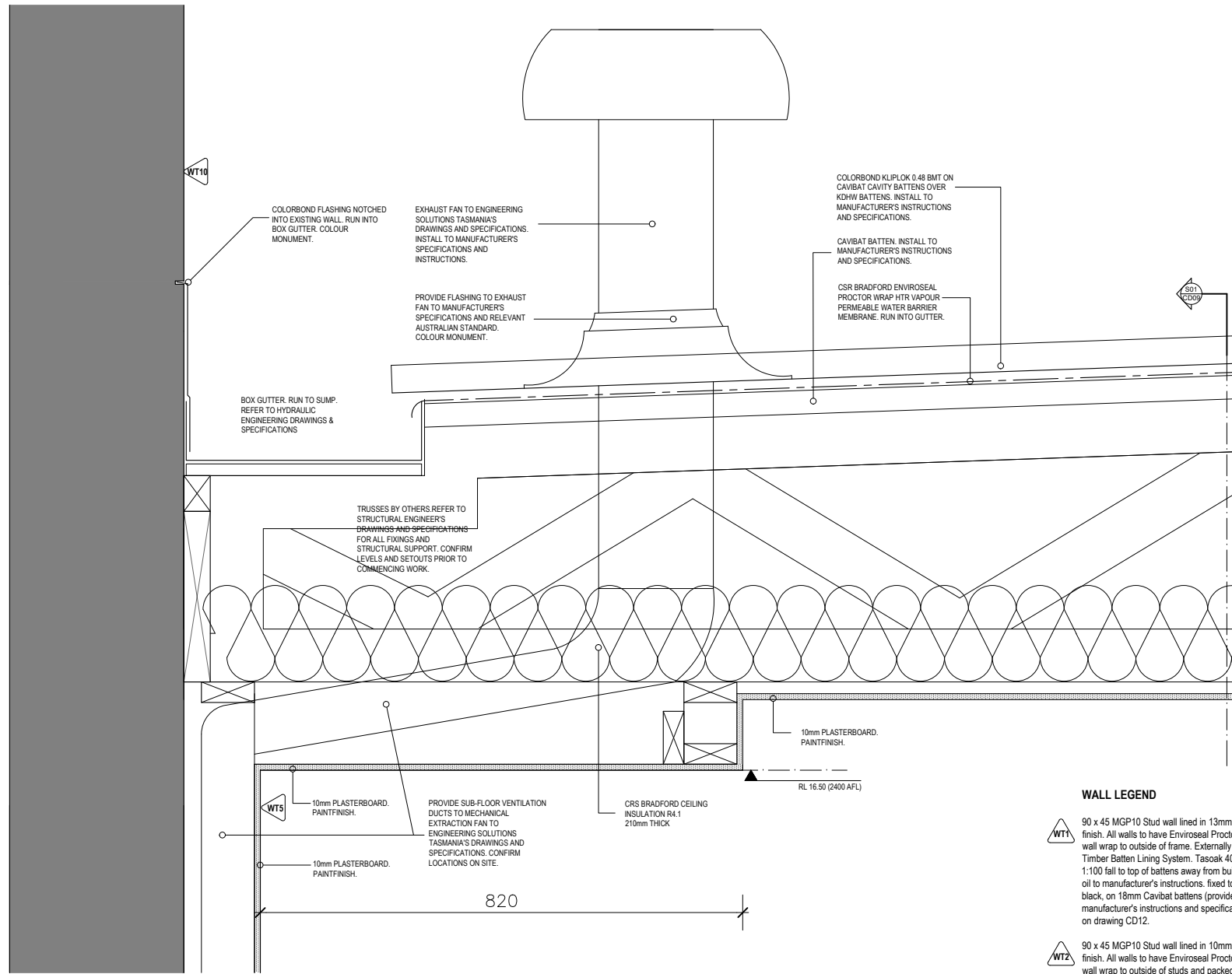
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DATE 20.01.25	1:10 @A3
PROJECT NO. 2406	DRWN NO. REV.
	<b>CD12</b>

**CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT - IF IN DOUBT, ASK!**







**C05**  
**CD09**

**DETAIL SECTION - ROOF**

SCALE 1:5

**C06**  
**CD09**

**DETAIL SECTION - ROOF**

SCALE 1:5

**WALL LEGEND**

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- WT3** 90 x 45 MGP10 Stud wall lined in 13mm plasterboard internally. Paint finish. All walls to have Enviroseal Proctor Wrap RW vapour permeable wall wrap to outside of frame. Externally Mortlock Timber Proplank Timber Batten Lining System. Tasoak 40x20mm block profile. Create 1:100 fall to top of battens away from building. Finish Cutek CD50 clear oil to manufacturer's instructions. fixed to 9mm cement sheet, paint black, on 18mm Cavitbat battens (provide ventilation cavity), installed to manufacturer's instructions and specifications. Refer Detail C02 & C03 on drawing CD12.
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- WT7** 90 x 45 MGP10 Stud wall lined in 13mm plasterboard. MR 10mm plasterboard to Unisex DDA Toilet. Paint finish. Walls to be packed with R2.0 Rockwool acoustic insulation where indicated with hatching. Refer to Structural Engineer's drawings & specifications.
- WT8** 90 x 45 MGP10 Stud wall lined in MR 10mm plasterboard to Unisex DDA Toilet. Paint finish. Produce services duct. Refer EST's drawings. Walls to be packed with R2.0 Rockwool acoustic insulation where indicated with hatching. Refer to Structural Engineer's drawings & specifications.
- WT9** 90 x 35 MGP10 Stud wall lined in 13mm plasterboard infill. Align to adjacent walls finished surfaces. Walls to be packed with R2.0 Rockwool acoustic insulation where indicated with hatching. Paint finish. Where wall is over 3 meters use 90 x 45 MGP10 stud.
- WT10** Make good existing wall where disrupted. Paint finish.
- WT11** Cavity wall for cavity slider. Line in 13mm plasterboard. Paint finish.
- WT12** 90 x 35 MGP10 Stud parapet wall to gutter of new roof over existing. All walls to have Enviroseal Proctor Wrap RW vapour permeable wall wrap to outside of studs. 9mm Cementel Barestone Ash concealed fixings to 18mm Cavitbat battens (provide ventilation cavity), installed to manufacturer's instructions and specifications. Clear finish to approval.

**loci** architecture + planning

Mobile: 0408 383 235 Email: loci.hobart@gmail.com  
**PO BOX 705 NORTH HOBART 7002**  
 Accreditation #: CC5364 H RAIA #: 48053

Project  
**Sorell Memorial Hall**  
**47 Cole Street, Sorell, TAS 7172**

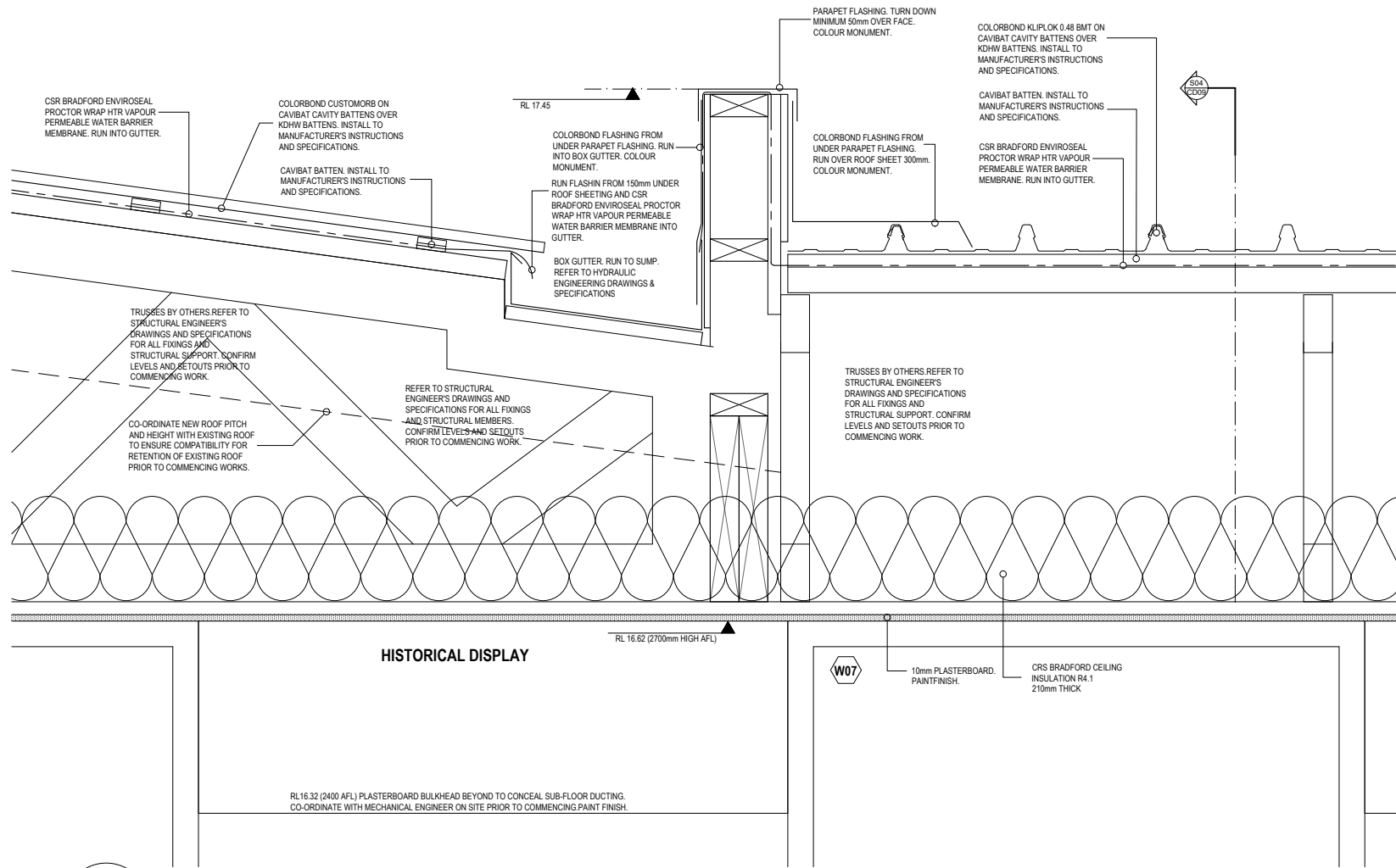
Client  
**Sorell Council**  
**47 Cole Street, Sorell, TAS 7172**

Drawing  
**CONSTRUCTION DETAILS 03**

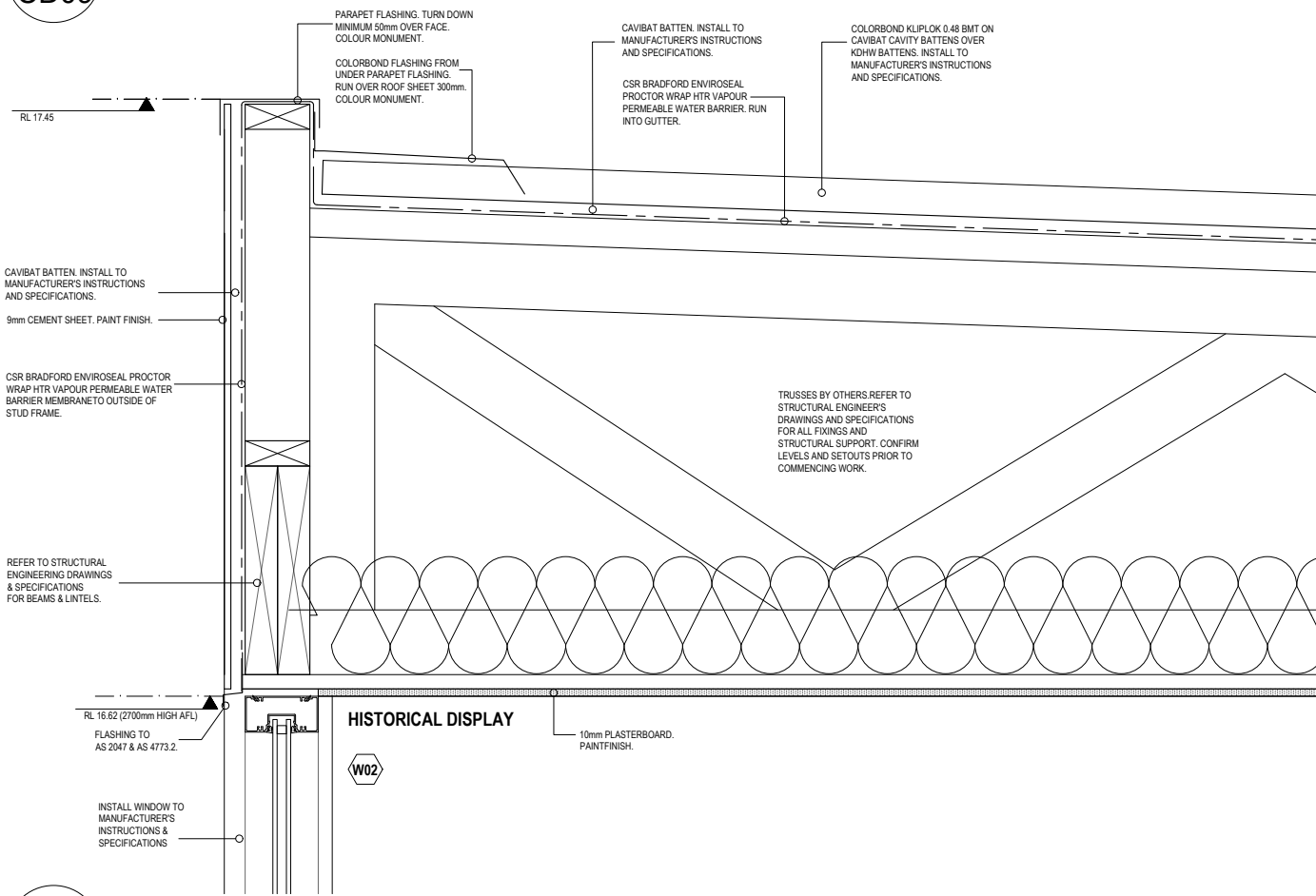
All work shall conform to the spec. & other relevant drawings. Figured dimensions take precedence over scaled dimensions. Check all dimensions on site. Shop drawings shall be submitted to this office for approval prior to the commencement of any fabrication

DRAWN BY J.B.		SCALE 1:5 @A1
DATE 20.01.25		1:10 @A3
PROJECT NO. 2406	DRAWN NO.	REV.
	<b>CD14</b>	

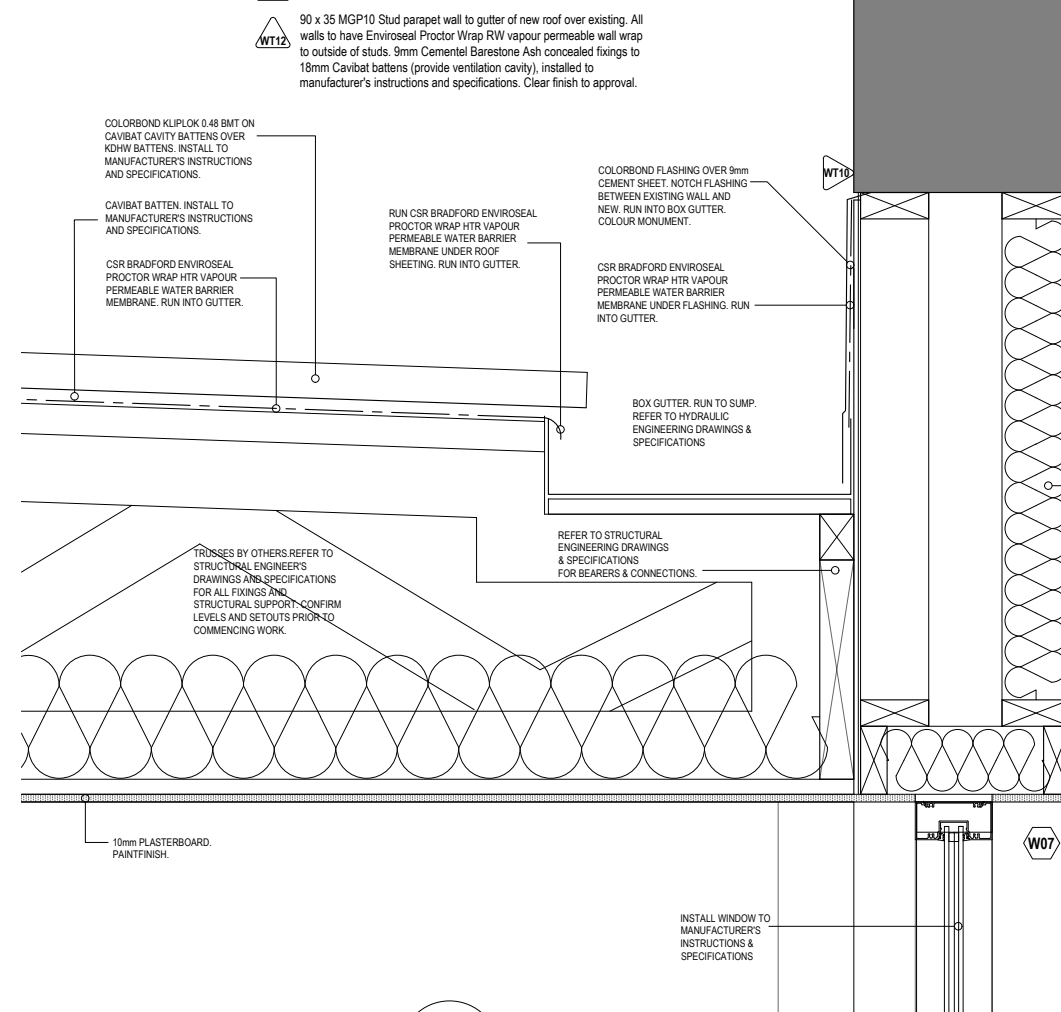
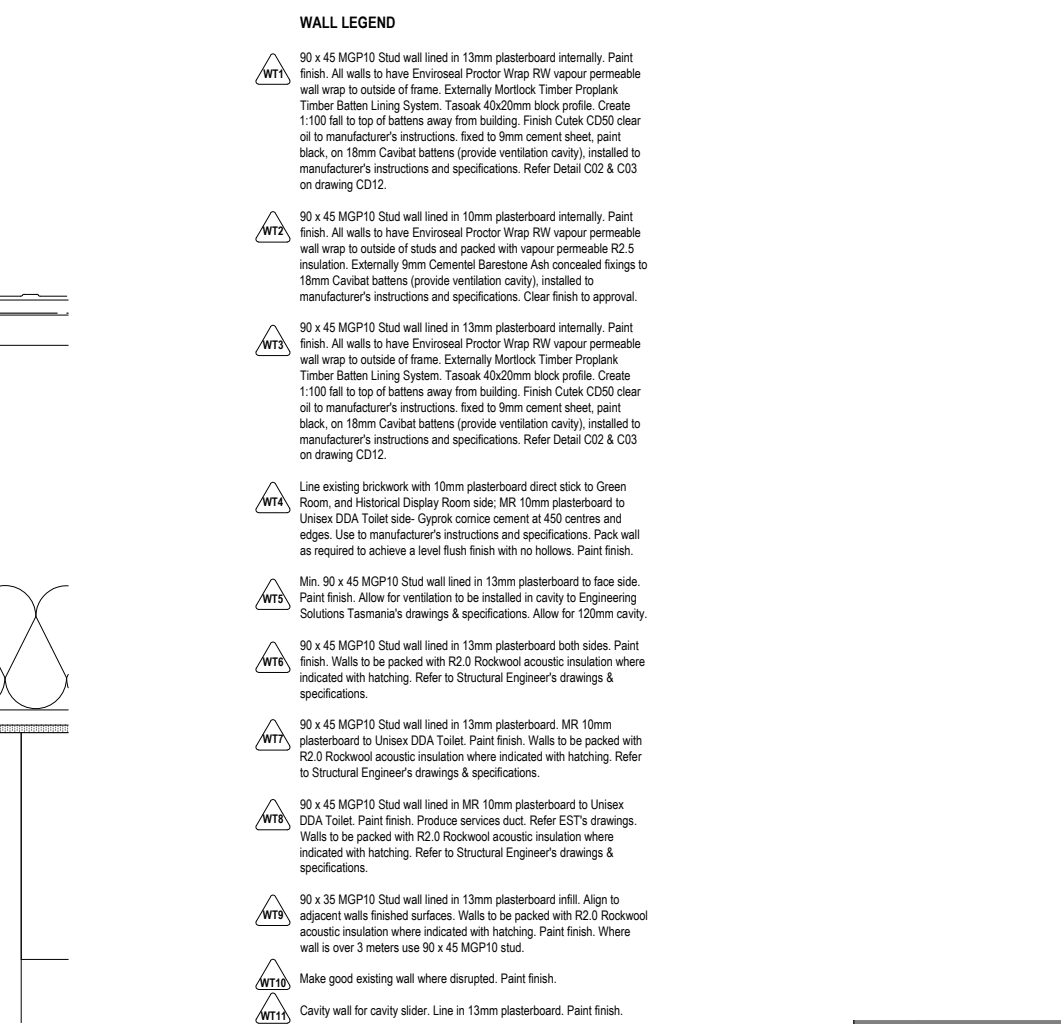
**CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT - IF IN DOUBT, ASK!**



**C07**  
**CD09**  
**DETAIL SECTION - ROOF JUNCTION**  
SCALE 1:5



**C08**  
**CD09**  
**DETAIL SECTION - ROOF**  
SCALE 1:5



**C09**  
**CD09**  
**DETAIL SECTION - ROOF**  
SCALE 1:5

DRAWING INDEX		
CONSTRUCTION DRAWINGS		
CD 01	CONSTRUCTION NOTES	NA
CD 02	EXISTING SITE PLAN	1:250
CD 03	EXISTING FULL BUILDING FLOOR PLAN	1:100
CD 04	EXISTING LOCALISED FLOOR PLAN	1:50
CD 05	PROPOSED SITE PLAN	1:250
CD 06	PROPOSED FULL BUILDING FLOOR PLAN	1:100
CD 07	PROPOSED LOCALISED FLOOR PLAN	1:50
CD 08	PROPOSED ELEVATIONS & ROOF PLAN	A5
CD 09	PROPOSED SECTIONS	1:50
CD 10	PROPOSED DOOR & WINDOW SCHEDULE	1:50
CD 11	PROPOSED UNISEX DDA TOILET	1:20
CD 12	CONSTRUCTION DETAILS 01	1:5
CD 13	CONSTRUCTION DETAILS 02	1:5
CD 14	CONSTRUCTION DETAILS 03	1:5
CD 15	CONSTRUCTION DETAILS 04	1:5
CD 16	CONSTRUCTION DETAILS 05	1:5
WHS 01	WHS REPORT	1:50

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PO BOX 705 NORTH HOBART 7002  
Accreditation #: CC5364 H RAlA #: 48053

Project  
**Sorell Memorial Hall**  
47 Cole Street, Sorell, TAS 7172  
Client  
**Sorell Council**  
47 Cole Street, Sorell, TAS 7172

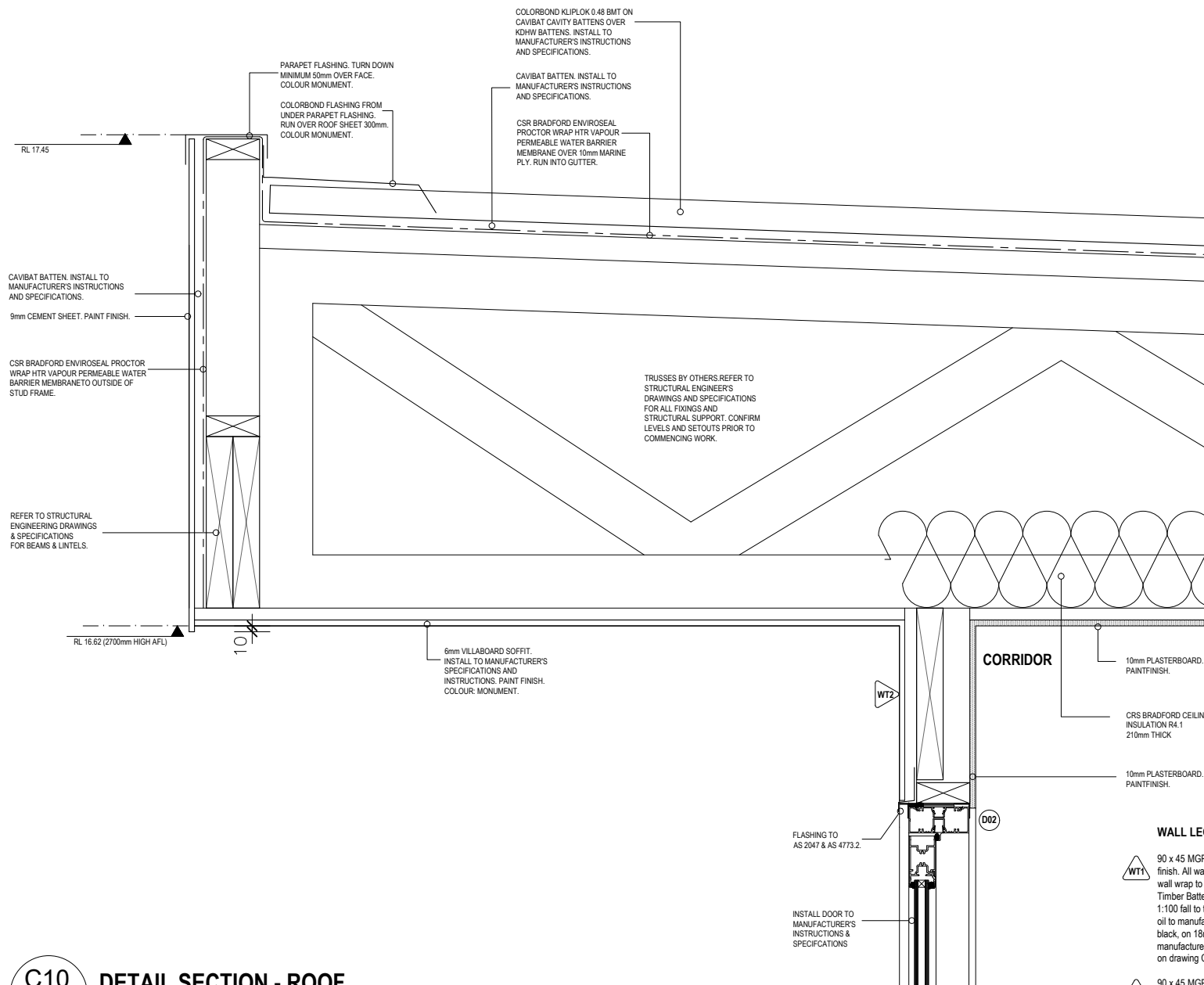
Drawing  
**CONSTRUCTION DETAILS 04**

All work shall conform to the spec. & other relevant drawings. Figured dimensions take precedence over scaled dimensions. Check all dimensions on site. Shop drawings shall be submitted to this office for approval prior to the commencement of any fabrication.

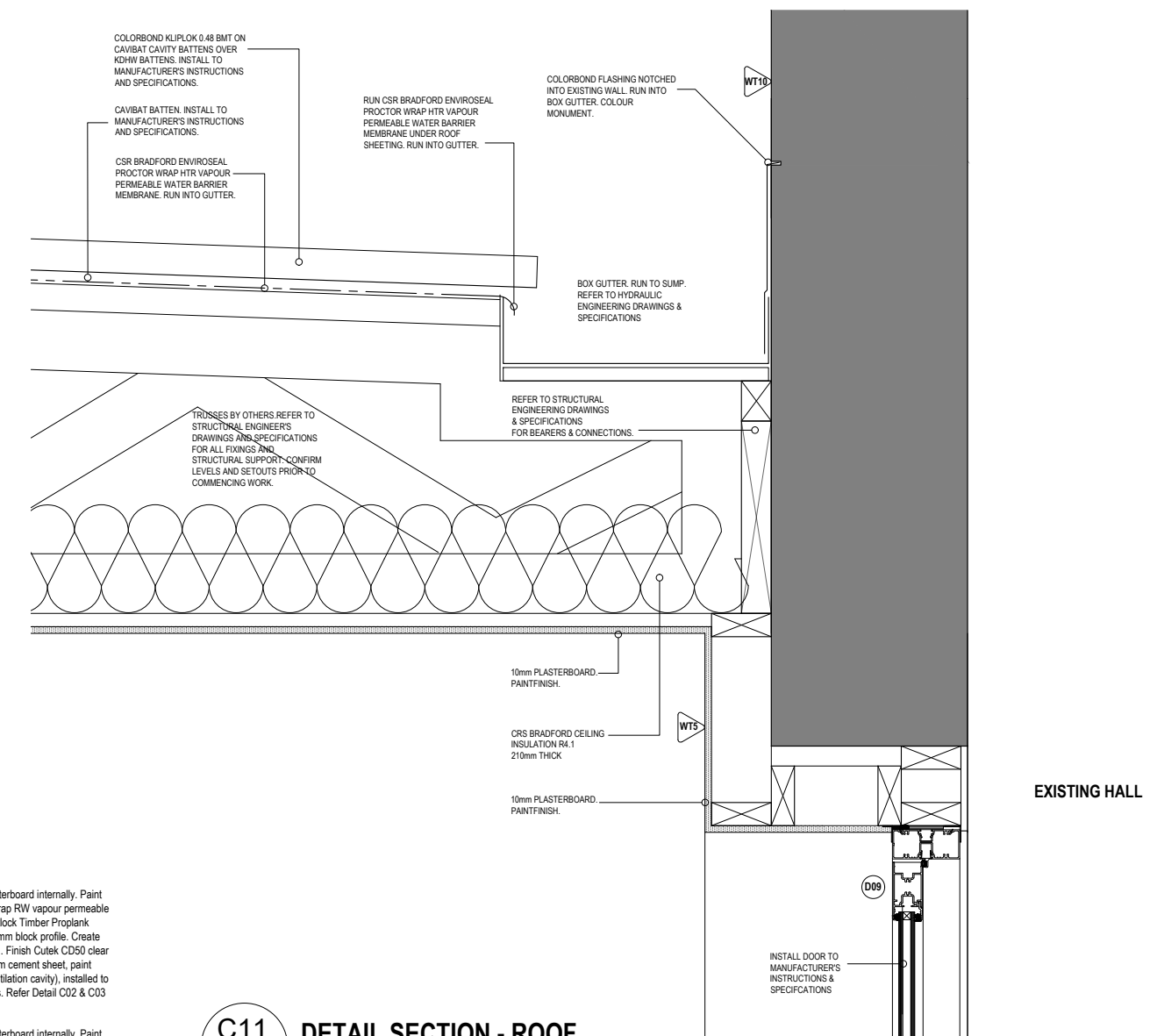
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DRAWN BY	J.B.	SCALE	1:5 @A1
DATE	20.01.25	1:10 @A3	
PROJECT NO.	2406	DRWN NO.	REV.
			<b>CD15</b>

CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT - IF IN DOUBT, ASK!



**C10**  
**CD09**  
**DETAIL SECTION - ROOF**  
SCALE 1:5



**C11**  
**CD09**  
**DETAIL SECTION - ROOF**  
SCALE 1:5

**WALL LEGEND**

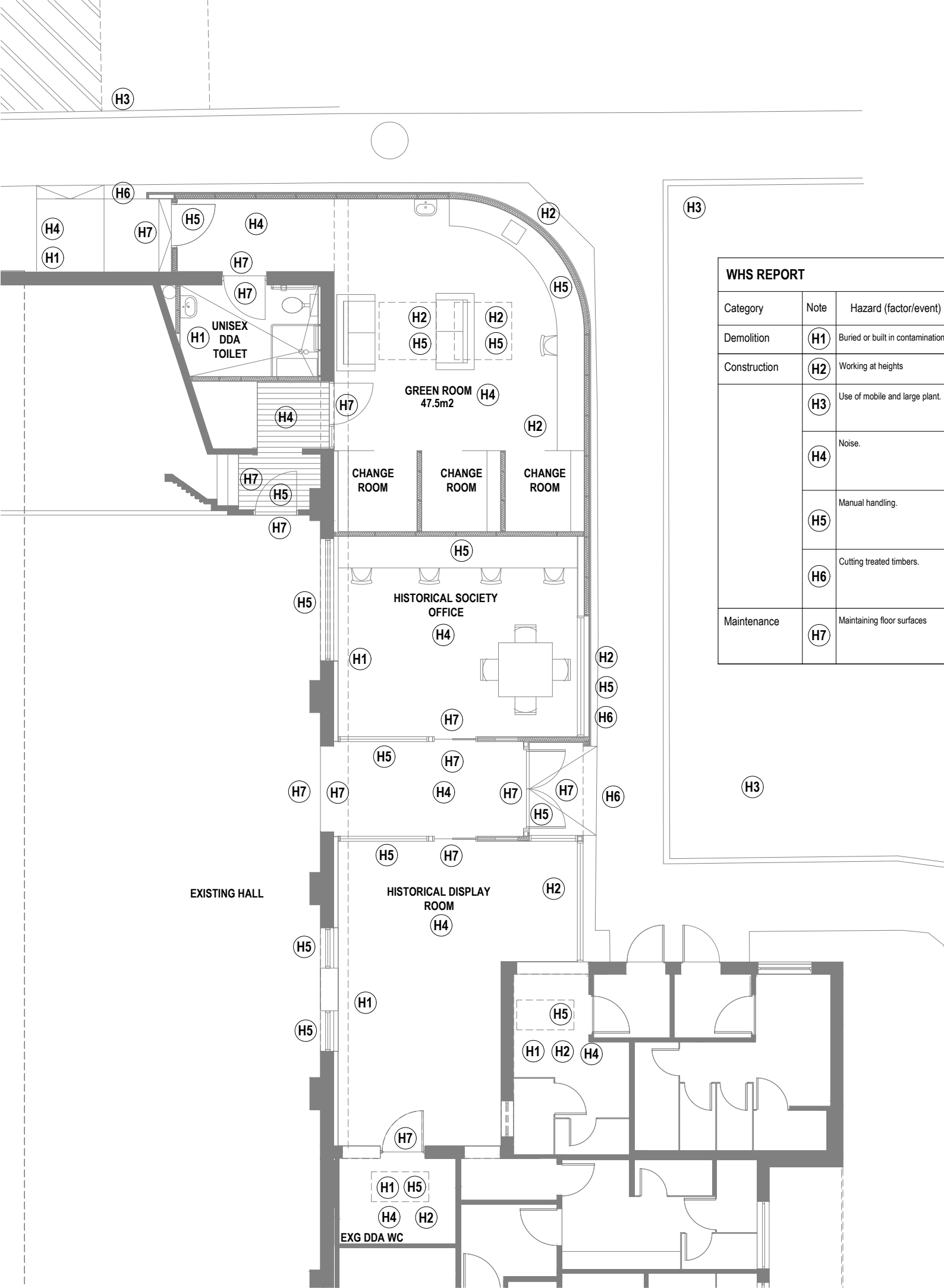
- WT1** 90 x 45 MGP10 Stud wall lined in 13mm plasterboard internally. Paint finish. All walls to have Enviroseal Proctor Wrap RW vapour permeable wall wrap to outside of frame. Externally Mortlock Timber Proplank Timber Batten Lining System. Tasoak 40x20mm block profile. Create 1:100 fall to top of battens away from building. Finish Cutek CD50 clear oil to manufacturer's instructions. fixed to 9mm cement sheet, paint black, on 18mm Cavibat battens (provide ventilation cavity), installed to manufacturer's instructions and specifications. Refer Detail C02 & C03 on drawing CD12.
- WT2** 90 x 45 MGP10 Stud wall lined in 10mm plasterboard internally. Paint finish. All walls to have Enviroseal Proctor Wrap RW vapour permeable wall wrap to outside of studs and packed with vapour permeable R2.5 insulation. Externally 9mm Cementel Barestone Ash concealed fixings to 18mm Cavibat battens (provide ventilation cavity), installed to manufacturer's instructions and specifications. Clear finish to approval.
- WT3** 90 x 45 MGP10 Stud wall lined in 13mm plasterboard internally. Paint finish. All walls to have Enviroseal Proctor Wrap RW vapour permeable wall wrap to outside of frame. Externally Mortlock Timber Proplank Timber Batten Lining System. Tasoak 40x20mm block profile. Create 1:100 fall to top of battens away from building. Finish Cutek CD50 clear oil to manufacturer's instructions. fixed to 9mm cement sheet, paint black, on 18mm Cavibat battens (provide ventilation cavity), installed to manufacturer's instructions and specifications. Refer Detail C02 & C03 on drawing CD12.
- WT4** Line existing brickwork with 10mm plasterboard direct stick to Green Room, and Historical Display Room side; MR 10mm plasterboard to Unisex DDA Toilet side. Gyprok cornice cement at 450 centres and edges. Use to manufacturer's instructions and specifications. Pack wall as required to achieve a level flush finish with no hollows. Paint finish.
- WT5** Min. 90 x 45 MGP10 Stud wall lined in 13mm plasterboard to face side. Paint finish. Allow for ventilation to be installed in cavity to Engineering Solutions Tasmania's drawings & specifications. Allow for 120mm cavity.
- WT6** 90 x 45 MGP10 Stud wall lined in 13mm plasterboard both sides. Paint finish. Walls to be packed with R2.0 Rockwool acoustic insulation where indicated with hatching. Refer to Structural Engineer's drawings & specifications.
- WT7** 90 x 45 MGP10 Stud wall lined in 13mm plasterboard. MR 10mm plasterboard to Unisex DDA Toilet. Paint finish. Walls to be packed with R2.0 Rockwool acoustic insulation where indicated with hatching. Refer to Structural Engineer's drawings & specifications.
- WT8** 90 x 45 MGP10 Stud wall lined in MR 10mm plasterboard to Unisex DDA Toilet. Paint finish. Produce services duct. Refer EST's drawings. Walls to be packed with R2.0 Rockwool acoustic insulation where indicated with hatching. Refer to Structural Engineer's drawings & specifications.
- WT9** 90 x 35 MGP10 Stud wall lined in 13mm plasterboard infill. Align to adjacent walls finished surfaces. Walls to be packed with R2.0 Rockwool acoustic insulation where indicated with hatching. Paint finish. Where wall is over 3 meters use 90 x 45 MGP10 stud.
- WT10** Make good existing wall where disrupted. Paint finish.
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**loci** architecture + planning  
 Mobile: 0408 383 235 Email: loci.hobart@gmail.com  
**PO BOX 705 NORTH HOBART 7002**  
 Accreditation #: CC5364 H R AIA #: 48053  
 Project  
**Sorell Memorial Hall**  
**47 Cole Street, Sorell, TAS 7172**  
 Client  
**Sorell Council**  
**47 Cole Street, Sorell, TAS 7172**  
 Drawing  
**CONSTRUCTION DETAILS 05**

All work shall conform to the spec. & other relevant drawings. Figured dimensions take precedence over scaled dimensions. Check all dimensions on site. Shop drawings shall be submitted to this office for approval prior to the commencement of any fabrication.  
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DRAWN BY J.B.	SCALE 1:5 @A1
DATE 20.01.25	1:10 @A3
PROJECT NO. 2406	REV.
DRAWN NO.	<b>CD16</b>

CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT - IF IN DOUBT, ASK!



WHS REPORT				Before control				After control		
Category	Note	Hazard (factor/event)	Consequence Description	Likelihood	Consequence	Uncontrolled Risk Rating	Control Measure	Likelihood	Consequence	Controlled Risk Rating
Demolition	H1	Buried or built in contamination	Immediate or long term health problems.	Rare	Extreme	Moderate		Rare	Extreme	Moderate
Construction	H2	Working at heights	Fall from height. Serious injury.	Unlikely	Extreme	High	Work in accordance with Safe Work Australia Preventing Falls in Housing Construction Code of Practice.	Extremely Rare	Extreme	Low
	H3	Use of mobile and large plant.	While moving or turning, a vehicle hits an unprotected worker. Serious injury or death.	Unlikely	Catastrophic	Extreme	Work in accordance with Safe Work Australia Managing the Risks of Plant in the Workplace Code of Practice.	Extremely Rare	Catastrophic	Moderate
	H4	Noise.	Hearing loss from prolonged exposure to noise levels generated by tools and equipment.	Possible	Major	High	Wear appropriate PPE.	Rare	Major	Low
	H5	Manual handling.	Heavy load can cause sprains, strains, back injuries or fractures and abrasions if dropped	Possible	Minor	Moderate	Utilise correct lifting procedures and load restrictions. Work in accordance with Safe Work Australia Hazardous Manual Tasks Code of Practice.	Unlikely	Minor	Low
	H6	Cutting treated timbers.	Workers may inhale toxic materials over a long period of time and sustain long term illness.	Possible	Major	High	Wear appropriate PPE.	Rare	Major	Low
Maintenance	H7	Maintaining floor surfaces	Unmaintained floor surfaces, overtime, can develop trip hazards resulting in sprains, abrasion or fractures.	Rare	Minor	Moderate	Monitor and repair wear to floor finishes.	Extremely Rare	Minor	Extremely Low

**General Notes:**

- Comply with relevant Australian Standards and BCA at all times.
- Comply with relevant Work Safe Codes of Practice at all times.
- If an unidentified safety hazard is identified on site consult site specific SMP prior to proceeding.
- ensure electrical cords do not exceed the maximum length as stated in Table 1 of AS3012
- Hazard notes apply both specifically and generally.
- Contractor & Trades to apply general experience and/or specific expertise to any safety hazard on site.
- Work in accordance with the *Work Health and Safety Act 2012* at all times.
- Work in accordance with Safe Work Australia Construction Work Code of Practice.

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 PO BOX 705 NORTH HOBART 7002  
 Accreditation #: CG5364 H RAIA #: 48053

Project  
**Sorell Memorial Hall**  
 47 Cole Street, Sorell, TAS 7172

Client  
**Sorell Council**  
 47 Cole Street, Sorell, TAS 7172

Drawing  
**WHS REPORT**

All work shall conform to the spec. & other relevant drawings. Figured dimensions take precedence over scaled dimensions. Check all dimensions on site. Shop drawings shall be submitted to this office for approval prior to the commencement of any fabrication.

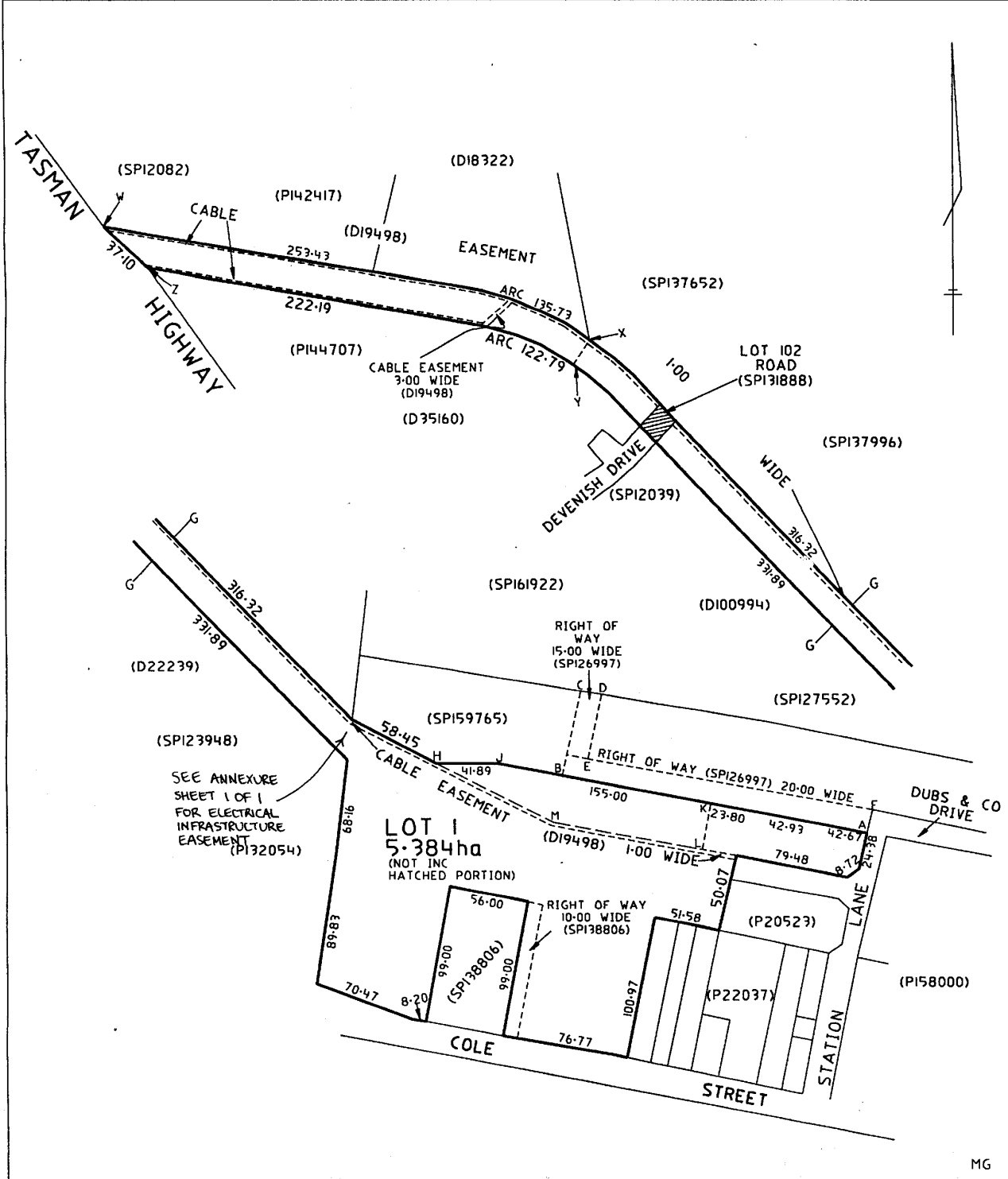
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DATE 20.01.25	1:100 @A3
PROJECT NO. 2406	DRWN NO. WHS01
	REV.

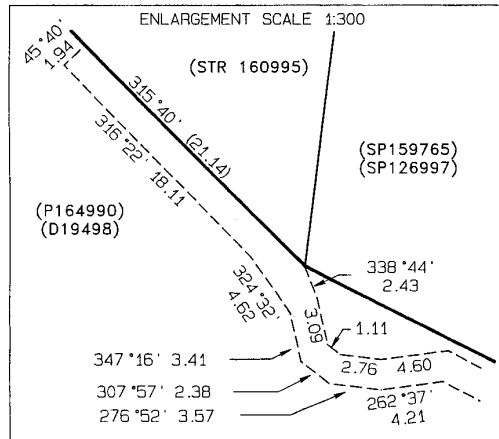
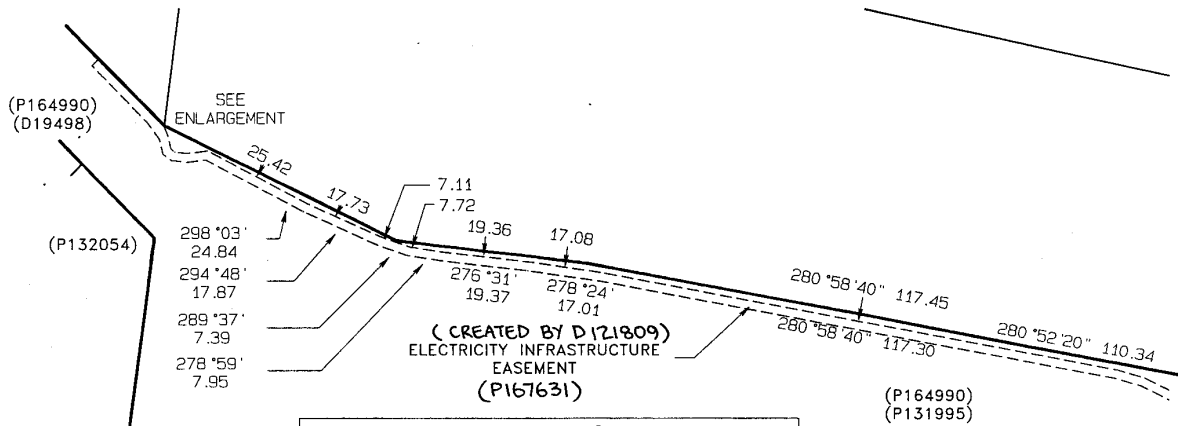
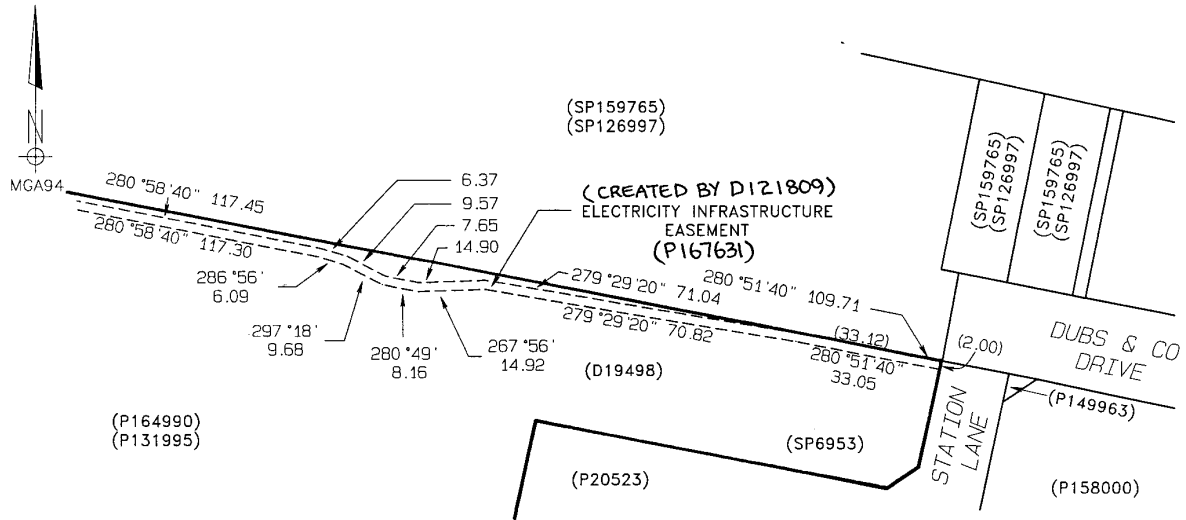
CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT - IF IN DOUBT, ASK!



<b>OWNER</b>  FOLIO REFERENCE 6953/1 126997/2 6953/2 131995/1 20523/4 138806/2  GRANTEE PART OF 120A GTD TO JAMES JACKSON & PART OF 7A 3R 0 1/2 P GTD TO THE WARDEN ETC OF SORELL.		<b>PLAN OF TITLE</b>  LOCATION TOWN OF SORELL  FIRST SURVEY PLAN No. PEM 1/21 PEM 8/48  COMPILED BY LTO  SCALE 1: 2500      LENGTHS IN METRES		Registered Number  <b>P.164990</b>  APPROVED 18 DEC 2012  <i>Alice Kawa</i> Recorder of Titles
MAPSHEET MUNICIPAL CODE No. 124 (5426-42)	LAST UPI No JWG63, JWX61, JWX60 JWX58, FJE57, JWK65	LAST PLAN No. SPI38806 PI31995, SPI26997, SP6953, P20253	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN	



<p><b>PLAN OF SURVEY ANNEXURE SHEET</b></p> <p>SHEET 1 OF 1 SHEETS</p>	<p>OWNER SORELL COUNCIL</p> <p>FOLIO REFERENCE</p> <p>SCALE 1:1000      LENGTH IN METRES</p>	<p>Registered Number</p> <p><b>P 164990</b></p>
<p>SIGNED FOR IDENTIFICATION PURPOSES</p> <p>_____ Date _____</p> <p>Council Delegate</p>	<p>THIS ANNEXURE SHEET FORMS PART OF THE ATTACHED INDEX PLAN. THE SURVEYORS CERTIFICATE EXTENDS TO THE DETAILS ON THIS SHEET</p> <p>_____ Date _____</p> <p>Registered Land Surveyor</p>	<p>APPROVED EFFECTIVE FROM .....</p> <p>_____ Date _____</p> <p>Recorder of Titles</p>



SEARCH OF TORRENS TITLE

VOLUME 164990	FOLIO 1
EDITION 2	DATE OF ISSUE 31-Mar-2015

SEARCH DATE : 20-Jan-2023

SEARCH TIME : 08.10 AM

DESCRIPTION OF LAND

Town of SORELL  
 Lot 1 on Plan 164990  
 Derivation : and Part of 120 Acred Std to James Jackson and  
 Part of Lot 27153 Gtd. to the Sorell Council  
 Prior CTs 6953/1, 6953/2, 126997/2, 131995/1, 20523/4 and  
 138806/2

SCHEDULE 1

124926 B57031 C9255      TRANSFER to SORELL COUNCIL      Registered  
 14-Mar-1997 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
 BURDENING EASEMENT: Right of Carriageway [appurtenant to the  
 land comprised in Certificate of Title Volume 3990  
 Folio 23) over the land marked W.X.Y.Z. on Plan No  
 164990  
 BURDENING EASEMENT: (appurtenant to the land comprised in  
 Certificate of Title Volume 3990 Folio 23) a full and  
 free right and liberty for the Hydro Electric  
 Commission (herein called "the Transferee") to lay  
 and maintain cables for the transmission of  
 electrical energy under and along the "Cable  
 Easements 1.00 wide and 3.00 wide" shown on Plan No.  
 164990 herein called the "said strip of land") with  
 the right for the Transferee its servants workmen and  
 others authorised by it at all times to enter into  
 and upon the said strips of land for the purpose of  
 laying inspecting repairing and maintaining any such  
 cables without doing unnecessary damage to the said  
 strips of land and making good all damage occasioned  
 thereby.  
 SP138806 BURDENING EASEMENT: a right of carriageway  
 (appurtenant to Lot 1 on Sealed Plan 138806) over the  
 land marked Right of Way 10.00 wide on Plan 164990  
 SP126997 BENEFITING EASEMENT:(appurtenant to the land marked

LMHJBK on Plan 164990) a right of carriageway over the lands marked Right of Way 15.00 and 20.00 wide marked ABCDEF on Plan 164990

SP114725, SP117742 & SP126997 COVENANTS in Schedule of Easements

SP110882, SP114725, SP117742 & SP126997 FENCING COVENANT in Schedule of Easements

SP110882 WATER SUPPLY RESTRICTION

D72123 ADHESION ORDER under Section 110 of the Local Government (Building and Miscellaneous Provisions) Act 1993 Registered 08-Jan-2013 at noon

D121809 BURDENING EASEMENT: Electricity Infrastructure Easement with the benefit of a restriction as to user of land in favour of Aurora Energy Pty Ltd over the Electricity Infrastructure Easement shown on Plan 164990 (subject to provisions therein) Registered 31-Mar-2015 at noon

#### UNREGISTERED DEALINGS AND NOTATIONS

NOTICE: This folio is affected as to amended covenants pursuant to Request to Amend No. C764507 made under Section 103 of the Local Government (Building and Miscellaneous Provisions) Act 1993. Search Sealed Plan No. 126997 Lodged by NAB on 29-Jan-2007 BP: C764505

This folio is affected as to amended covenants pursuant to Request to Amend No. E57490 made under Section 103 of the Local Government (Building and Miscellaneous Provisions) Act 1993. Search Sealed Plan No. 114725, 117742, 126997 & 159765 Lodged by MURDOCH CLARKE on 14-Oct-2016 BP: E57490

# CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94  
Section 106  
Section 129  
Section 155

To:  *Owner name*  
 *Address*  
  *Suburb/postcode*

Form **35**

## Designer details:

Name:  *Category:*   
 Business name:  *Phone No:*   
 Business address:   
  *Fax No:*   
 Licence No:  *Email address:*

## Details of the proposed work:

**Owner/Applicant**  *Designer's project reference No.*   
**Address:**  *Lot No:*   
   
**Type of work:** Building work  Plumbing work  *(X all applicable)*

## Description of work:

*(new building / alteration / addition / repair / removal / re-erection / water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)*

## Description of the Design Work (Scope, limitations or exclusions): *(X all applicable certificates)*

Certificate Type:	Certificate	Responsible Practitioner
	<input checked="" type="checkbox"/> Building design	Architect or Building Designer
	<input type="checkbox"/> Structural design	Engineer or Civil Designer
	<input type="checkbox"/> Fire Safety design	Fire Engineer
	<input type="checkbox"/> Civil design	Civil Engineer or Civil Designer
	<input type="checkbox"/> Hydraulic design	Building Services Designer
	<input type="checkbox"/> Fire service design	Building Services Designer
	<input type="checkbox"/> Electrical design	Building Services Designer
	<input type="checkbox"/> Mechanical design	Building Service Designer
	<input type="checkbox"/> Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
	<input type="checkbox"/> Other (specify)	

Deemed-to-Satisfy:  Performance Solution:  *(X the appropriate box)*

Other details:

<b>Design documents provided:</b>	
-----------------------------------	--

The following documents are provided with this Certificate –

*Document description:*

Drawing numbers: CD02, CD03, CD04, CD05, CD06, CD07, CD08, CD09, CD11, CD12, CD13, CD14, CD15, CD16.	Prepared by: Loci Architecture & Planning	Date: 20.01.2025
Schedules: CD10.	Prepared by: Loci Architecture & Planning	Date: 20.01.2025
Specifications: CD01, WHS01,	Prepared by: Loci Architecture & Planning	Date: 20.01.2025
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by:	Date:

<b>Standards, codes or guidelines relied on in design process:</b>	
--	--

NCC2022

<b>Any other relevant documentation:</b>	
--	--


Assa Abloy – Door Hardware Schedule  
Reece – Fitting & Fixtures Schedule

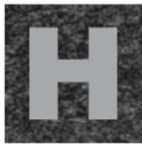
<b>Attribution as designer:</b>	
---------------------------------	--

I Jonathan Blood am responsible for the design of that part of the work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	Jonathan Blood		20.01.2025
Licence No:	CC5364 H		



# Holdfast Pty Ltd

38 Burnett Street, North Hobart Tas, 7000  
Ph: 6231 5717  
Fax: 6231 2340  
Email: admin@holdfasttas.com

## BUILDING WORK

Use this form for:

## Notice of Work

Application for a Certificate of Likely Compliance

Application for a Building Permit

Section 97

Section 130

Section 139

To:  *Building Surveyor*  
 *Address*  
  *Suburb/postcode*

Form **2**

Application for  
(X applicable): Permit  Certificate of Likely Compliance  Notice of Work   
Certificate of Completion\*  (X to grant approval for Certificate to be issued following final inspection)

\*Standard of Work Certificate and applicable fees must be submitted prior to Certificate of Completion being issued, in accordance with section 203 or section 127 of the *Building Act 2016*.

### Applicant/Owner details:

*Note: Only an owner or agent of the owner may make an application*

Owner:  Contact person:   
Address:  Phone No:   
  Fax No:

Email:

Owner builder: Yes:  (X if applicable) Registration No:

Agent\*:  Contact person:   
Address:  Phone No:   
  Fax No:

\*Agents to be authorised in writing by the owner Email:

### Building Surveyor details:

Building Surveyor:  Category:   
Address:  Phone No:   
  Fax No:

Licence No:  Email:

### Details of building work:

Type of work (X applicable): Permit work  Notifiable work  Protection work   
*Building Act 2016: Part 6*  
Planning approval (X applicable): Discretionary use  Permitted use  Exempt   
Plumbing approval (X applicable): Lodged  Received  Exempt

Address:  Lot No:

Address:   Certificate of Title No:

Description of work:  (new building / alteration / addition / repair / re-erection / other)

Use of building:  main use Building class:

Has any building work been performed on the building since 1 January 2017? Yes:  No:

If yes, please submit copies of the Building permit and associated documentation for the previous work

**Other details:**

Area: m<sup>2</sup> existing building floor:  new floor:  land:

Material: floor:  walls:  roof:  frame:

Value of work: \$  [inclusive of GST] contract price:  estimate:  No. of dwelling units:

**Building Services Provider details:**

**Architectural – Designer:**  Category:

Business name:

Business address:  Phone No:   
  Fax No:

Licence No:  Email:

**Engineer – Designer:**  Category:

Business name:

Business address:  Phone No:   
  Fax No:

Licence No:  Email:

**Services – Designer:**  Category:

Business name:

Business address:  Phone No:   
  Fax No:

Licence No:  Email:

**Builder:**  Category:

Business name:

Business address:  Phone No:   
  Fax No:

Licence No:  Email:

**Documents and certificates provided:**

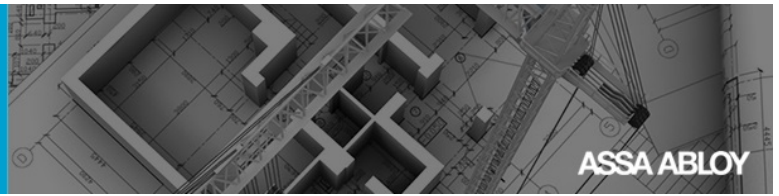
The following specified documents and certificates are provided with this application -

<i>Document or certificate description:</i>	<i>Prepared by: (Licence No. if applicable)</i>
3 Copies of documents specified in the Director’s Specified List	

The building work will be carried out in accordance with the **Building Act 2016, the Building Regulations 2016 and the National Construction Code.**

<b>Owner/Agent:</b> <small>(Delete one not applicable)</small>	<i>Name: [print]</i>	<i>Signed:</i>	<i>Date:</i>
<input type="text" value="Anthony Walters of Sorell Council"/>		<input type="text"/>	<input type="text" value="12.06.2025"/>





## Cover Letter | Door Hardware Schedule

**Project Name:** SORELL MEMORIAL HALL  
**Project ID:** 97819 (23-01-2025)  
**Revision Note:**  
**Project Address:** 47 Cole Rd SORELL VIC 7172 AUSTRALIA  
**Keying System:** Extension of Existing System  
**Architect Company:** LOCI ARCHITECTURE & PLANNING  
**Architect Project ID:** 2406  
**Consultant:** Heath Scott

**This schedule is based on the following documentation.**

### Project Comments:

Spence Doors, an ASSA ABLOY group company, can provide a full compliant solution for rated and non-rated door and frame requirements excluding aluminium solutions.

ASSA ABLOY Hardware specified within this project is compatible with applicable Spence door applications (at time of production of this documentation).

For questions concerning details of the Spence doors and frames, their specifications, and their utilisation, please contact Spence Doors [projectenquiry.spencedoors@assaabloy.com](mailto:projectenquiry.spencedoors@assaabloy.com). Alternatively visit [www.spencedoors.com.au](http://www.spencedoors.com.au).

# Door Hardware Schedule

**ASSA ABLOY**

Opening Solutions

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Project Name: SORELL MEMORIAL HALL  
Schedule No: 97819

Item	Qty	Description	Brand	Finish
<b>Mark:</b> D01	<b>To/From Room:</b>	ENTRY		
<b>Door Type:</b> ALUMINIUM		<b>Frame Type:</b> ALUMINIUM		
AH130CAN	4	FAST FIX COMMERCIAL ALUMINIUM HINGE CAN	LOCKWOOD	CAN
3772V-SS	1	3772 - ANTI-VANDAL ESCAPE LOCK	LOCKWOOD	
3772-AFKITSS	1	3772 ALUMINIUM DOOR FIXING CONVERSION KIT	LOCKWOOD	SS
570MK	1	570 MASTER KEYED CYLINDER TO MATCH CLIENTS SYSTEM	OTHER	NONE
1801/70SC	1	1801 SQUARE END PLATE WITH CYLINDER HOLE & 70 LEVER	LOCKWOOD	SC
1905/70SC	1	1905 SQUARE END PLATE WITH 70 LEVER	LOCKWOOD	SC
2616-104SIL	1	2616 SERIES ANGLED MOUNTING PLATE	LOCKWOOD	SIL
2615DASIL	1	2615 SERIES CAM ACTION DOOR CLOSER SIZE 1-5 DELAYED	LOCKWOOD	SIL
A350SC	1	A350 WALL MOUNTED DOOR STOP TP	LOCKWOOD	SC
LAS8001/0920/S	1	DROP SEAL MORTICE 0920 SIL SQUARE END PLATE	LORIENT	SIL
<b>Mark:</b> D02	<b>To/From Room:</b>	ENTRY		
<b>Door Type:</b> ALUMINIUM		<b>Frame Type:</b> ALUMINIUM		
AH130CAN	8	FAST FIX COMMERCIAL ALUMINIUM HINGE CAN	LOCKWOOD	CAN
3772V-SS	1	3772 - ANTI-VANDAL ESCAPE LOCK	LOCKWOOD	
3772-AFKITSS	1	3772 ALUMINIUM DOOR FIXING CONVERSION KIT	LOCKWOOD	SS
570MK	1	570 MASTER KEYED CYLINDER TO MATCH CLIENTS SYSTEM	OTHER	NONE
1801/70SC	1	1801 SQUARE END PLATE WITH CYLINDER HOLE & 70 LEVER	LOCKWOOD	SC
1905/70SC	1	1905 SQUARE END PLATE WITH 70 LEVER	LOCKWOOD	SC
781X600SC	1	CONCEALED FIX PANIC BOLT 600MM TP	LOCKWOOD	SC
781X300SC	1	CONCEALED FIX PANIC BOLT 300MM TP	LOCKWOOD	SC
2616DASIL	2	2616 SERIES CAM ACTION CLOSER WITH DELAYED ACTION	LOCKWOOD	SIL
2616-104SIL	2	2616 SERIES ANGLED MOUNTING PLATE	LOCKWOOD	SIL
2616-153	2	2616 SERIES OPENING DAMPER	LOCKWOOD	
2616-152	2	2616 SERIES HOLD OPEN DEVICE	LOCKWOOD	
LAS8001/0920/S	2	DROP SEAL MORTICE 0920 SIL SQUARE END PLATE	LORIENT	SIL
<b>Mark:</b> D03	<b>To/From Room:</b>	ACC WC & SHOWER		
<b>Door Type:</b> SOLID CORE		<b>Frame Type:</b> TIMBER		
LW10075BBSSS	4	HINGES 100X75X2.5 BALL BEARING SSS PK=30	LOCKWOOD	SSS
3772-TASS	1	3772 - ANTI-LOCKOUT ESCAPE LOCK WITH TURN	LOCKWOOD	
1814/70SC	1	1814 SQUARE END PLATE WITH PRIVACY INDICATOR EMERGENCY TURN & 70 LEVER	LOCKWOOD	SC
1941/70SC	1	1941 SQUARE END PLATE PRIVACY IND DISABLED TURN & 70 LEVER	LOCKWOOD	SC
2616-153	1	2616 SERIES OPENING DAMPER	LOCKWOOD	
2615DASIL	1	2615 SERIES CAM ACTION DOOR CLOSER SIZE 1-5 DELAYED	LOCKWOOD	SIL
KP300XWIDTH	2	KICKPLATE 300MM X DOOR WIDTH	OTHER	

# Door Hardware Schedule

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Project Name: SORELL MEMORIAL HALL  
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Item	Qty	Description	Brand	Finish
<b>Mark:</b> D04		<b>To/From Room:</b> GREEN ROOM		
<b>Door Type:</b> ALUMINIUM		<b>Frame Type:</b> ALUMINIUM		
AH130CAN	4	FAST FIX COMMERCIAL ALUMINIUM HINGE CAN	LOCKWOOD	CAN
3772V-SS	1	3772 - ANTI-VANDAL ESCAPE LOCK	LOCKWOOD	
3772-AFKITSS	1	3772 ALUMINIUM DOOR FIXING CONVERSION KIT	LOCKWOOD	SS
570MK	1	570 MASTER KEYED CYLINDER TO MATCH CLIENTS SYSTEM	OTHER	NONE
1801/70SC	1	1801 SQUARE END PLATE WITH CYLINDER HOLE & 70 LEVER	LOCKWOOD	SC
1905/70SC	1	1905 SQUARE END PLATE WITH 70 LEVER	LOCKWOOD	SC
2616-153	1	2616 SERIES OPENING DAMPER	LOCKWOOD	
2615DASIL	1	2615 SERIES CAM ACTION DOOR CLOSER SIZE 1-5 DELAYED	LOCKWOOD	SIL
<b>Mark:</b> D06		<b>To/From Room:</b> SOCIETY OFFICE		
<b>Door Type:</b> CAVITY SLIDER		<b>Frame Type:</b> OTHER		
SDT	1	REFER ARCHITECTS SPEC	OTHER	NONE
3573WTSCNCYLLS	1	SLIDING DOOR CYLINDER AND TURN DEADLOCK NO CYLINDER WITH LATCHING STRIKE	LOCKWOOD	SC
570MK	1	570 MASTER KEYED CYLINDER TO MATCH CLIENTS SYSTEM	OTHER	NONE
1226/ISC	1	SYMPHONY 1220 SERIES OVAL CYLINDER ESCUTCHEON - SURFACE FIX	LOCKWOOD	SC
1229/INSC	1	SYMPHONY 1220 SERIES DISABLE TURN ESCUTCHEON - SURFACE FIX	LOCKWOOD	SC
143X300SSS	1	143 ENTRANCE HANDLES WITH 300MM CENTRES	LOCKWOOD	SSS
<b>Mark:</b> D07		<b>To/From Room:</b> HISTORICAL DISPLAY ROOM		
<b>Door Type:</b> CAVITY SLIDER		<b>Frame Type:</b> OTHER		
SDT	1	REFER ARCHITECTS SPEC	OTHER	NONE
3573WTSCNCYLLS	1	SLIDING DOOR CYLINDER AND TURN DEADLOCK NO CYLINDER WITH LATCHING STRIKE	LOCKWOOD	SC
570MK	1	570 MASTER KEYED CYLINDER TO MATCH CLIENTS SYSTEM	OTHER	NONE
1226/ISC	1	SYMPHONY 1220 SERIES OVAL CYLINDER ESCUTCHEON - SURFACE FIX	LOCKWOOD	SC
1229/INSC	1	SYMPHONY 1220 SERIES DISABLE TURN ESCUTCHEON - SURFACE FIX	LOCKWOOD	SC
143X300SSS	1	143 ENTRANCE HANDLES WITH 300MM CENTRES	LOCKWOOD	SSS
<b>Mark:</b> D08		<b>To/From Room:</b> HISTORICAL DISPLAY ROOM		
<b>Door Type:</b> SOLID CORE		<b>Frame Type:</b> TIMBER		
LW10075FPSSS	3	HINGES 100X75X2.5 FIXED PIN SSS PK=30	LOCKWOOD	SSS
3772X-SS	1	3772 - KEY ENTRY ESCAPE LOCK	LOCKWOOD	
570MK	1	570 MASTER KEYED CYLINDER TO MATCH CLIENTS SYSTEM	OTHER	NONE
1801/70SC	1	1801 SQUARE END PLATE WITH CYLINDER HOLE & 70 LEVER	LOCKWOOD	SC
1905/70SC	1	1905 SQUARE END PLATE WITH 70 LEVER	LOCKWOOD	SC

# Door Hardware Schedule

**ASSA ABLOY**

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Project Name: SORELL MEMORIAL HALL  
Schedule No: 97819

Item	Qty	Description	Brand	Finish
<b>Mark:</b> D09		<b>To/From Room:</b> ENTRY		
<b>Door Type:</b> ALUMINIUM		<b>Frame Type:</b> ALUMINIUM		
AH130CAN	8	FAST FIX COMMERCIAL ALUMINIUM HINGE CAN	LOCKWOOD	CAN
3772V-SS	1	3772 - ANTI-VANDAL ESCAPE LOCK	LOCKWOOD	
3772-AFKITSS	1	3772 ALUMINIUM DOOR FIXING CONVERSION KIT	LOCKWOOD	SS
570MK	1	570 MASTER KEYED CYLINDER TO MATCH CLIENTS SYSTEM	OTHER	NONE
1801/70SC	1	1801 SQUARE END PLATE WITH CYLINDER HOLE & 70 LEVER	LOCKWOOD	SC
1905/70SC	1	1905 SQUARE END PLATE WITH 70 LEVER	LOCKWOOD	SC
781X600SC	1	CONCEALED FIX PANIC BOLT 600MM TP	LOCKWOOD	SC
781X300SC	1	CONCEALED FIX PANIC BOLT 300MM TP	LOCKWOOD	SC
2616DASIL	2	2616 SERIES CAM ACTION CLOSER WITH DELAYED ACTION	LOCKWOOD	SIL
2616-153	2	2616 SERIES OPENING DAMPER	LOCKWOOD	
2616-152	2	2616 SERIES HOLD OPEN DEVICE	LOCKWOOD	
LAS8001/0920/S	2	DROP SEAL MORTICE 0920 SIL SQUARE END PLATE	LORIENT	SIL
<b>Mark:</b> D10		<b>To/From Room:</b> TOILETS ENTRY		
<b>Door Type:</b> SOLID CORE		<b>Frame Type:</b> TIMBER		
LW10075BBSSS	4	HINGES 100X75X2.5 BALL BEARING SSS PK=30	LOCKWOOD	SSS
3772V-SS	1	3772 - ANTI-VANDAL ESCAPE LOCK	LOCKWOOD	
570MK	1	570 MASTER KEYED CYLINDER TO MATCH CLIENTS SYSTEM	OTHER	NONE
1801/70SC	1	1801 SQUARE END PLATE WITH CYLINDER HOLE & 70 LEVER	LOCKWOOD	SC
1905/70SC	1	1905 SQUARE END PLATE WITH 70 LEVER	LOCKWOOD	SC
2616DASIL	1	2616 SERIES CAM ACTION CLOSER WITH DELAYED ACTION	LOCKWOOD	SIL
2616-104SIL	1	2616 SERIES ANGLED MOUNTING PLATE	LOCKWOOD	SIL
2616-153	1	2616 SERIES OPENING DAMPER	LOCKWOOD	
A350SC	1	A350 WALL MOUNTED DOOR STOP TP	LOCKWOOD	SC
LAS8001/0920/S	1	DROP SEAL MORTICE 0920 SIL SQUARE END PLATE	LORIENT	SIL
<b>Mark:</b> D11		<b>To/From Room:</b> TOILETS ENTRY		
<b>Door Type:</b> SOLID CORE		<b>Frame Type:</b> TIMBER		
LW10075BBSSS	4	HINGES 100X75X2.5 BALL BEARING SSS PK=30	LOCKWOOD	SSS
3772V-SS	1	3772 - ANTI-VANDAL ESCAPE LOCK	LOCKWOOD	
570MK	1	570 MASTER KEYED CYLINDER TO MATCH CLIENTS SYSTEM	OTHER	NONE
1801/70SC	1	1801 SQUARE END PLATE WITH CYLINDER HOLE & 70 LEVER	LOCKWOOD	SC
1905/70SC	1	1905 SQUARE END PLATE WITH 70 LEVER	LOCKWOOD	SC
2616DASIL	1	2616 SERIES CAM ACTION CLOSER WITH DELAYED ACTION	LOCKWOOD	SIL
2616-104SIL	1	2616 SERIES ANGLED MOUNTING PLATE	LOCKWOOD	SIL
2616-153	1	2616 SERIES OPENING DAMPER	LOCKWOOD	
A350SC	1	A350 WALL MOUNTED DOOR STOP TP	LOCKWOOD	SC
LAS8001/0920/S	1	DROP SEAL MORTICE 0920 SIL SQUARE END PLATE	LORIENT	SIL

# Door Hardware Schedule

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Project Name: SORELL MEMORIAL HALL  
Schedule No: 97819

# Door Hardware Schedule

Project Name: SORELL MEMORIAL HALL  
Schedule No: 97819

Brand	Item	Description	Qty	Finish	
LOCKWOOD	LW10075BBSSS	HINGES 100X75X2.5 BALL BEARING SSS PK=30	12	SSS	
LOCKWOOD	LW10075FPSSS	HINGES 100X75X2.5 FIXED PIN SSS PK=30	3	SSS	
LOCKWOOD	AH130CAN	FAST FIX COMMERCIAL ALUMINIUM HINGE CAN	24	CAN	
OTHER	SDT	REFER ARCHITECTS SPEC	2	NONE	
LOCKWOOD	3772V-SS	3772 - ANTI-VANDAL ESCAPE LOCK	6		
LOCKWOOD	3573WTSCNCYLLS	SLIDING DOOR CYLINDER AND TURN DEADLOCK NO CYLINDER WITH LATCHING STRIKE	2	SC	
LOCKWOOD	3772-AFKITSS	3772 ALUMINIUM DOOR FIXING CONVERSION KIT	4	SS	
LOCKWOOD	3772-TASS	3772 - ANTI-LOCKOUT ESCAPE LOCK WITH TURN	1		

# Door Hardware Schedule

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Project Name: SORELL MEMORIAL HALL  
Schedule No: 97819

Brand	Item	Description	Qty	Finish	
LOCKWOOD	3772X-SS	3772 - KEY ENTRY ESCAPE LOCK	1		
OTHER	570MK	570 MASTER KEYED CYLINDER TO MATCH CLIENTS SYSTEM	9	NONE	
LOCKWOOD	1801/70SC	1801 SQUARE END PLATE WITH CYLINDER HOLE & 70 LEVER	7	SC	
LOCKWOOD	1905/70SC	1905 SQUARE END PLATE WITH 70 LEVER	7	SC	
LOCKWOOD	1814/70SC	1814 SQUARE END PLATE WITH PRIVACY INDICATOR EMERGENCY TURN & 70 LEVER	1	SC	
LOCKWOOD	1941/70SC	1941 SQUARE END PLATE PRIVACY IND DISABLED TURN & 70 LEVER	1	SC	

# Door Hardware Schedule

Project Name: SORELL MEMORIAL HALL  
Schedule No: 97819

Brand	Item	Description	Qty	Finish	
LOCKWOOD	1226/ISC	SYMPHONY 1220 SERIES OVAL CYLINDER ESCUTCHEON - SURFACE FIX	2	SC	
LOCKWOOD	1229/INSC	SYMPHONY 1220 SERIES DISABLE TURN ESCUTCHEON - SURFACE FIX	2	SC	
LOCKWOOD	143X300SSS	143 ENTRANCE HANDLES WITH 300MM CENTRES	2	SSS	
LOCKWOOD	781X600SC	CONCEALED FIX PANIC BOLT 600MM TP	2	SC	
LOCKWOOD	781X300SC	CONCEALED FIX PANIC BOLT 300MM TP	2	SC	
LOCKWOOD	2616DASIL	2616 SERIES CAM ACTION CLOSER WITH DELAYED ACTION	6	SIL	







# Door Hardware Schedule

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Project Name: SORELL MEMORIAL HALL  
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Brand	Item	Description	Qty	Finish
LOCKWOOD	2616-104SIL	2616 SERIES ANGLED MOUNTING PLATE	5	SIL
				
LOCKWOOD	2616-153	2616 SERIES OPENING DAMPER	8	
				
LOCKWOOD	2616-152	2616 SERIES HOLD OPEN DEVICE	4	
				
LOCKWOOD	2615DASIL	2615 SERIES CAM ACTION DOOR CLOSER SIZE 1-5 DELAYED	3	SIL
				
OTHER	KP300XWIDTH	KICKPLATE 300MM X DOOR WIDTH	2	
LOCKWOOD	A350SC	A350 WALL MOUNTED DOOR STOP TP	3	SC
				
LORIENT	LAS8001/0920/S	DROP SEAL MORTICE 0920 SIL SQUARE END PLATE	7	SIL

Project Name: SORELL MEMORIAL HALL  
Schedule No: 97819

## ENVIRONMENTAL PRODUCT DECLARATION as per ISO 14025 and EN 15804

Owner of the Declaration	ASSA ABLOY Australia Pty Ltd	 
Programme holder	Institute Bauen und Umwelt e.V. (IBU)	
Publisher	Institute Bauen und Umwelt e.V. (IBU)	
Declaration number	EPD-ASA-20160079-IBA1-EN	
Issue date	27.04.2016	
Valid to	26.04.2021	

### ASSA ABLOY Australia Pty Ltd

**Lockwood 1800 Series Plate Door Furniture - Lever and Cylinder Hole 1801/70SC**

For more information please visit [www.lockweb.com.au](http://www.lockweb.com.au)

## ENVIRONMENTAL PRODUCT DECLARATION as per ISO 14025 and EN 15804

Owner of the Declaration	ASSA ABLOY Australia Pty Ltd	 
Programme holder	Institute Bauen und Umwelt e.V. (IBU)	
Publisher	Institute Bauen und Umwelt e.V. (IBU)	
Declaration number	EPD-ASA-20160081-IBA1-EN	
Issue date	27.04.2016	
Valid to	26.04.2021	

### ASSA ABLOY Australia Pty Ltd

**Lockwood 1800 Series Plate Door Furniture - Lever Only 1905/70SC**

For more information please visit [www.lockweb.com.au](http://www.lockweb.com.au)

Project Name: SORELL MEMORIAL HALL  
Schedule No: 97819

## ENVIRONMENTAL PRODUCT DECLARATION as per ISO 14025 and EN 15804

Owner of the Declaration	ASSA ABLOY Australia Pty Ltd
Programme holder	Institute Bauen und Umwelt e.V. (IBU)
Publisher	Institute Bauen und Umwelt e.V. (IBU)
Declaration number	EPD-ASA-20160082-IBA1-EN
Issue date	27.04.2016
Valid to	26.04.2021



**ASSA ABLOY Australia Pty Ltd**  
**Single-point locks - Lockwood 3772SS Commercial Mortice Lock**  
For more information please visit [www.lockweb.com.au](http://www.lockweb.com.au)

## ENVIRONMENTAL PRODUCT DECLARATION as per ISO 14025 and EN 15804

Owner of the Declaration	ASSA ABLOY Australia Pty Ltd
Programme holder	Institute Bauen und Umwelt e.V. (IBU)
Publisher	Institute Bauen und Umwelt e.V. (IBU)
Declaration number	EPD-ASA-20140209-IBC1-EN
Issue date	13.02.2015
Valid to	12.02.2020



**ASSA ABLOY Australia Pty Ltd**  
**Lockwood DC 2615**  
For more information please visit [www.lockweb.com.au](http://www.lockweb.com.au)



ASSA ABLOY is represented in all major regions, in both mature and emerging markets, with leading positions in Australia, Europe and North America.

As the world's leading lock group, ASSA ABLOY offers a more complete product range of door opening solutions than any other company in the market.



Openings Studio is a suite of BIM software tools for creating and visualising 3D doors, frames, and hardware objects for use in design, construction, and facility management. This program enables our consultants to write schedules with greater efficiency and contains built-in workflow tools for RFI's, change management, and collateral material.

Download Openings Studio  
Visit [assaabloy.com.au/openings](http://assaabloy.com.au/openings) to download a copy.

ASSA ABLOY Australia Pty Ltd  
235 Huntingdale Road  
Oakleigh, Victoria, 3166  
Australia  
ABN 90 086 541 907

1300 LOCK UP (1300 562 587)  
[lockweb.com.au](http://lockweb.com.au)

MELBOURNE FAX 1800 647 673  
BRISBANE FAX 1800 626 140

#### Disclaimer

Whilst every effort has been made to ensure that the information (including product images and drawings) contained in this documentation is accurate at the time of print, ASSA ABLOY Australia Pty Limited ("ASSA ABLOY") recommends that you consult ASSA ABLOY or its agents prior to placing an order to ascertain current information on specific products, as ASSA ABLOY reserves the right to make changes without notice. ASSA ABLOY will not be liable for any injury, loss or damage whatsoever, arising from any errors or omissions in the information contained in the documentation or arising from the use or application of the information contained herein. © 2025 copyright by ASSA ABLOY All rights reserved



Quote No. 95017093

LOCI ARCHITECTS  
 PO BOX 745  
 NORTH HOBART 7000  
 Ph: 0408 383 235

Date	13/01/2025
Account No.	110
Order No.	SORELL MEMORIAL HALL
Job No./Name	SORELL MEMORIAL HALL
Sales Person	SHANE REARDON #19
Supply Branch	Hobart Projects #7091
Supply Branch Phone	(03) 6231 9013

Line	Product Code	Description	Qty Supplied	Price before GST	Unit	Net Price before GST	GST Amount	Total price inc GST
		***** THIS IS A QUOTATION ONLY AND IS NOT A SALE DOCUMENT *****						
		Project: SORELL MEMORIAL HALL						
		Contact: Jonathan Blood						
1		<b>**bathroom**</b>						
2		<b>**toilet**</b>						
3		<b>**access Toilet**</b>						
4	9508926	Wolfen 800 Ccbtw R/L T/S Sfs B/R GR (4*) 1.00 kit(s) Consisting Of:		2509.09	KIT	2509.09	250.91	2760.00
5	9508009	Wolfen Single Flap Seat Grey	1.00		EA			
6	9507940	Wolfen 800 CC BTW R/L Pan WH (4*)	1.00		EA			
7	9507941	Wolfen 800 CC BTW Cistern WH (4*)	1.00		EA			
8	9507171	Wolfen Back Rest With Fixed Arms Wh/Ss ...end of Kit	1.00		EA			
9	4800539	Accessible Grab Rail 90 Deg RH	1.00	175.90	EA	175.90		175.90
10	2265876	Wolfen Single Toilet Roll Holder Bss	1.00	35.45	EA	35.45	3.55	39.00
11		<b>**access Toilet**</b>						
12		.						
13		<b>**access Shower**</b>						
14	2213368	Posh Solus Mk3 Grab Rail Shw 900 CP (4*)	1.00	465.45	EA	465.45		465.45
15	9508815	Posh Solus Mk3 Shower MIX Ext Lev 200 CP 1.00 kit(s) Consisting Of:		156.36	KIT	156.36	15.64	172.00
16	9508809	Posh Solus Mk3 Shower Mixer CP	1.00		EA			
17	9509106	Posh Solus Mk3 MIX Ext Lever Only 200 CP ...end of Kit	1.00		EA			
18	4800546	Accessible Straight Grab Rail 600mm	1.00	60.90	EA	60.90		60.90
19		<b>**access Shower**</b>						
20		.						
21		<b>**green Room Basin**</b>						
22	1851595	Wolfen W/Basin W/Fix 500x420 OF 1th 1.00 kit(s) Consisting Of:		286.36	KIT	286.36	28.64	315.00
23	9509645	Wolfen Wall Basin 500x420 O/Flow 1th	1.00		EA			
24	1851574	Wall Basin Fixing Bolts	1.00		SET			

Continued Overleaf...

Terms & Conditions In addition to any terms and conditions contained in this communication, all dealings with Reece Australia Pty Ltd, of any nature whatsoever, are subject to the Terms and Conditions of Trade of Reece Australia Pty Ltd. A copy of the terms and conditions may be obtained on request at any Reece Branch and may be found on the Reece website [www.reece.com.au](http://www.reece.com.au)



Access your invoices online.

[reece.com.au/max](http://reece.com.au/max)



Quote No. 95017093

LOCI ARCHITECTS  
 PO BOX 745  
 NORTH HOBART 7000  
 Ph: 0408 383 235

Date	13/01/2025
Account No.	110
Order No.	SORELL MEMORIAL HALL
Job No./Name	SORELL MEMORIAL HALL
Sales Person	SHANE REARDON #19
Supply Branch	Hobart Projects #7091
Supply Branch Phone	(03) 6231 9013

Line	Product Code	Description	Qty Supplied	Price before GST	Unit	Net Price before GST	GST Amount	Total price inc GST	
		...end of Kit							
25	2263197	Mizu Drift Uni 40mm Pop UP P&W Chrome	1.00	39.09	EA	39.09	3.91	43.00	
26	2261125	Mizu Drift Bottle Trap W Remov Base CP	1.00	150.00	EA	150.00	15.00	165.00	
27	9508814	Posh Solus Mk3 Bas MIX Ext Lev CP (4*)		179.09	KIT	179.09	17.91	197.00	
		1.00 kit(s) Consisting Of:							
28	9508807	Posh Solus Mk3 Basin Mixer Chrome (4*)	1.00		EA				
29	9509106	Posh Solus Mk3 MIX Ext Lever Only 200 CP	1.00		EA				
		...end of Kit							
30		<b>**green Room Basin**</b>							
31		.							
32		<b>**green Room Sink**</b>							
33	2402705	Memo Hugo Ext Single Bowl Sink Nth SS	1.00	400.00	EA	400.00	40.00	440.00	
34	9508811	Posh Solus Mk3 Std Sink MIX CP (4*)	1.00	153.64	EA	153.64	15.36	169.00	
35		<b>**green Room Sink**</b>							
	50	Each Delivery Fee - Ground Floor Only	1.00	60.00	EA	60.00	6.00	66.00	
		\$66.00 Delivery Fee Will Apply ON All Further Deliveries							
		Quote Expiry Date: 13/02/2025							
Delivery instructions, comments, ID.						Net total	4,671.33	396.92	5,068.25
						Delivery Fee Refer Above			
						Document Total	4,671.33	396.92	5,068.25

Continued Overleaf...

Terms & Conditions In addition to any terms and conditions contained in this communication, all dealings with Reece Australia Pty Ltd, of any nature whatsoever, are subject to the Terms and Conditions of Trade of Reece Australia Pty Ltd. A copy of the terms and conditions may be obtained on request at any Reece Branch and may be found on the Reece website [www.reece.com.au](http://www.reece.com.au)



Access your invoices online.

[reece.com.au/max](http://reece.com.au/max)



LOCI ARCHITECTS  
PO BOX 745  
NORTH HOBART 7000  
Ph: 0408 383 235

Date	13/01/2025
Account No.	110
Order No.	SORELL MEMORIAL HALL
Job No./Name	SORELL MEMORIAL HALL
Sales Person	SHANE REARDON #19
Supply Branch	Hobart Projects #7091
Supply Branch Phone	(03) 6231 9013

## Conditions of Quotation and Sale

Quote expiry date: 13/02/2025

### Deposits and payments

- 50% deposit required at time of order. Full payment required for custom made or custom cut items, Specially Acquired Products (items with product code 101) and orders under \$100.
- Preferred methods of payment are cash, EFTPOS, Mastercard, Visa or Amex.
- Goods are subject to supplier availability.

### Delivery

- Goods are to be collected or delivered within 30 days of notification that goods are available to you, unless arranged prior with management.
- Goods not collected within 30 days will require 100% payment.
- Delivery fees apply to all deliveries. In the event you require multiple deliveries, multiple fees will be charged.
- Standard delivery includes one delivery person to ground floor only. Clear access is required. If you have additional requirements, please speak with your Reece representative.

### Changes

- Once an order for an item has been placed, a minimum handling fee of 20% applies for changes.

### Returns and refunds -- Change of Mind

- Goods must be returned **within 30 days** in their original, unused and undamaged condition, this includes packaging.
- Goods returned are subject to a minimum 20% manufacturers handling fee.
- Goods that are custom made, custom-cut, or are a specially acquired product are non-returnable and non-refundable.

### Full Terms and Conditions

- For full terms and conditions please refer to the Reece website <https://www.reece.com.au/terms-and-conditions/>









Quote No. 95017093

LOCI ARCHITECTS  
 PO BOX 745  
 NORTH HOBART 7000  
 Ph: 0408 383 235

Date	13/01/2025
Account No.	110
Order No.	SORELL MEMORIAL HALL
Job No./Name	SORELL MEMORIAL HALL
Sales Person	SHANE REARDON #19
Supply Branch	Hobart Projects #7091
Supply Branch Phone	(03) 6231 9013

Product Image	Product Code and Description	Qty Supplied	Price before GST	Net Price before GST	GST Amount	Total price inc GST
	***** THIS IS A QUOTATION ONLY AND IS NOT A SALE DOCUMENT ***** SORELL MEMORIAL HALL Contact: Jonathan Blood					
	<b>**bathroom**</b>					
	<b>**toilet**</b>					
	<b>**access Toilet**</b>					
	9508926 (KIT) Wolfen 800 Ccbtw R/L T/S Sfs B/R GR (4*)	1.00	2509.09	2509.09	250.91	2760.00
	4800539 (EA) Accessible Grab Rail 90 Deg RH	1.00	175.90	175.90		175.90
	2265876 (EA) Wolfen Single Toilet Roll Holder Bss	1.00	35.45	35.45	3.55	39.00
	<b>**access Toilet**</b>					
	.					
	<b>**access Shower**</b>					
	2213368 (EA) Posh Solus Mk3 Grab Rail Shw 900 CP (4*)	1.00	465.45	465.45		465.45

Continued Overleaf...

Terms & Conditions In addition to any terms and conditions contained in this communication, all dealings with Reece Australia Pty Ltd, of any nature whatsoever, are subject to the Terms and Conditions of Trade of Reece Australia Pty Ltd. A copy of the terms and conditions may be obtained on request at any Reece Branch and may be found on the Reece website [www.reece.com.au](http://www.reece.com.au)



Access your invoices online.

[reece.com.au/max](http://reece.com.au/max)










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Supply Branch Phone	(03) 6231 9013

Product Image	Product Code and Description	Qty Supplied	Price before GST	Net Price before GST	GST Amount	Total price inc GST
	9508815 (KIT) Posh Solus Mk3 Shower MIX Ext Lev 200 CP	1.00	156.36	156.36	15.64	172.00
	4800546 (EA) Accessible Straight Grab Rail 600mm	1.00	60.90	60.90		60.90
	<b>**access Shower**</b>					
	.					
	<b>**green Room Basin**</b>					
	1851595 (KIT) Wolfen W/Basin W/Fix 500x420 OF 1th	1.00	286.36	286.36	28.64	315.00
	2263197 (EA) Mizu Drift Uni 40mm Pop UP P&W Chrome	1.00	39.09	39.09	3.91	43.00
	2261125 (EA) Mizu Drift Bottle Trap W Remov Base CP	1.00	150.00	150.00	15.00	165.00

Continued Overleaf...

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Reece Australia Pty Ltd  
 ABN 84 004 097 090  
[www.reece.com.au](http://www.reece.com.au)

# Quote

Quote No. 95017093

LOCI ARCHITECTS  
 PO BOX 745  
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Date	13/01/2025
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Order No.	SORELL MEMORIAL HALL
Job No./Name	SORELL MEMORIAL HALL
Sales Person	SHANE REARDON #19
Supply Branch	Hobart Projects #7091
Supply Branch Phone	(03) 6231 9013

Product Image	Product Code and Description	Qty Supplied	Price before GST	Net Price before GST	GST Amount	Total price inc GST	
	9508814 (KIT) Posh Solus Mk3 Bas MIX Ext Lev CP (4*)	1.00	179.09	179.09	17.91	197.00	
	<b>**green Room Basin**</b>						
	.						
	<b>**green Room Sink**</b>						
	2402705 (EA) Memo Hugo Ext Single Bowl Sink Nth SS	1.00	400.00	400.00	40.00	440.00	
	9508811 (EA) Posh Solus Mk3 Std Sink MIX CP (4*)	1.00	153.64	153.64	15.36	169.00	
	<b>**green Room Sink**</b>						
	60 (EA) Each Delivery Fee - Ground Floor Only \$66.00 Delivery Fee Will Apply ON All Further Deliveries	1.00	60.00	60.00	6.00	66.00	
	Quote Expiry Date: 13/02/2025						
Delivery instructions, comments, ID.				Net total	4,671.33	396.92	5,068.25
				Delivery Fee			
				Refer Above			
				Document Total	4,671.33	396.92	5,068.25

Continued Overleaf...

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Quote No. 95017093

LOCI ARCHITECTS  
PO BOX 745  
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Ph: 0408 383 235

Date	13/01/2025
Account No.	110
Order No.	SORELL MEMORIAL HALL
Job No./Name	SORELL MEMORIAL HALL
Sales Person	SHANE REARDON #19
Supply Branch	Hobart Projects #7091
Supply Branch Phone	(03) 6231 9013

## Conditions of Quotation and Sale

Quote expiry date: 13/02/2025

### Deposits and payments

- 50% deposit required at time of order. Full payment required for custom made or custom cut items, Specially Acquired Products (items with product code 101) and orders under \$100.
- Preferred methods of payment are cash, EFTPOS, Mastercard, Visa or Amex.
- Goods are subject to supplier availability.

### Delivery

- Goods are to be collected or delivered within 30 days of notification that goods are available to you, unless arranged prior with management.
- Goods not collected within 30 days will require 100% payment.
- Delivery fees apply to all deliveries. In the event you require multiple deliveries, multiple fees will be charged.
- Standard delivery includes one delivery person to ground floor only. Clear access is required. If you have additional requirements, please speak with your Reece representative.

### Changes

- Once an order for an item has been placed, a minimum handling fee of 20% applies for changes.

### Returns and refunds -- Change of Mind

- Goods must be returned **within 30 days** in their original, unused and undamaged condition, this includes packaging.
- Goods returned are subject to a minimum 20% manufacturers handling fee.
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*Product Presentation for*

# LOCI ARCHITECTS

Reference No. 95017093  
Job No./Name SORELL MEMORIAL HALL  
Project SORELL MEMORIAL HALL

Created Date 13th January 2025  
Valid Until 13th February 2025

Prepared by SHANE REARDON  
Branch Hobart Projects (03) 6231 9013

# Your Reece Contact

**SHANE REARDON**

**Hobart Projects**

274 Murray St

Hobart

Phone (03) 6231 9013

Email [justin.carr@reece.com.au](mailto:justin.carr@reece.com.au)

Quote Number 95017093

Valid Until 13th February 2025

**reece.com.au**

*This document is created for presentation purposes only as a customer courtesy. It is not an official Reece quote or sales document. Any price shown apply only to the corresponding Reece quote. Products listed are available for purchase at time of printing. Please contact the branch listed on this presentation for more information.*

**\*\*BATHROOM\*\***

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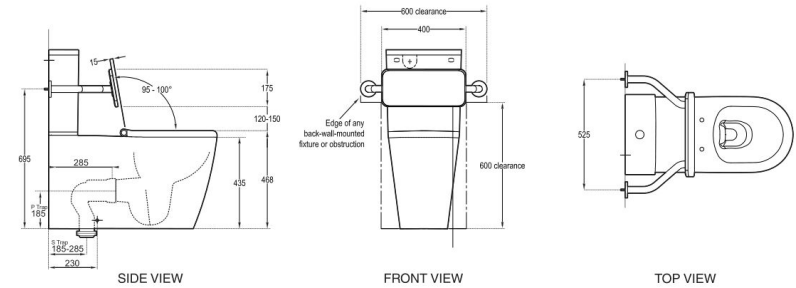
**\*\*TOILET\*\***

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**\*\*ACCESS TOILET\*\***

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## Wolfen 800 Ccbtw R/L T/S Sfs B/R GR (4\*)

Product Code: 9508926

WELS: Rating: 4 Star Rating Measure: 4.5 Litres Per Full Flush Measure: 3.0 Litres Per Half Flush

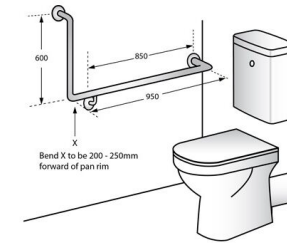
Warranty: Warranty - Domestic Use: 5 Years Warranty Information: For full warranty terms and conditions please refer to the Wolfen Warranty document. Warranty - Commercial Use: 5 Years Spare Parts and Labour: 12 Months



SORELL MEMORIAL HALL

Valid Until 13th February 2025

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## Accessible Grab Rail 90 Deg RH

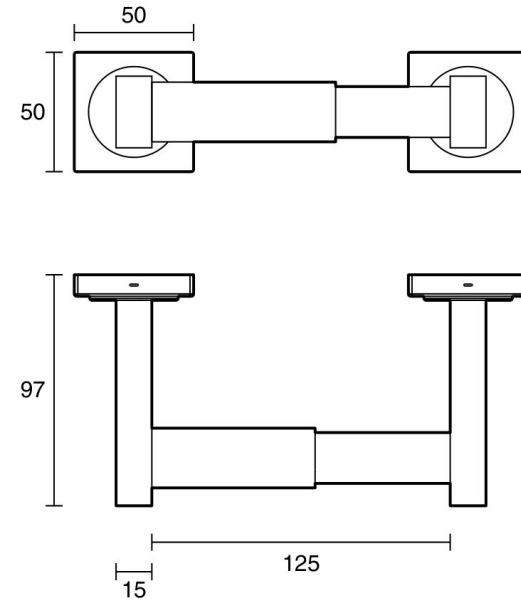
Product Code: 4800539



SORELL MEMORIAL HALL

Valid Until 13th February 2025

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## Wolfen Single Toilet Roll Holder Bss

Product Code: 2265876

Warranty: Warranty Information: For full warranty terms and conditions please refer to the Mizu Warranty document Replacement Only - Domestic Use: 5 Years Replacement Only - Commercial Use: 5 Years Spare Parts and Labour: 12 Months



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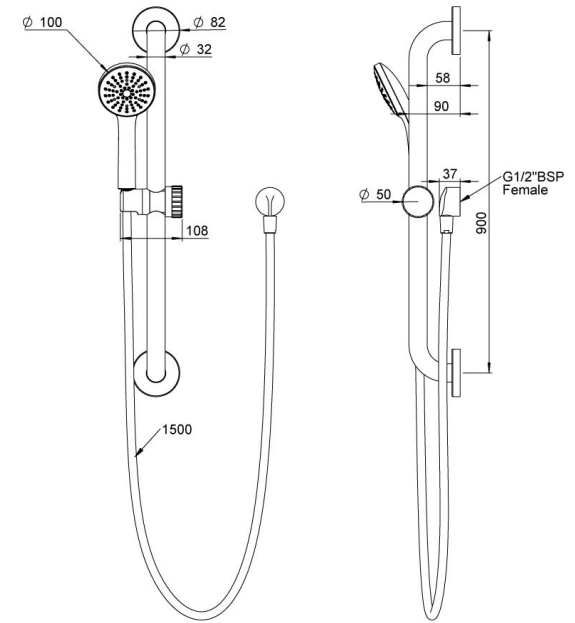
**\*\*ACCESS TOILET\*\***

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**\*\*ACCESS SHOWER\*\***

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## Posh Solus Mk3 Grab Rail Shw 900 CP (4\*)

Product Code: 2213368

WELS: Rating: 4 Star Rating Measure: 7.5 Litres Per Minute

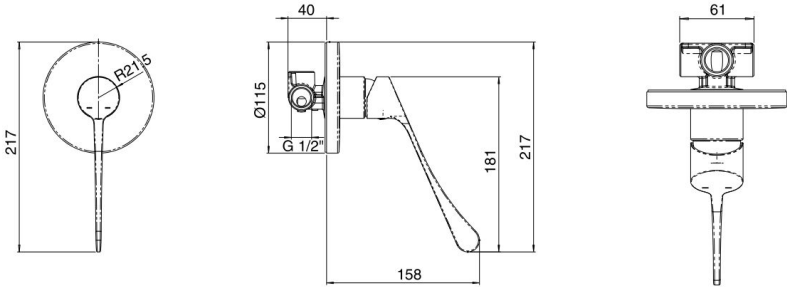
Warranty: Warranty - Domestic Use: 10 Years Warranty Information: For full warranty terms and conditions please refer to the Posh Warranty document. Warranty - Commercial Use: 12 Months Parts Replacement Only: 12 Months



SORELL MEMORIAL HALL

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# Posh Solus Mk3 Shower MIX Ext Lev 200 CP

Product Code: 9508815

Warranty: Warranty - Domestic Use: 10 Years Warranty Information: For full warranty terms and conditions please refer to the Posh Warranty document. Warranty - Commercial Use: 12 Months Cartridge Replacement Only: 10 Years Spare Parts and Labour: 12 Months

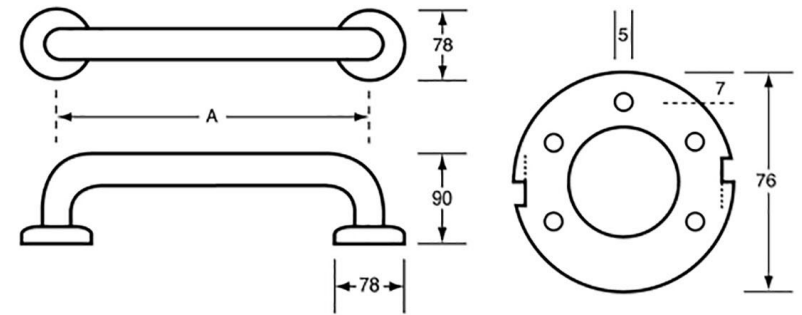


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## Accessible Straight Grab Rail 600mm

Product Code: 4800546



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Valid Until 13th February 2025

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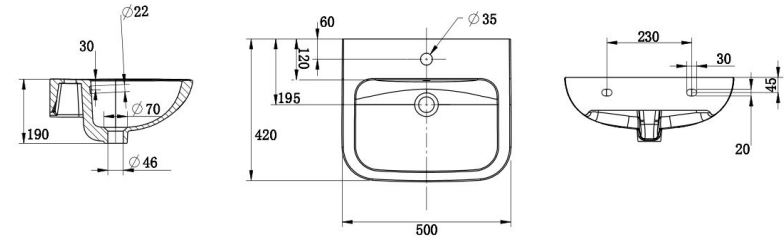
**\*\*ACCESS SHOWER\*\***

---



**\*\*GREEN ROOM BASIN\*\***

---



## Wolfen W/Basin W/Fix 500x420 OF 1th

Product Code: 1851595

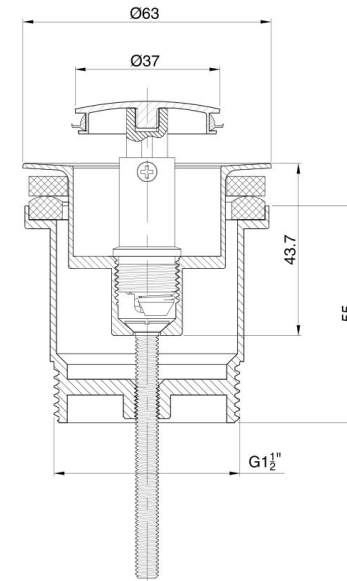
Warranty: Warranty - Domestic Use: 5 Years Warranty - Commercial Use: 5 Years Spare Parts and Labour: 12 Months



SORELL MEMORIAL HALL

Valid Until 13th February 2025

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## Mizu Drift Uni 40mm Pop UP P&W Chrome

Product Code: 2263197

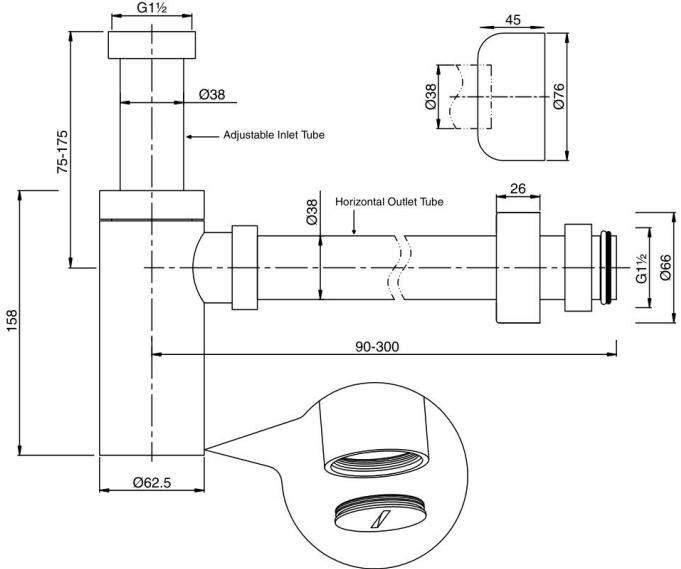
Warranty: Warranty Information: For full warranty terms and conditions please refer to the Mizu Warranty document Parts Replacement Only: 12 Months Replacement Only - Domestic Use: 12 Months Replacement Only - Commercial Use: 12 Months



SORELL MEMORIAL HALL

Valid Until 13th February 2025

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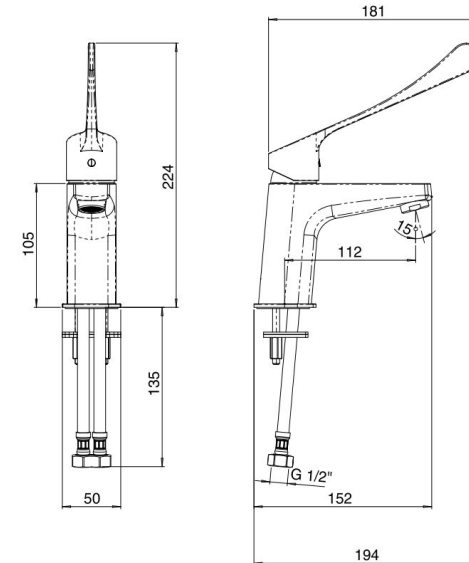
# Mizu Drift Bottle Trap W Remov Base CP

Product Code: 2261125

Warranty: Warranty Information: For full warranty terms and conditions please refer to the Mizu Warranty document Parts Replacement Only: 12 Months Replacement Only - Domestic Use: 12 Months Replacement Only - Commercial Use: 12 Months



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## Posh Solus Mk3 Bas MIX Ext Lev CP (4\*)

Product Code: 9508814

WELS: Rating: 4 Star Rating Measure: 7.5 Litres Per Minute

Warranty: Warranty - Domestic Use: 10 Years Warranty Information: For full warranty terms and conditions please refer to the Posh Warranty document. Warranty - Commercial Use: 12 Months Cartridge Replacement Only: 10 Years Spare Parts and Labour: 12 Months



SORELL MEMORIAL HALL

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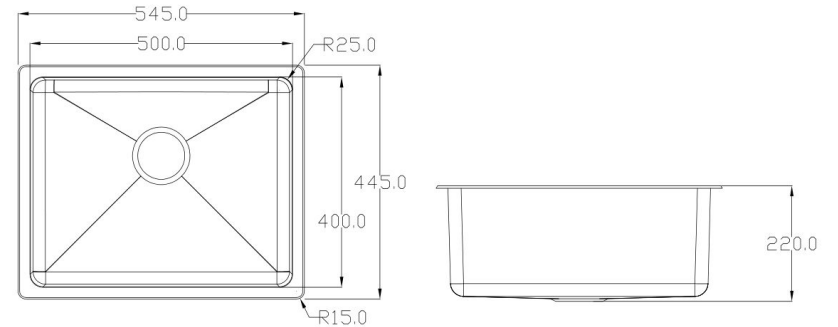
**\*\*GREEN ROOM BASIN\*\***

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**\*\*GREEN ROOM SINK\*\***

---



## Memo Hugo Ext Single Bowl Sink Nth SS

Product Code: 2402705

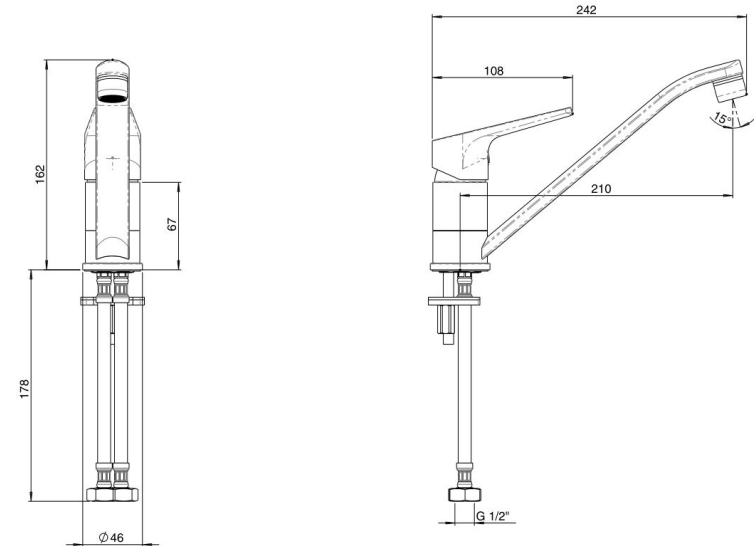
Warranty: Warranty - Domestic Use: 30 Years Warranty Information: For full warranty terms and conditions please refer to the Memo Warranty document. Warranty - Commercial Use: 12 Months Spare Parts and Labour: 12 Months



SORELL MEMORIAL HALL

Valid Until 13th February 2025

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## Posh Solus Mk3 Std Sink MIX CP (4\*)

Product Code: 9508811

WELS: Rating: 4 Star Rating Measure: 7.5 Litres Per Minute

Warranty: Warranty - Domestic Use: 10 Years Warranty Information: For full warranty terms and conditions please refer to the Posh Warranty document. Warranty - Commercial Use: 12 Months Cartridge Replacement Only: 10 Years Spare Parts and Labour: 12 Months



SORELL MEMORIAL HALL

Valid Until 13th February 2025

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**\*\*GREEN ROOM SINK\*\***

---

## We offer market leading warranties



Reece provides comprehensive warranties for all their VAP products giving you peace of mind.

While different products receive different warranties, all warranties start at a minimum of seven years for domestic use and 12 months for spare parts and labour.



SORELL MEMORIAL HALL

Valid Until 13th February 2025

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## We are there after the sale.

- The service extends beyond the sale of your products
- Reece is committed to providing the best after sales service, supported by the Reece Customer Care department
- Product warranties enhance your reputation and protect your clients



SORELL MEMORIAL HALL

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# LEGEND

## GENERAL

### SYMBOLS

- # DENOTES TYPE - REFER TO SCHEDULES
- SYMBOL
- NO. OF OUTLET / SWITCHED MECHANISMS  
IE: 2 = 2 SWITCHES ON COMMON PLATE
- SYMBOL

### PHASING

- SYMBOLS SHOWN GRAY & DASHED DENOTES EXISTING
- SYMBOLS SHOWN RED & DASHED DENOTES TO BE DEMOLISHED
- SYMBOLS SHOWN BLACK & DASHED DENOTES TO BE RELOCATED

## LIGHTING

- DOWNLIGHT
- RECESS MOUNTED LUMINAIRE
- SURFACE / SUSPENDED LIGHTING TRACK
- RECESSED STRIP LIGHT
- SWITCHLINE
- RECESS MOUNTED 360° MOTION AND LIGHT SENSOR. CLIPSAL 753R

### LIGHT SWITCHES

- TYPICAL
- DIMMER

## LIGHTING REFERENCE TAGS

### LIGHTING FIXTURE

- DISTRIBUTION BOARD NUMBER
- CIRCUIT NUMBER - REFER SINGLE LINE DRAWINGS

## EMERGENCY LIGHTING

- RECESS MOUNTED EXIT EMERGENCY SIGN
- RECESS MOUNTED EMERGENCY LIGHT

## COMMUNICATIONS

- # CATEGORY 6A COMMUNICATIONS OUTLET
- WAP WIRELESS ACCESS POINT DUAL CAT 6A COMMUNICATIONS OUTLETS

## POWER

### SWITCH BOARDS / DISTRIBUTION BOARDS

- MAIN SWITCH BOARD [MSB] / DISTRIBUTION BOARD [DB] (REFER TAG & SCHEDULES)

### OUTLETS/CONNECTIONS

#### SINGLE PHASE (1PH)

- SINGLE SOCKET OUTLET
- DOUBLE SOCKET OUTLET
- DOUBLE SOCKET OUTLET W/ USB CHARGING OUTLET/S
- FIXED CONNECTION

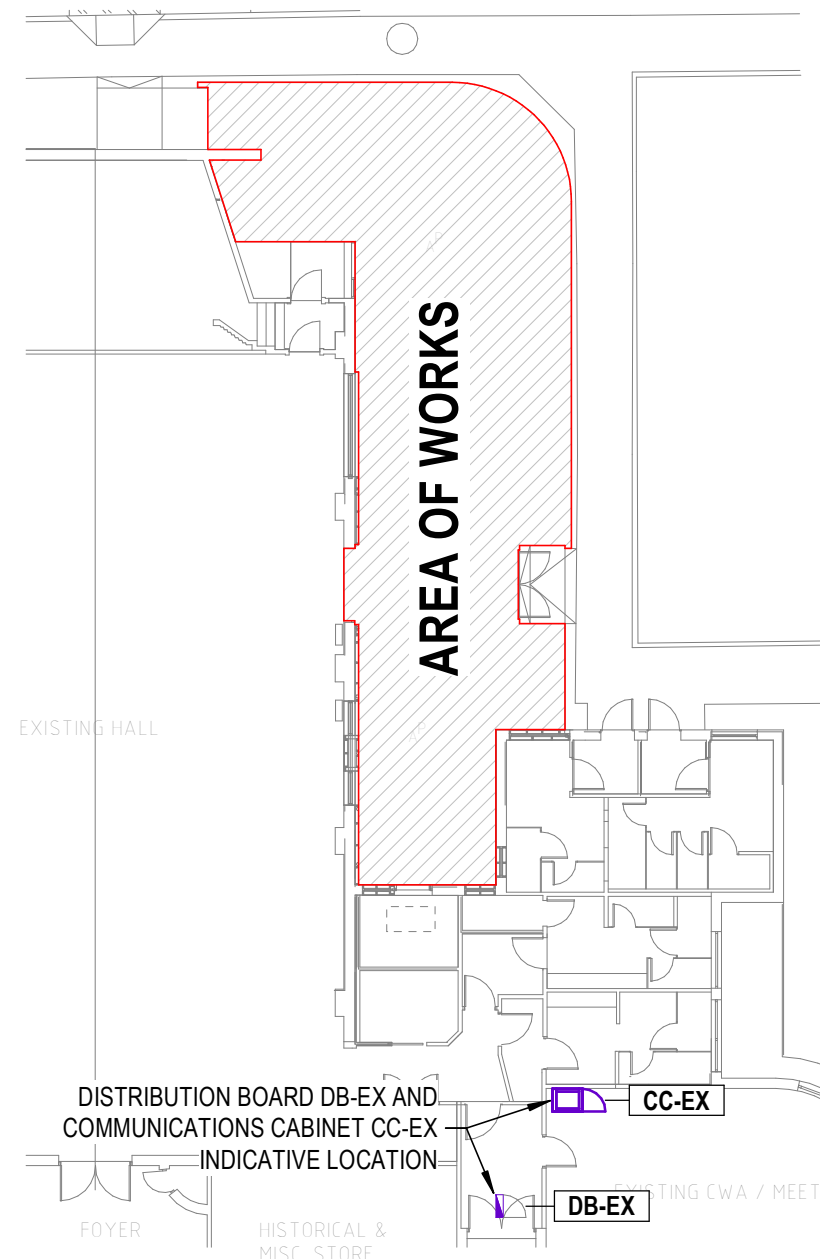
## POWER REFERENCE TAGS

### ELECTRICAL FIXTURE

- TYPE - REFER SCHEDULE
- DISTRIBUTION BOARD NUMBER
- CIRCUIT NUMBER - REFER SINGLE LINE DRAWINGS
- MOUNTING HEIGHT OR LOCATION

## GENERAL ELECTRICAL NOTES

- ALL WORKS TO COMPLY WITH AS/NZS 3000 AND TASNETWORK'S SERVICES INSTALLATION GUIDE.
- ALL WORKS SHALL COMPLY WITH THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA (NCC).
- CONTRACTOR TO ENSURE ALL CABLES ARE FULLY CONCEALED, CHASE WALLS WHERE REQUIRED AND MAKE GOOD.
- MSB AND DB LAYOUTS ARE FOR GUIDANCE ONLY AND ALL CIRCUITS TO BE DISTRIBUTED EVENLY ACROSS ALL PHASES.
- PROVIDE A 7 DAY, 24 HOUR TIMECLOCK WITH CONTACTOR WITHIN DB-EX TO CONTROL GENERAL EXHAUST FANS GEF-1 & GEF-2. SET ON/OFF PERIOD AS DEPICTED. CABLE TO ISOLATOR ADJACENT EACH FAN AND HANDOVER TO MECHANICAL SERVICES CONTRACTOR.
- PROVIDE 2 PIR MOVEMENT SENSORS TO CONTROL SUPPLY AIR FANS SAF-2 & SAF-2. CABLE TO ISOLATOR ADJACENT EACH FAN AND HANDOVER TO MECHANICAL SERVICES CONTRACTOR.
- PROVIDE A SWITCHED FEED FROM THE TOILET LIGHTING CIRCUIT TO TOILET EXHAUST FAN TEF-1. WIRE TO ISOLATOR ADJACENT EACH FAN AND HANDOVER TO MECHANICAL SERVICES.
- SET ALL EXHAUST FAN MOTION SENSORS TO TRIGGER ON MOTION - 30 MINUTES ON PERIOD, REGARDLESS OF LIGHT LEVEL.
- COORDINATE WITH ASSOCIATED TRADES ON SITE.



## ELECTRICAL SERVICES - SITE PLAN

1 : 200

### BUILDING APPROVAL

D.D	21/01/25	BUILDING APPROVAL	BA1
By	Date	Revision Description	Rev
REVISIONS			



Client  
**SORELL COUNCIL**

Project  
**SORELL MEMORIAL HALL**

Sheet Title  
**ELECTRICAL LEGEND & NOTES**

ELECTRICAL SERVICES			
Designed	D.E	Drawn	J.v.N
Checked	-	Revision	BA1
Scale:	AS SHW @ A3	Drg No.	24232-S1-E01

## LIGHTING FIXTURE SCHEDULE

REF.	IMAGE	DESCRIPTION	MANUFACTURER	MODEL	LIGHT FITTING COLOUR	LIGHT WATTAGE	INITIAL COLOUR TEMPERATURE	QTY.
A		RECESSED DOWNLIGHT	UNIOS	EQ COMFORT EQCD0100.TW30.W-FP025001	WHITE	10 W	3000 K	7
B		RECESSED DOWNLIGHT - SMALL	UNIOS	TIST0043.TW30.N-PC015001	WHITE	5 W	3000 K	4
C		600 x 600mm RECESSED LED PANEL	M-ELEC	ML-MRBPV3-6x6-M	WHITE	27 W	4000 K	4
D		RECESSED LARGE DOWNLIGHT	M-ELEC	ML-1BOX-C2030	WHITE	24 W	3000 K	1
E		4500mm LONG - SUSPENDED LIGHTING TRACK	UNIOS	MX3	WHITE	0 W		1
F		FLEXIBLE LED LINEAR STRIP IN CUSTOM JOINERY PELMET	UNIOS	AOSXXX15.PU30.F	WHITE	15 W	3000 K	4
G		TRACK LIGHT - ADJUSTABLE - HONEYCOMB LOUVRE - 3000K	UNIOS	IONSM313.WW30.MH.01	WHITE	13 W		5

## EMERGENCY LIGHTING SCHEDULE

REF.	DESCRIPTION	MANUFACTURER	MODEL	LIGHT FITTING COLOUR	QTY.
EM1	RECESSED EMERGENCY LUMINAIRE	CLEVERTRONICS	CLIFE-PRO	WHITE	4
EM2	WALL MOUNTED EXIT LUMINAIRE	CLEVERTRONICS	CLEVERFIT PRO	WHITE	3

## ELECTRICAL DEVICE FIXTURE SCHEDULE

REF.	DESCRIPTION	MANUFACTURER	MODEL	QTY.
1	POWER POINT SWITCHED 2 GANG 10A 250V	TRADER	PUMA - PUPP2G	12
2	POWER POINT SWITCHED 2 GANG 10A 250V C/W FULLY INTEGRATED DUAL USB CHARGER POWER POINT 5V 1.7A/3.4A	TRADER	PUMA - PUPP2USB2G	8
3	WEATHERPROOF ISOLATOR 20A 250V - SINGLE POLE	TRADER	HIPPO - HPISW120	9

## COMMUNICATIONS DEVICE SCHEDULE

DESCRIPTION	MANUFACTURER	MODEL	QTY.
2 PORT CAT6A COMMUNICATIONS OUTLET - TO EXISTING RACK	MATCH EXISTING	MATCH EXISTING	6
WIRELESS ACCESS POINT - 2 PORT CAT6A OUTLET - TO EXISTING RACK	MATCH EXISTING	MATCH EXISTING	2

### BUILDING APPROVAL

D.D	21/01/25	BUILDING APPROVAL	BA1
By	Date	Revision Description	Rev

### REVISIONS



Client

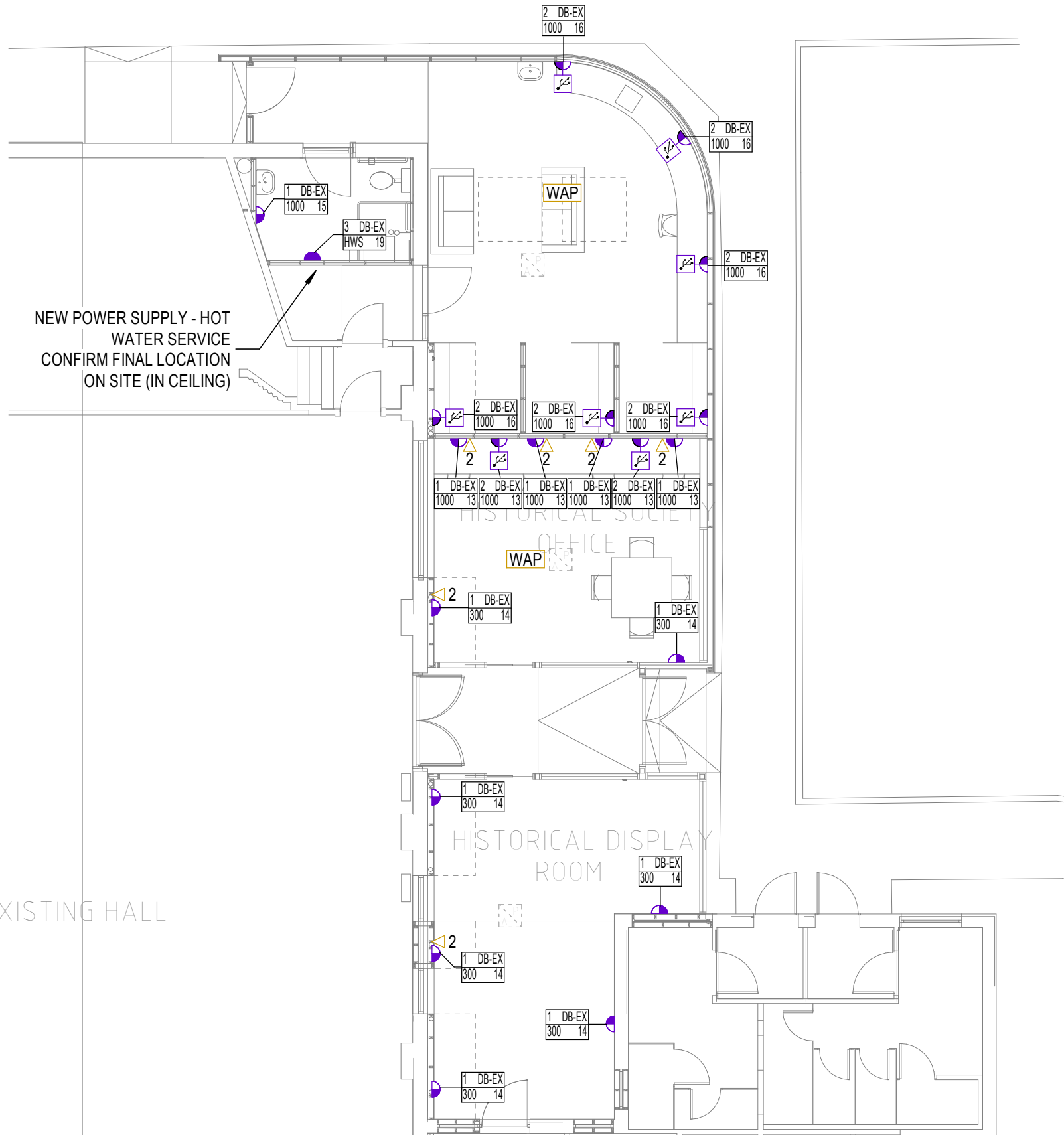


Project  
**SORELL MEMORIAL HALL**

Sheet Title  
**ELECTRICAL SCHEDULES**

### ELECTRICAL SERVICES

Designed	D.E	Drawn	J.v.N
Checked	-	Revision	BA1
Scale:	@ A3	Drg No.	24232-S1-E02



**POWER, COMMUNICATIONS & SECURITY - GROUND FLOOR LAYOUT**

1 : 100

SCALE



**BUILDING APPROVAL**


D.D	21/01/25	BUILDING APPROVAL	BA1
By	Date	Revision Description	Rev

REVISIONS



Client



Project

**SORELL MEMORIAL HALL**

Sheet Title

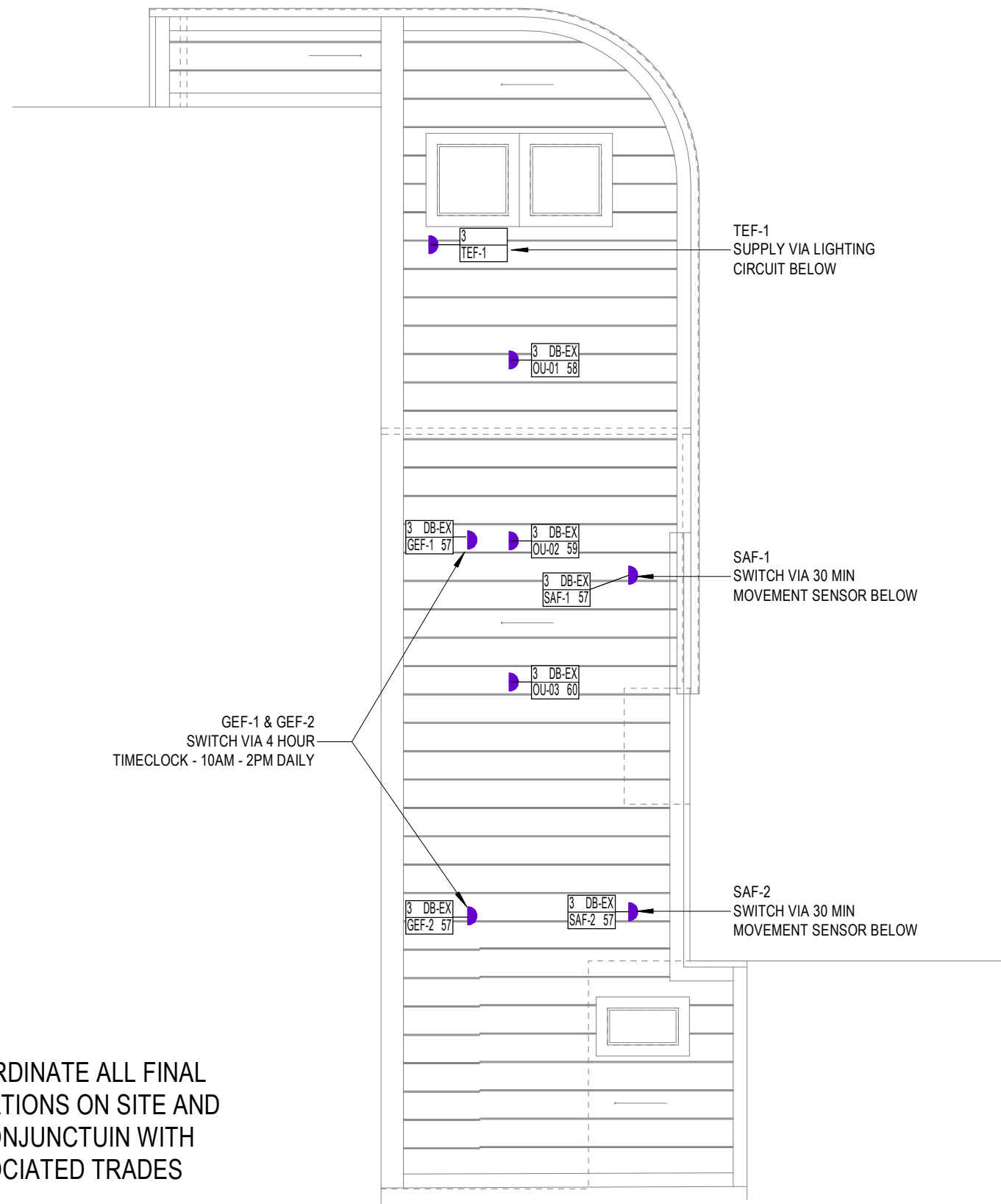
**POWER, COMMS & SECURITY - GROUND FLOOR LAYOUT**

ELECTRICAL SERVICES

Designed	D.E	Drawn	J.v.N
----------	-----	-------	-------

Checked	-	Revision	BA1
---------	---	----------	-----

Scale:	Drg No.
1 : 100 @ A3	24232-S1-E03



COORDINATE ALL FINAL  
LOCATIONS ON SITE AND  
IN CONJUNCTUIN WITH  
ASSOCIATED TRADES

**POWER - ROOF LAYOUT**

1 : 100

SCALE



**BUILDING APPROVAL**


D.D	21/01/25	BUILDING APPROVAL	BA1
By	Date	Revision Description	Rev

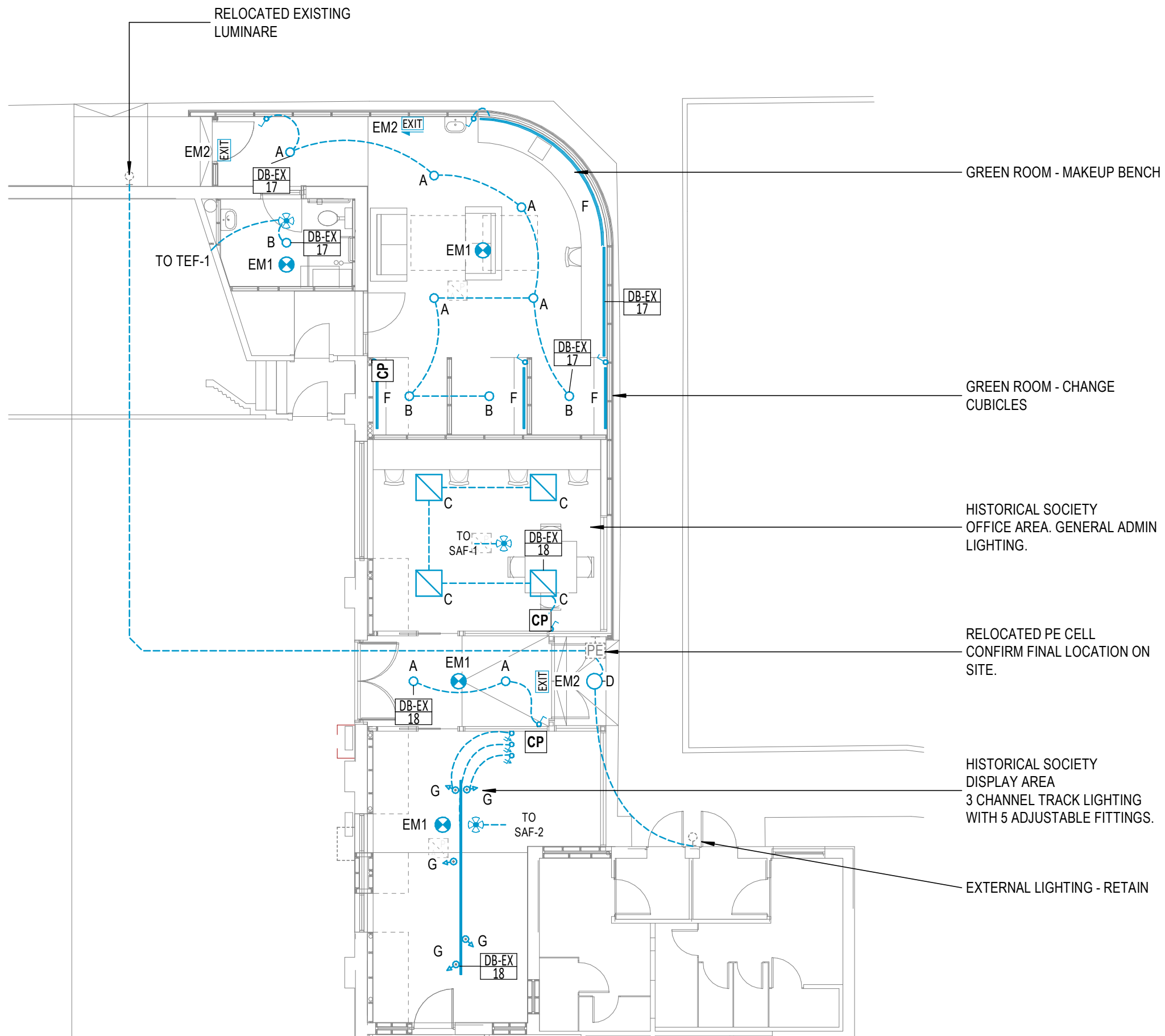
REVISIONS



Client  
**SORELL MEMORIAL HALL**

Project  
**POWER - ROOF LAYOUT**

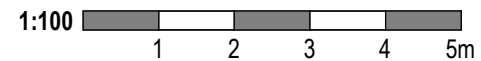
ELECTRICAL SERVICES			
Designed	D.E	Drawn	J.v.N
Checked	-	Revision	BA1
Scale:	1 : 100 @ A3	Drg No.	24232-S1-E04



**LIGHTING - GROUND FLOOR LAYOUT**

1 : 100

**SCALE**



**BUILDING APPROVAL**

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D.D	21/01/25	BUILDING APPROVAL	BA1

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Project

**SORELL MEMORIAL HALL**

Sheet Title

**LIGHTING - GROUND FLOOR LAYOUT**

**ELECTRICAL SERVICES**

Designed **D.E** Drawn **J.v.N**

Checked **-** Revision **BA1**

Scale: **1 : 100 @ A3** Drg No. **24232-S1-E05**

CHASSIS: DB-EX

NO. OF POLES: 60

MAIN SWITCH SIZE: 250.00 A

CKT	CIRCUIT DESCRIPTION	TRIP	COMMENTS	POLES	NO. OF POLES			POLES	COMMENTS	TRIP	CIRCUIT DESCRIPTION	CKT
					A	B	C					
1	RESERVED EXISTING CIRCUITS	--		1								31
2	RESERVED EXISTING CIRCUITS	--		1								32
3	RESERVED EXISTING CIRCUITS	--		1								33
4	RESERVED EXISTING CIRCUITS	--		1								34
5	RESERVED EXISTING CIRCUITS	--		1								35
6	RESERVED EXISTING CIRCUITS	--		1								36
7	RESERVED EXISTING CIRCUITS	--		1								37
8	RESERVED EXISTING CIRCUITS	--		1								38
9	RESERVED EXISTING CIRCUITS	--		1								39
10	RESERVED EXISTING CIRCUITS	--		1								40
11	RESERVED EXISTING CIRCUITS	--		1								41
12	RESERVED EXISTING CIRCUITS	--		1								42
13	POWER	16.00 A		1								43
14	POWER	16.00 A		1								44
15	POWER	16.00 A		1								45
16	POWER	16.00 A		1								46
17	LIGHTING	16.00 A		1								47
18	LIGHTING	16.00 A		1								48
19	POWER - HWS	20.00 A		1								49
20												50
21												51
22												52
23												53
24												54
25												55
26												56
27							1		16.00 A	SUPPLY AIR / GENERAL EXHAUST FANS		57
28							1		20.00 A	AC OUTDOOR UNIT 1		58
29							1		20.00 A	AC OUTDOOR UNIT 2		59
30							1		16.00 A	AC OUTDOOR UNIT 3		60

**BUILDING APPROVAL**

D.D	21/01/25	BUILDING APPROVAL	BA1
By	Date	Revision Description	Rev

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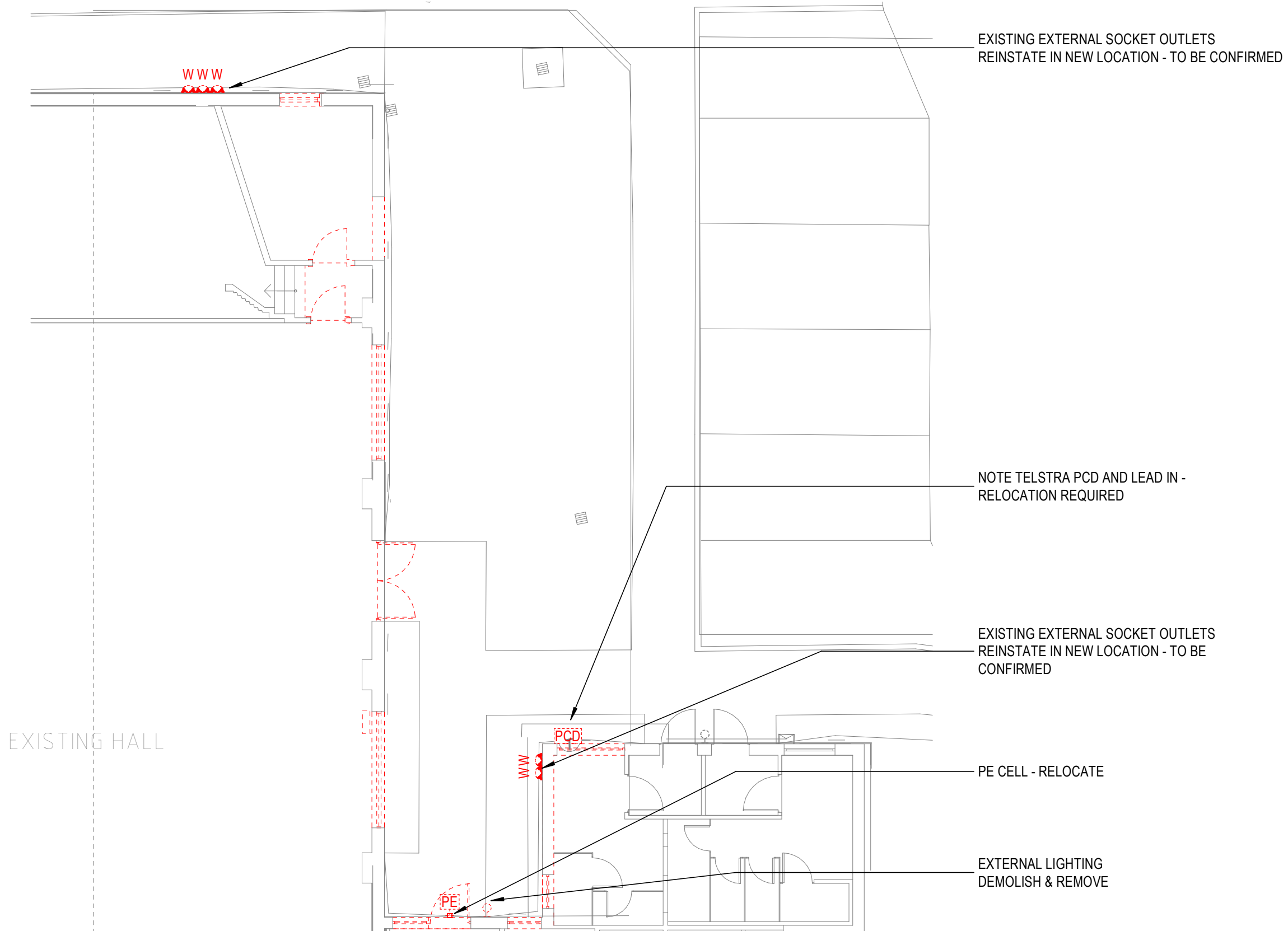


Client  
**SORELL MEMORIAL HALL**

Project  
**SORELL MEMORIAL HALL**

**ELECTRICAL SERVICES**

Designed	D.E	Drawn	J.v.N
Checked	-	Revision	BA1
Scale:	@ A3	Drg No.	24232-S1-E06



**ELECTRICAL SERVICES - DEMOLITION**  
1:100

EXISTING EXTERNAL SOCKET OUTLETS  
REINSTATE IN NEW LOCATION - TO BE CONFIRMED

NOTE TELSTRA PCD AND LEAD IN -  
RELOCATION REQUIRED

EXISTING EXTERNAL SOCKET OUTLETS  
REINSTATE IN NEW LOCATION - TO BE  
CONFIRMED

PE CELL - RELOCATE

EXTERNAL LIGHTING  
DEMOLISH & REMOVE

**BUILDING APPROVAL**

D.D	21/01/25	BUILDING APPROVAL	BA1
By	Date	Revision Description	Rev

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**SORELL MEMORIAL HALL**

Sheet Title

**ELECTRICAL SERVICES - DEMOLITION**

**ELECTRICAL SERVICES**

Designed D.E Drawn J.v.N

Checked - Revision BA1

Scale: 1:100 @ A3 Drg No. 24232-S1-E07

# CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94  
Section 106  
Section 129  
Section 155

Form **35**

To:  Owner name  
 Address  
  Suburb/postcode

## Designer details:

Name:  Category:   
 Business name:  Phone No:   
 Business address:   
  Fax No:   
 Licence No:  Email address:

## Details of the proposed work:

**Owner/Applicant**  Designer's project reference No.   
**Address:**  Lot No:   
   
**Type of work:** Building work  Plumbing work  (X all applicable)

### Description of work:

(new building / alteration / addition / repair / removal / re-erection / water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)

### Description of the Design Work (Scope, limitations or exclusions): (X all applicable certificates)

Certificate Type:	Certificate	Responsible Practitioner
	<input type="checkbox"/> Building design	Architect or Building Designer
	<input type="checkbox"/> Structural design	Engineer or Civil Designer
	<input type="checkbox"/> Fire Safety design	Fire Engineer
	<input type="checkbox"/> Civil design	Civil Engineer or Civil Designer
	<input type="checkbox"/> Hydraulic design	Building Services Designer
	<input type="checkbox"/> Fire service design	Building Services Designer
	<input checked="" type="checkbox"/> Electrical design	Building Services Designer
	<input checked="" type="checkbox"/> Mechanical design	Building Service Designer
	<input checked="" type="checkbox"/> Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
	<input type="checkbox"/> Other (specify)	

Deemed-to-Satisfy:  Performance Solution:  (X the appropriate box)

Other details:



**Design documents provided:**

The following documents are provided with this Certificate –

*Document description:*

Drawing numbers: 24232-S1-H01 to H06 (BA1) 24232-S1-M01 to M05 (BA1) 24232-S1-E01 to E07 (BA1)	Prepared by: Engineering Solutions Tasmania Pty Ltd Engineering Solutions Tasmania Pty Ltd Engineering Solutions Tasmania Pty Ltd	Date: 21/01/2025 21/01/2025 21/01/2025
Schedules:	Prepared by:	Date:
Specifications:	Prepared by:	Date:
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by:	Date:

**Standards, codes or guidelines relied on in design process:****Mechanical**

Ventilation: AS1668.2: 2012

**Electrical**

Exit & Emergency Lighting: AS NZS 2293

Lighting: AS NZS 1680

**Hydraulics**

Plumbing and Drainage AS/NZS 3500 (Set): 2021

Fire Hose Reels: AS2441

**Energy Efficiency**

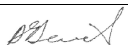
NCC Vol 1: Section J5 and J6

**Any other relevant documentation:****Attribution as designer:**

I, David Devenish, am responsible for the design of that part of the work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	David Devenish		21 Jan 25
Licence No:	CC5311T		

## Assessment of Certifiable Works: (TasWater)

**Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.**

**If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.**

**TasWater must then be contacted to determine if the proposed works are Certifiable Works.**

**I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:**

- The works will not increase the demand for water supplied by TasWater
- The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater's sewerage infrastructure
- The works will not require a new connection, or a modification to an existing connection, to be made to TasWater's infrastructure
- The works will not damage or interfere with TasWater's works
- The works will not adversely affect TasWater's operations
- The work are not within 2m of TasWater's infrastructure and are outside any TasWater easement
- I have checked the LISTMap to confirm the location of TasWater infrastructure
- If the property is connected to TasWater's water system, a water meter is in place, or has been applied for to TasWater.

## Certification:

I, , being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: [www.taswater.com.au](http://www.taswater.com.au)

Designer: *Name: (print)* *Signed* *Date*

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# LEGEND

## GENERAL







### PHASING

- SYMBOLS, EQUIPMENT AND PIPEWORK SHOWN GREY & DASHED DENOTES EXISTING
- SYMBOLS, EQUIPMENT AND PIPEWORK SHOWN RED & DASHED DENOTES TO BE DEMOLISHED
- SYMBOLS, EQUIPMENT AND PIPEWORK SHOWN DASHED DENOTES BELOW FLOOR

### EQUIPMENT

-  ISOLATION VALVE

### PIPEWORK

-  DOMESTIC COLD WATER (DCW)
-  DOMESTIC HOT WATER (DHW)
-  TEMPERED WATER (DTW)
-  SEWER (SEW)
-  STORMWATER (SW)
-  FHR SERVICE (FHR)

## REFERENCE TAGS

### EQUIPMENT TAG - GENERAL

- EF-01** UNIT REFERENCE ID (REFER SCHEDULES)

### EQUIPMENT INVERT LEVEL TAG

- XXX** ABBREVIATION / REF. / TYPE MARK (REFER SCHEDULES IF REF. OR TYPE MARK)
- XXX.XXX** INLET INVERT LEVEL (m) (LOWEST INLET)
- XXX.XXX** OUTLET INVERT LEVEL (m)

### PIPE TAG

- XXX** PIPE TYPE (REFER ABBREVIATIONS)
- DNXXX** NOMINAL SIZE
- 1:XXX** SLOPE

### PIPE INVERT LEVEL TAG

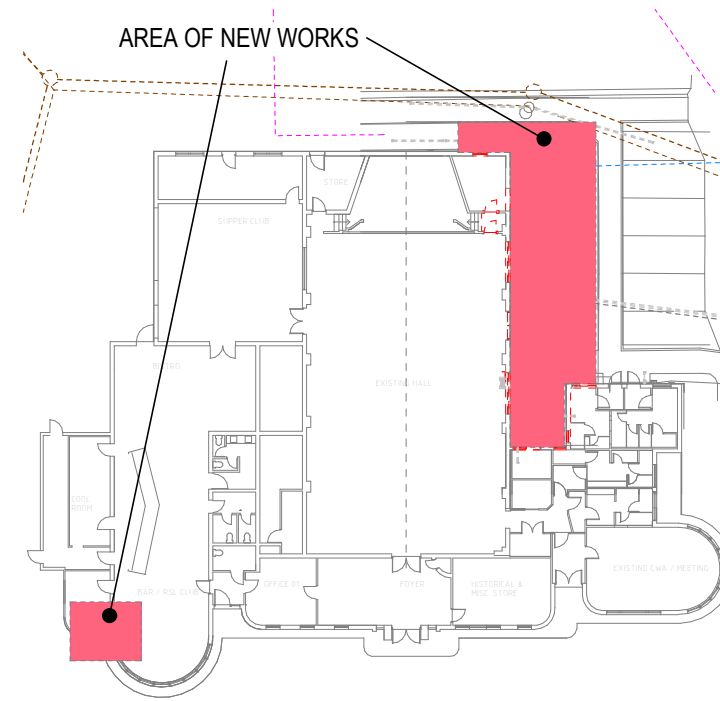
- XXX.XXX** INVERT LEVEL (m)

### PLUMBING FIXTURES & PIPE ACCESSORIES TAG

- XXX** ABBREVIATION / REF. / TYPE MARK (REFER SCHEDULES IF REF. OR TYPE MARK)
- DNXXX** CONNECTION SIZE

## ABBREVIATIONS

- B** BASIN
- CO** CLEAN OUT
- DT** DISCONNECTOR TRAP
- FHR** FIRE HOSE REEL
- FW** FLOOR WASTE
- HBC** HOSE BIBCOCK WITH VANDAL-PROOF HANDLE
- HWC** HOT WATER CYLINDER
- IO** INSPECTION OPENING
- MHL** MANHOLE
- ORG** OVERFLOW RELIEF GULLY
- RPZD** REDUCED PRESSURE ZONE DEVICE
- STY** SAFETY TRAY
- SV** STOP VALVE
- TUN** TUNDISH
- TPV** TEMPERING VALVE
- TMV** THERMOSTATIC MIXING VALVE
- V** VENT
- WC** WATER CLOSET



**SITE KEY PLAN**  
1 : 500

### BUILDING APPROVAL

By	Date	Revision Description	Rev
D.D	21/01/25	BUILDING APPROVAL	BA1

### REVISIONS



Client



Project

**SORELL MEMORIAL HALL**

Sheet Title

**HYDRAULIC LEGEND, SCHEDULES & KEYPLAN**

### HYDRAULIC SERVICES

Designed	D.D	Drawn	F.H
Checked	-	Revision	BA1
Scale:	AS SHW @ A3	Drg No.	24232-S1-H01

MISCELLANEOUS EQUIPMENT SCHEDULE						
REF.	DESCRIPTION	MAKE	MODEL	CAPACITY	SIZE	COMMENTS
FHR-1	FIRE HOSE REEL			0.33 L/S	36M x 19MM	TO AS2441: 2005
GP-1	GRATED PIT				600SQ	CLASS C LOAD RATING
HWC-1	ELECTRIC STORAGE CYLINDER	RINNAI	125L EHF	125 LITRES / 2.4kW	515DIA x 1245H	

**GENERAL NOTES:**

1. ALL WORKS SHALL COMPLY WITH THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA (NCC).
2. ALL WATER INSTALLATIONS SHALL COMPLY WITH AS/NZS3500.1:2021 & AS/NZS3500.4:2021.
3. ALL SEWER INSTALLATIONS SHALL COMPLY WITH AS/NZS3500.2:2021.
4. ALL STORMWATER INSTALLATIONS SHALL COMPLY WITH AS/NZS3500.3:2021.
5. ALL FIRE HOSE REEL INSTALLATIONS SHALL COMPLY WITH AS2441: 2005.
6. WHERE A METALLIC WATER SERVICE IS TO BE REPLACED USING NON METALLIC PIPE A LICENSED ELECTRICIAN SHALL ASSESS AFFECTED PROPERTY'S ELECTRICITY SUPPLY FOR DEFECTS AND THE LIKELY EFFECT ON EARTHING ADEQUACY. WORK CAN COMMENCE ONCE THE ELECTRICIAN DECLARES IN WRITING THAT IT IS SAFE TO PROCEED
7. CONTRACTORS SHALL CO-ORDINATE WITH ARCHITECTURAL DRAWINGS FOR LOCATION OF TMVS, RPZDs, FLOORWASTES ETC.
8. CONTRACTOR TO INSTALL PIPEWORK & EQUIPMENT WITH CONSIDERATION TO OTHERS SERVICES - LIASE WITH OTHER CONTRACTORS WHERE REQUIRED.
9. ISOLATION VALVES SHALL BE INSTALLED IN ACCORDANCE WITH AS3500.
10. IT IS THE CONTRACTORS RESPONSIBILITY TO OBTAIN "DIAL BEFORE YOU DIG" INFORMATION TO ASCERTAIN THE FULL EXTENT OF EXISTING SERVICES SURROUNDING THE SUBJECT PROPERTY. PRIOR TO ANY EXCAVATION THE RELEVANT AUTHORITIES (EG. TELSTRA, OPTUS, AGILITY, ETC.) ARE TO BE NOTIFIED OF ALL WORKS
11. CONTRACTORS SHALL ALLOW TO PAY ALL FEES & CHARGES FOR ALL AUTHORITIES RELATING TO ALL WORKS DESIGNED & SPECIFIED. CONTRACTORS SHALL PROVIDE ALL NECESSARY TESTING AND INSPECTION OPENINGS.
12. ALL PIPEWORK EXPOSED TO VIEW WITHIN THE OCCUPIED SPACE SHALL BE CHROME PLATED COPPER OR STAINLESS STEEL.
13. CONTRACTORS SHALL ALLOW TO PREPARE & SUPPLY DETAILED PROFESSIONALLY DRAFTED "AS INSTALLED" DRAWINGS & MAINTENANCE MANUALS FOR ALL ASSOCIATED WORKS AS DETAILED IN THE SPECIFICATION.

14. ALL FIXTURES SHALL BE TRAPPED UNLESS DISCHARGING TO GULLY OR STATED OTHERWISE.
15. ALL NEW WATER RETICULATION PIPEWORK SHALL BE REHAU RAUTITAN (UNLESS NOTED) WHERE CONCEALED AND COPPER WHERE EXPOSED TO VIEW.
16. WALL MOUNTED PLUMBING EQUIPMENT LOCATED NOMINALLY. LOCATION & MOUNTING HEIGHTS TO BE CONFIRMED BY ARCHITECT.
17. ALL PIPE DIAMETERS LISTED ARE NOMINAL INSIDE DIAMETER AND PIPES ARE TO BE SIZED ACCORDINGLY. (EG. DN25 EQUIVALENT TO 32mm PE-X AS PER AS3500.1).
18. ALL EQUIPMENT (HOT WATER UNITS, TMV'S, PUMPS ETC) TO BE CLEARLY LABELLED WITH UNIQUE ID FOR IDENTIFICATION & MAINTENANCE PURPOSES. NUMBER IN ACCORDANCE WITH ANY EXISTING FACILITY LABELLING SYSTEM.
19. ALL PIPEWORK & ACCESSORIES UPSTREAM OF & IN CONTACT WITH DRINKING WATER FIXTURES TO BE LEAD FREE AS PER WATERMARK SCHEDULE.
20. REFER TO THE ARCHITECTS DOCUMENTATION FOR FIXTURE & TAPWARE SELECTIONS. SUPPLY & FIX ACCESSORIES NECESSARY FOR THE CORRECT INSTALLATION OF THE FIXTURES & EQUIPMENT.

**CLASS E SOIL - DRAINAGE NOTES:**

THE SITE IS CLASSIFIED AS CLASS E SOIL AND AS SUCH THE FOLLOWING PROVISIONS SHALL APPLY.

1. SEWER AND STORMWATER PIPES SHALL BE UPVC SN8 OR SN10 RUBBER RING JOINTED WHERE SITUATED OUTSIDE THE BUILDING LINE.
2. ALL DOWNPIPES SHALL HAVE VERTICAL EXPANSION JOINTS INSTALLED AT GROUND LEVEL.
3. SEWER AND STORMWATER UNDERNEATH THE BUILDING SLAB SHALL BE PVC SOLVENT WELDED BUT SUSPENDED FROM THE SLAB ABOVE WITH IN-SITU CAST HANGERS AT 1.2M SPACING.
4. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH AS2870-11 SECTION 5.6.4.
5. PROVIDE SWIVEL EXPANSION JOINT PAIRS LESS THAN 600MM APART AT ALL LOCATIONS WHERE DRAINS CROSS THE FOOTINGS OF THE BUILDING.
6. WHERE LOCATED OUTSIDE THE BUILDING LINE, THE GRADE OF DRAINAGE SHALL BE INCREASED TO A MINIMUM OF 1:50 FOR SEWER AND 1:80 FOR STORMWATER.

<b>BUILDING APPROVAL</b>			
D.D	21/01/25	BUILDING APPROVAL	BA1
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Client			
			
Project			
<b>SORELL MEMORIAL HALL</b>			
Sheet Title			
<b>HYDRAULIC NOTES</b>			
HYDRAULIC SERVICES			
Designed	D.D	Drawn	D.D
Checked	-	Revision	BA1
Scale:	Drg No.		
1 : 100 @ A3	24232-S1-H02		

DEMOLISH EXISTING BASIN IN THIS LOCATION

PROVIDE HBC ABOVE ORG

CONNECT TO EXISTING KITCHEN SUPPLY: DN32PE (ID: 26MM)

PROVIDE ISOLATION VALVE WITH CEILING ACCESS PANEL

LOCATE HWC ABOVE CEILING

RELOCATE EXISTING FHR TO NEW POSITION. PROVIDE NEW DN25Cu WATER FEED FROM NEW RETICULATION.

PROVIDE ISOLATION VALVES ON EACH BRANCH COMPLETE WITH PRESSURE REDUCTION VALVES IN IN-GROUND VALVE BOXES

PROVIDE DN25 FHR SERVICE WITH DOUBLE CHECK VALVE IN IN-GROUND VALVE BOX.

CONNECT TO EXISTING 25DIA SUPPLY

RUN NEW IN-GROUND DN32 PE DCW SUPPLY OUTSIDE OF NEW BUILDING LINE

FHR SERVICE: DN32PE (ID: 26MM)

DCW SERVICE: DN32PE (ID: 26MM)

RISE IN DN20 COPPER TO ROOF SPACE

RISE IN DN25 COPPER TO ROOF SPACE

RECONNECT TO EXISTING DCW SUPPLY TO AMMENITIES

EXTEND THROUGH ROOF SPACE TO NEW FHR IN RSL TENANCY

HWC-1

HWC DN20

TMV DN15

DN32

DN25

EXISTING HALL

HISTORICAL SOCIETY OFFICE

HISTORICAL DISPLAY ROOM

**DOMESTIC WATER LAYOUT**

1 : 100

SCALE

1:100



**BUILDING APPROVAL**

D.D	21/01/25	BUILDING APPROVAL	BA1

By	Date	Revision Description	Rev

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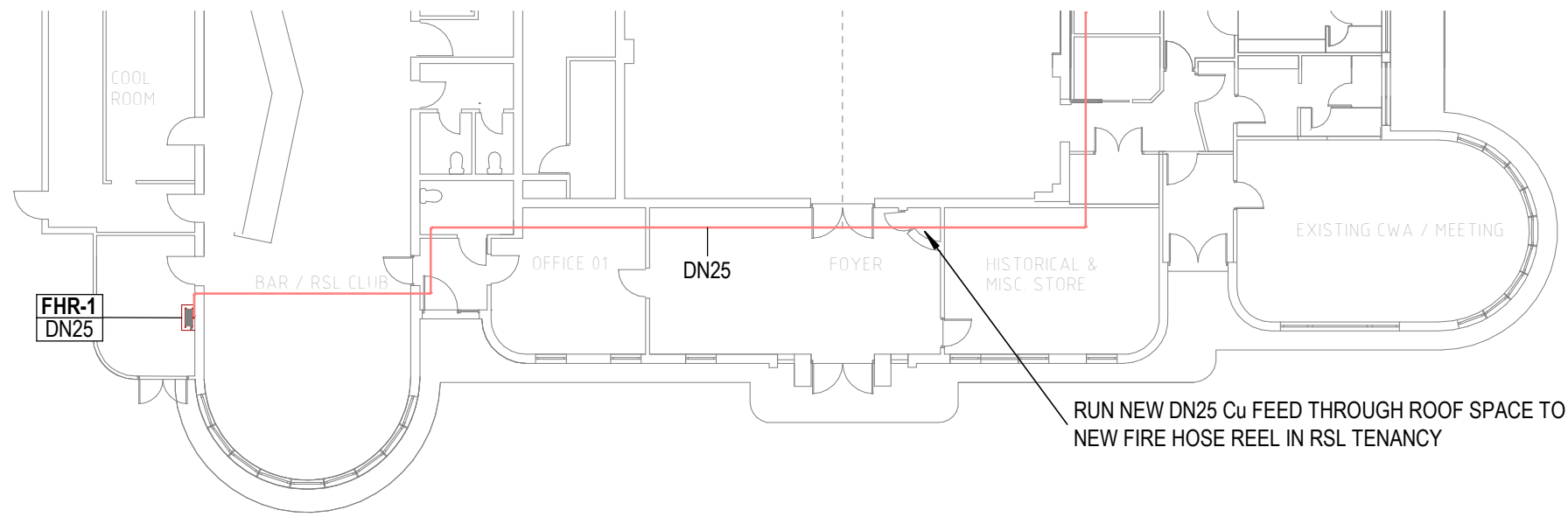


Client  
**SORELL MEMORIAL HALL**

Project  
**WATER LAYOUT - PART A**

HYDRAULIC SERVICES			
Designed	D.D	Drawn	D.D
Checked	-	Revision	BA1
Scale:	1 : 100 @ A3	Drg No.	24232-S1-H03

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**WATER RETICULATION - RSL**  
1 : 200

**BUILDING APPROVAL**

D.D	21/01/25	BUILDING APPROVAL	BA1

By	Date	Revision Description	Rev
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**SORELL MEMORIAL HALL**

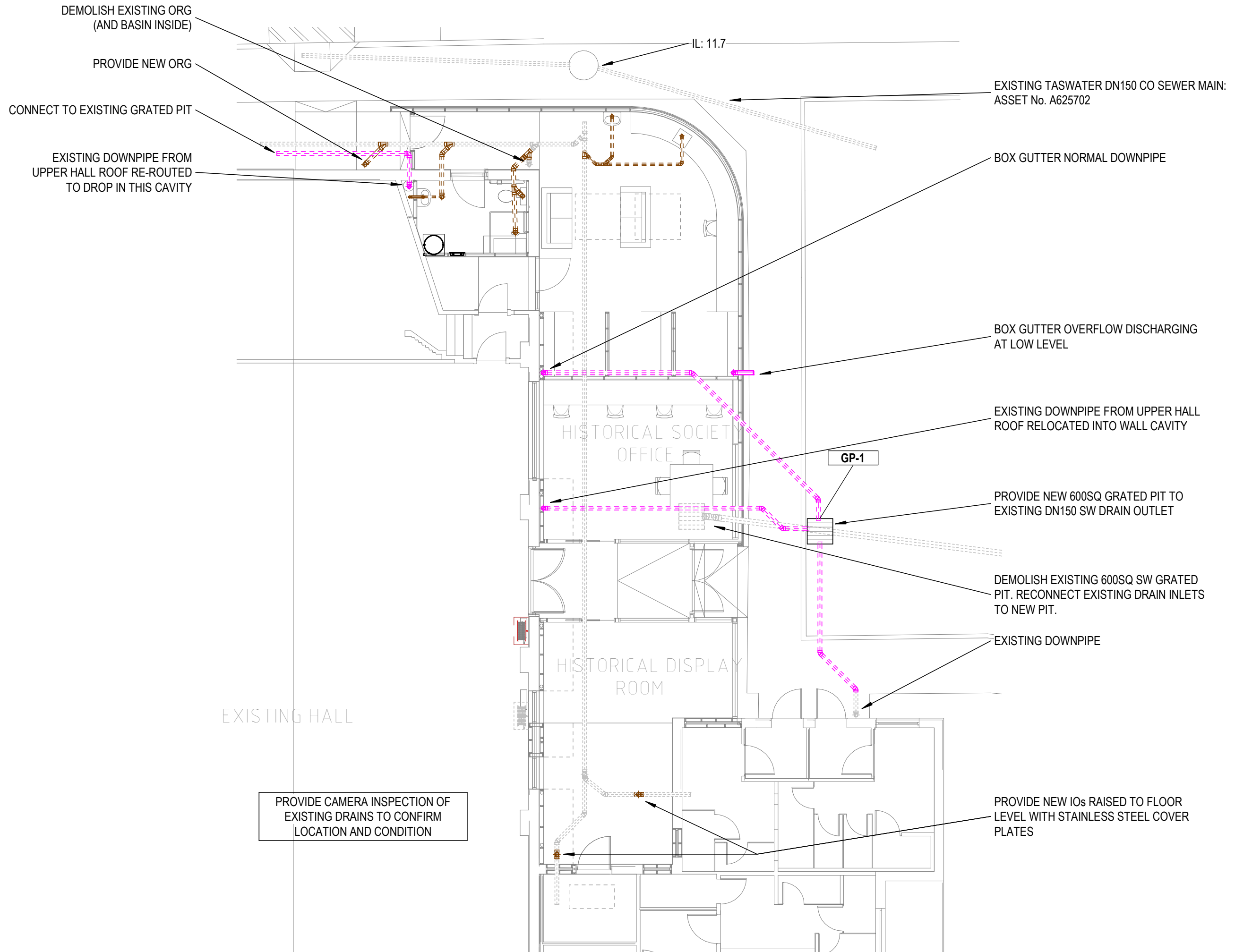
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**WATER LAYOUT - PART B**

HYDRAULIC SERVICES

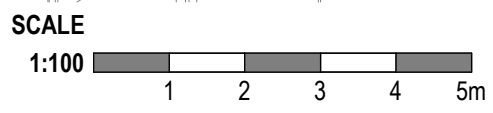
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**DRAINAGE - NEW WORKS LAYOUT**  
1 : 100



**BUILDING APPROVAL**

D.D	21/01/25	BUILDING APPROVAL	BA1
By	Date	Revision Description	Rev

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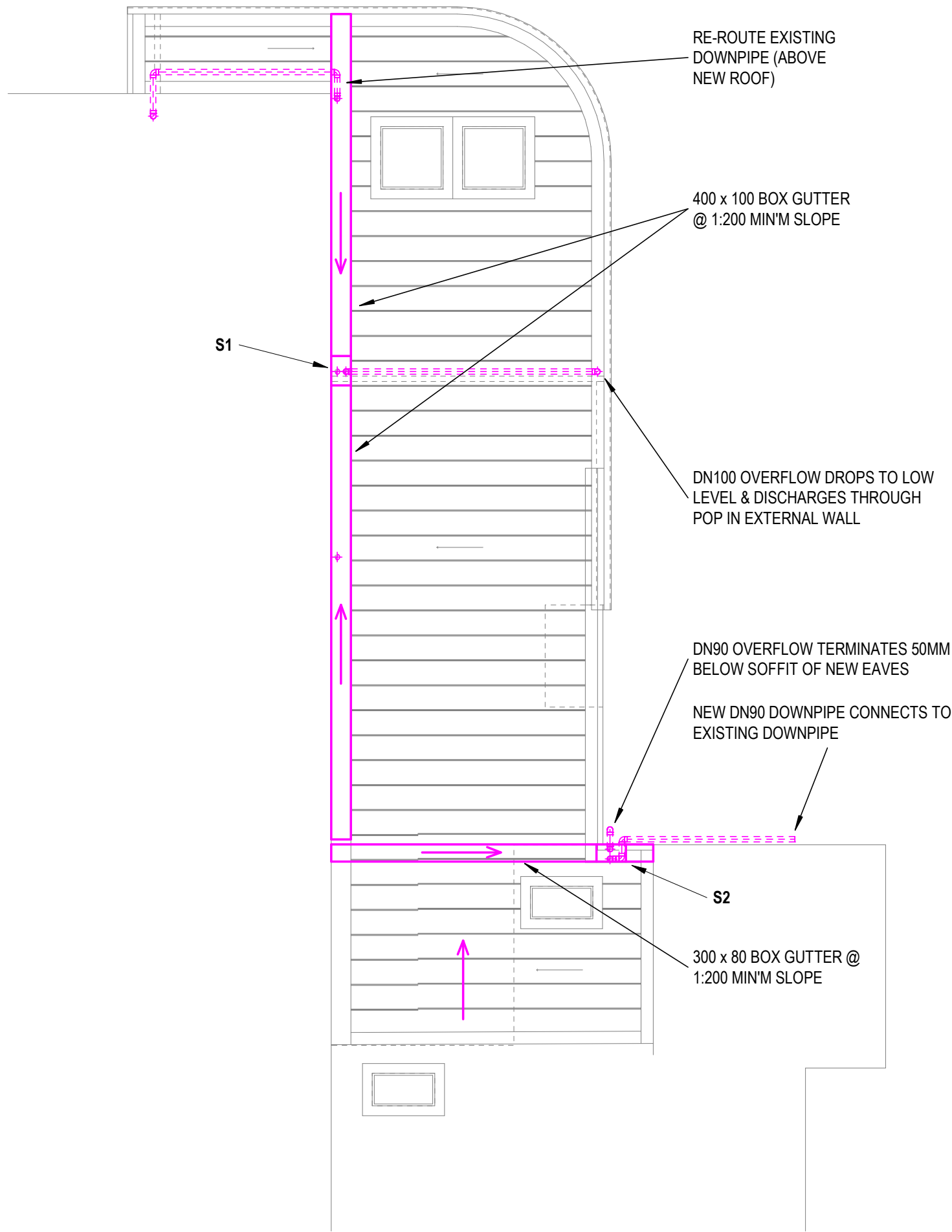
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**SORELL MEMORIAL HALL**

Sheet Title  
**DRAINAGE LAYOUT**

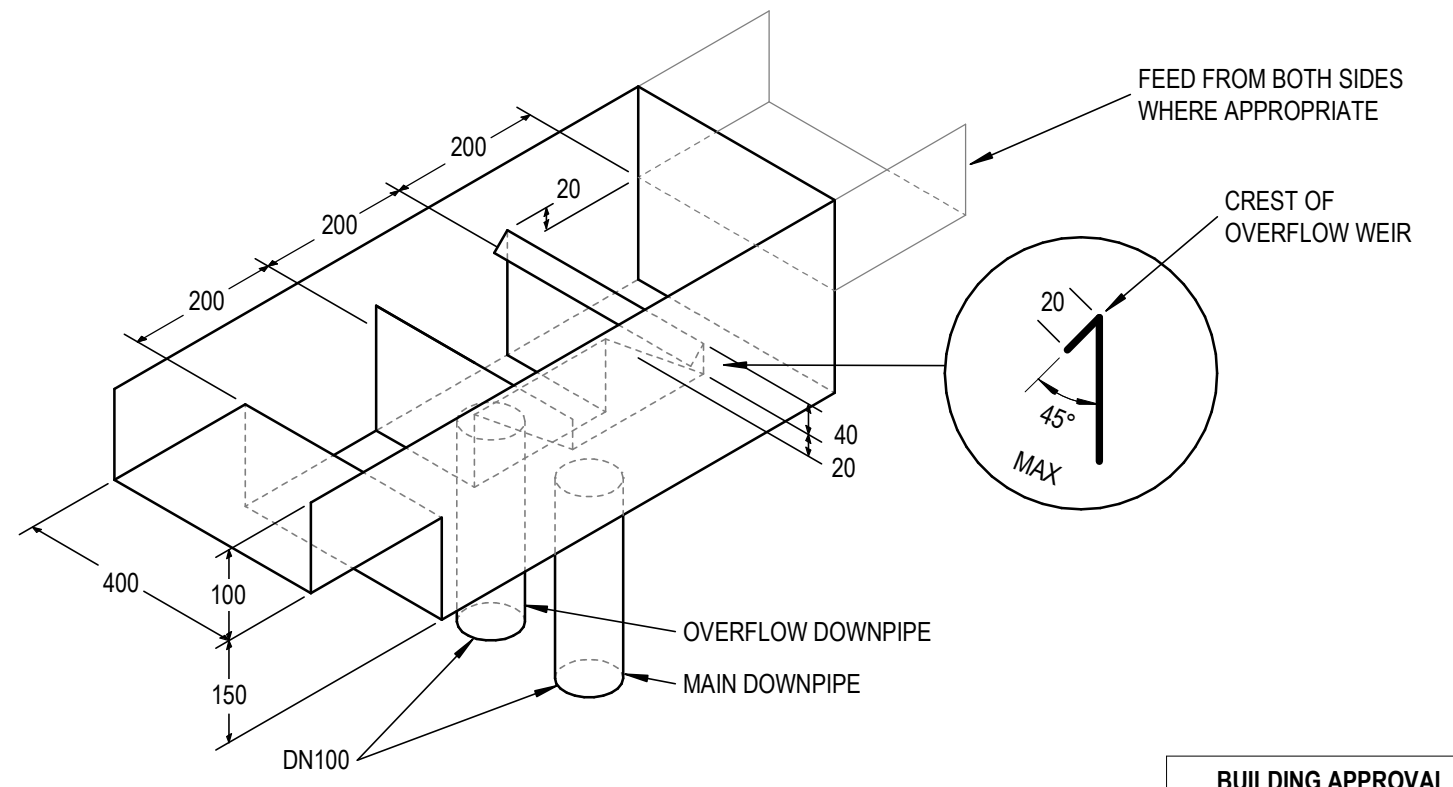
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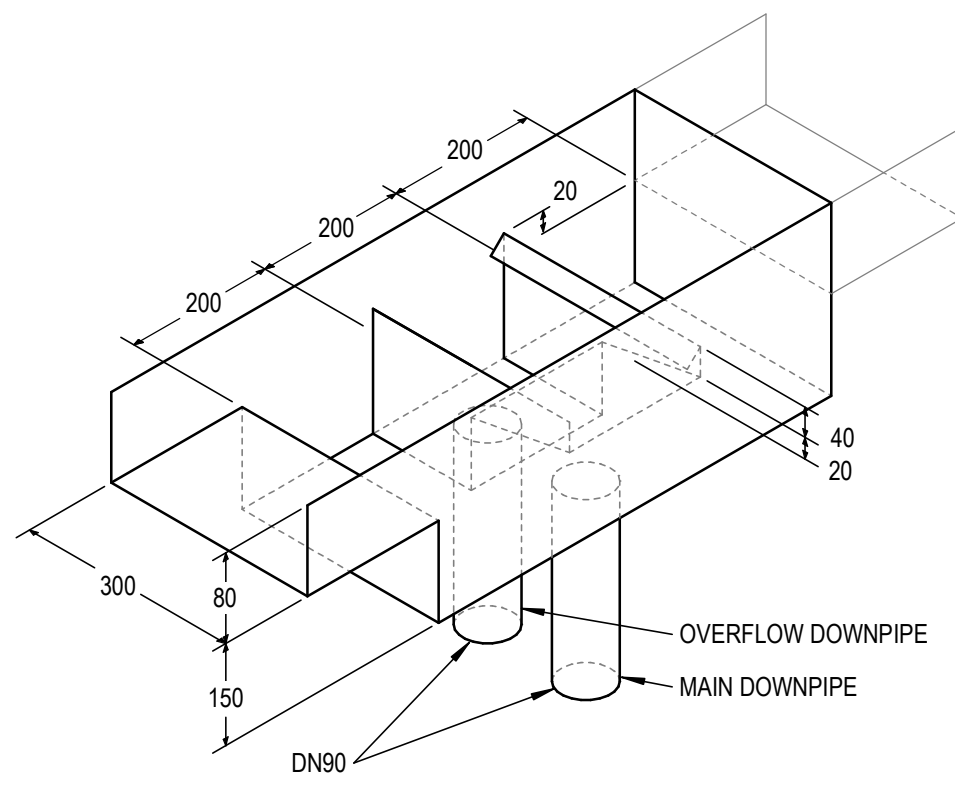




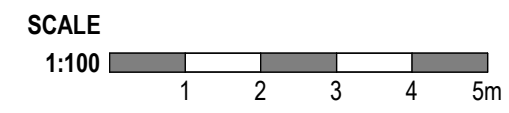
**STORMWATER - ROOF LAYOUT**  
1:100



**SUMP S1 DETAIL**



**SUMP S2 DETAIL**



**BUILDING APPROVAL**

By	Date	Revision Description	Rev
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**SORELL MEMORIAL HALL**

Sheet Title

**ROOF DRAINAGE**

HYDRAULIC SERVICES

Designed	D.D	Drawn	D.D
Checked	-	Revision	BA1
Scale:	AS SHW @ A3	Drg No.	24232-S1-H06




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

# LEGEND

## DUCTWORK



### SYSTEM

-  SUPPLY AIR (S/A)
-  TRANSFER AIR (T/A)
-  TOILET EXHAUST (T/E)

### RIGID DUCTWORK




-  EXTERNALLY INSULATED (LAGGED)
-  INTERNALLY INSULATED (LINED)
-  UNINSULATED

### FLEXIBLE DUCTWORK

-  INSULATED
-  UNINSULATED



REFER INSULATION SCHEDULE, SPECIFICATION & DRAWING NOTES FOR REQUIREMENTS. DUCT/INSULATION COLOUR DENOTES SERVICE AS ABOVE

### PIPEWORK

-  REFRIGERATION (RFG)
-  CONDENSATE (CON)
-  INSULATED PIPEWORK.



REFER INSULATION SCHEDULE, SPECIFICATION & DRAWING NOTES FOR REQUIREMENTS. PIPE/INSULATION COLOUR DENOTES SERVICE AS ABOVE

### EQUIPMENT


-  TUNDISH (BY HYDRAULICS)
-  CEILING ACCESS PANEL (BY BUILDER)

## REFERENCE TAGS




### GRILLE

-  GRILLE REFERENCE ID
-  AIRFLOW (L/s)

### DOOR GRILLE & UNDERCUT

-  GRILLE/UNDERCUT REFERENCE ID (REFER SCHEDULES)

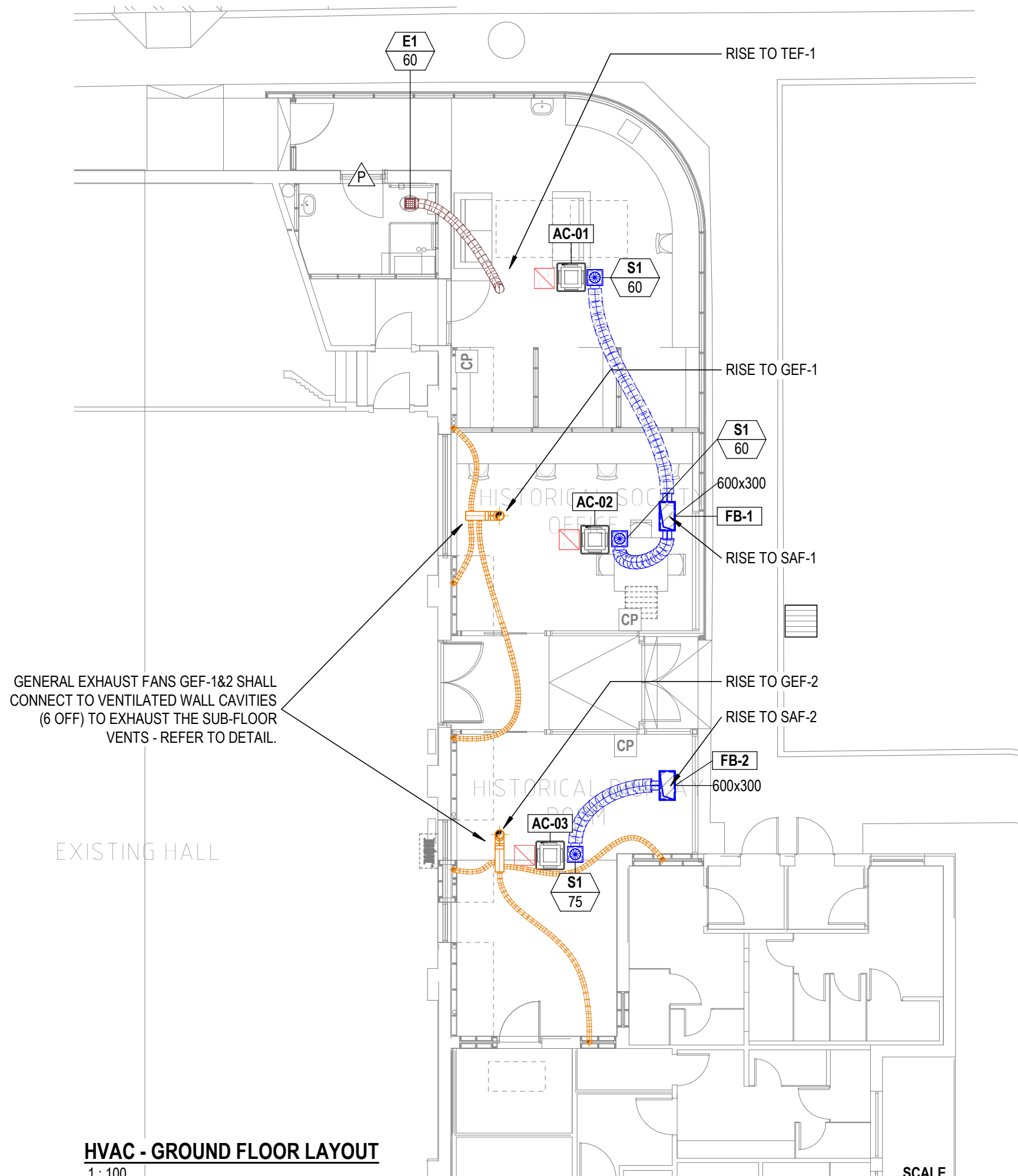
### EQUIPMENT TAG

-  UNIT REFERENCE ID
-  WALL SWITCH
-  **SENSOR & CONTROLLER**  
 AH = AFTER HOURS BUTTON  
 CP = WALL CONTROLLER  
 CC = CENTRAL CONTROLLER  
 CO2 = CARBON DIOXIDE  
 TH = THERMOSTAT  
 T = TEMPERATURE SENSOR

## NOTES:

1. ALL WORKS SHALL COMPLY WITH THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA (NCC).
2. ALL VENTILATION AND AIR CONDITIONING SHALL COMPLY WITH AS1668 PARTS 1 AND 2.
3. ALL AIR FILTERS FOR GENERAL VENTILATION AND AIR CONDITIONING SHALL COMPLY WITH AS 1324 PART 1.
4. ALL DIMENSIONS ARE IN MILLIMETRES.
5. THE CONTRACTOR SHALL COORDINATE WITH OTHER TRADES TO ENSURE THAT ALL EQUIPMENT WILL FIT WITHIN THE DESIGNATED SPACE
6. ALL WIRING & CONTROL SHALL BE PROVIDED BY THE SITE MECHANICAL CONTRACTOR AND INSTALLED TO AS/NZS 3000 EXCEPT THAT THE FOLLOWING IS DOCUMENTED ON THE ELECTRICAL DRAWINGS:
  - A. ISOLATORS ADJACENT THE AIRCONDITIONING OUTDOOR UNITS
  - B. WIRING AND CONTROL OF THE SUPPLY AND EXHAUST FANS
7. CONTRACTOR TO PROVIDE AS INSTALLED OPERATION AND MAINTENANCE MANUALS ON COMPLETION.
8. ALL WORKS SHALL COMPLY WITH AS/NZS 3666.1-3 IN REGARDS TO AIR-HANDLING AND WATER SYSTEMS OF BUILDING - MICROBIAL CONTROL.
9. CONTRACTOR TO PROVIDE TRAFFOLYTE LABELING FOR ALL EQUIPMENT, SWITCHES AND CONTROLLERS.
10. ALL GRILLES COLOUR BY ARCHITECTS INSTRUCTION, ALLOW TO PAINT OR POWDERCOAT AS REQUIRED
11. ALL FLEXIBLE DUCT SHALL BE SIZED FOR AN AIR VELOCITY LESS THAN 3.4m/s
12. DUCT WORK AND INSULATION SHALL COMPLY WITH AS 4254.
13. ALL DUCTWORK DIMENSIONS SHOWN ARE CLEAR AIR WAY DIMENSIONS.
14. PROVIDE NON-RETURN DAMPERS TO ALL EXHAUST SYSTEMS.
15. ENSURE 6m SEPARATION BETWEEN EXHAUST OUTLETS AND FRESH AIR INLETS AT ALL TIMES.
16. ALL CUSHION HEADS/PLENUMS TO BE PAINTED MATT BLACK INTERNALLY U.N.O
17. ALL PIPEWORK DIMENSIONS ARE NOMINAL BORE SIZES
18. CONDENSATE PIPING TO BE VP20 WITH MINIMUM DOWNWARD FALL OF 1 : 100.
19. ALL CONDENSATE PIPING SHALL RUN TO SEWER OR APPROVED DRAIN.

BUILDING APPROVAL			
D.D	21/01/25	BUILDING APPROVAL	BA1
By	Date	Revision Description	Rev
REVISIONS			
			
Client			
			
Project			
<b>SORELL MEMORIAL HALL</b>			
Sheet Title			
<b>MECHANICAL LEGEND &amp; NOTES</b>			
MECHANICAL SERVICES			
Designed	D.D	Drawn	F.H
Checked	-	Revision	BA1
Scale:	AS SHW @ A3	Drg No.	24232-S1-M01



**HVAC - GROUND FLOOR LAYOUT**  
1 : 100



**BUILDING APPROVAL**

D.D	21/01/25	BUILDING APPROVAL	BA1
By	Date	Revision Description	Rev

REVISIONS

ENGINEERING SOLUTIONS TASMANIA

Client

SORELL COUNCIL

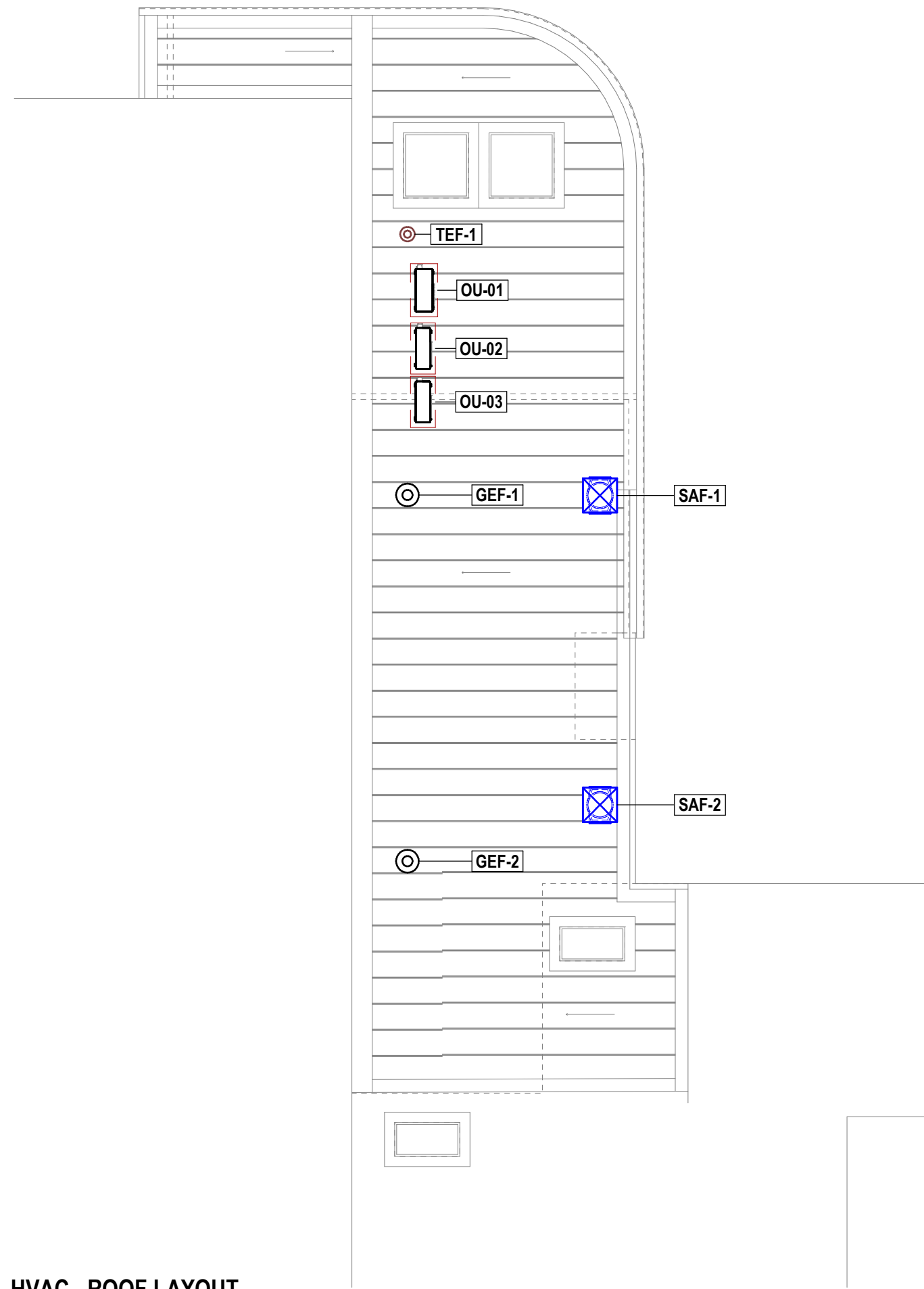
Project

**SORELL MEMORIAL HALL**

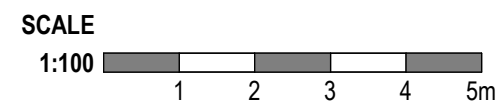
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**HVAC - GROUND FLOOR LAYOUT**

MECHANICAL SERVICES			
Designed	D.D	Drawn	F.H
Checked	-	Revision	BA1
Scale:	AS SHW @ A3	Drg No.	24232-S1-M02



**HVAC - ROOF LAYOUT**  
1 : 100



**BUILDING APPROVAL**


D.D	21/01/25	BUILDING APPROVAL	BA1
By	Date	Revision Description	Rev

REVISIONS



Project  
**SORELL MEMORIAL HALL**

Sheet Title  
**HVAC - ROOF LAYOUT**

MECHANICAL SERVICES

Designed	D.D	Drawn	F.H
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Checked	-	Revision	BA1
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Scale:	AS SHW @ A3	Drg No.	24232-S1-M03
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### A/C SPLIT SYSTEM SCHEDULE

REF.	MANUFACTURER	MODEL	CAPACITY		ELECTRICAL					WEIGHT	CONTROL	COMMENTS
			COOLING	HEATING	POWER		M.C.A	M.F.A	V. / PH. / FQ.			
			RATED TOTAL	RATED TOTAL	COOLING	HEATING						
AC-01	mitsubishi	SLZ-M60FA-A								15.00 kg	LOCAL CONTROL ON/OFF	
OU-01	mitsubishi	SUZ-M60VAD-A	6.00 kW	7.00 kW	1.730 kW	2.000 kW	0.00 A	20.00 A	230 V / 1 / 50 Hz	54.00 kg	-	
AC-02	mitsubishi	SLZ-M35FA-A								15.00 kg	LOCAL CONTROL ON/OFF	
OU-02	mitsubishi	SUZ-M35VAD-A	3.50 kW	4.00 kW	1.010 kW	1.110 kW	0.00 A	10.00 A	230 V / 1 / 50 Hz	35.00 kg	-	
AC-03	mitsubishi	SLZ-M50FA-A								15.00 kg	LOCAL CONTROL ON/OFF	
OU-03	mitsubishi	SLZ-M50VAD-A	5.00 kW	5.00 kW	1.490 kW	1.580 kW	0.00 A	20.00 A	230 V / 1 / 50 Hz	41.00 kg	-	

### GRILLE SCHEDULE

REF.	GRILLE TYPE	MANUFACTURER	MODEL	NECK SIZE	FACE SIZE	QTY.	COMMENTS
E1	EGGCRATE GRILLE	HOLYOAKE	EC-125	200x200	250 x 250	1	
S1	SQUARE FACE SWIRL DIFFUSER	SMARTAIR	HSC-FD-DN250-S-R4	250ø	300 x	3	

### FAN SCHEDULE

REF.	FAN TYPE	MANUFACTURER	MODEL	DUTY		SOUND	CONTROL	COMMENTS
				AIRFLOW	STATIC PRESSURE	dB(A) @ 3m		
GEF-1		FANTECH	ECE204	0 L/s	30.0 Pa	0		
GEF-2		FANTECH	ECE204	0 L/s	30.0 Pa	0		
SAF-1	CENTRIFUGAL FAN	FANTECH	CD314S	120 L/s	120.0 Pa	0		
SAF-2	CENTRIFUGAL FAN	FANTECH	CD314S	75 L/s	120.0 Pa	0		
TEF-1	THROUGH ROOF FAN	FANTECH	ECE152	60 L/s	30.0 Pa	0		

### DOOR UNDERCUT SCHEDULE

SYMBOL	UNDERCUT SIZE (mm)
M	5
N	10
O	15
P	20
Q	25
R	30
S	35

### FILTER SCHEDULE

REF.	TYPE	GRADE/CLASS	FILTER QUANTITIES PER PLENUM (SIZES NOM.)			
			600x600	600x300	300x300	DEPTH
FB-1	PANEL	G4	0	1	0	50
FB-2	PANEL	G4	0	1	0	50

#### BUILDING APPROVAL

D.D	21/01/25	BUILDING APPROVAL	BA1
By	Date	Revision Description	Rev

#### REVISIONS



Client

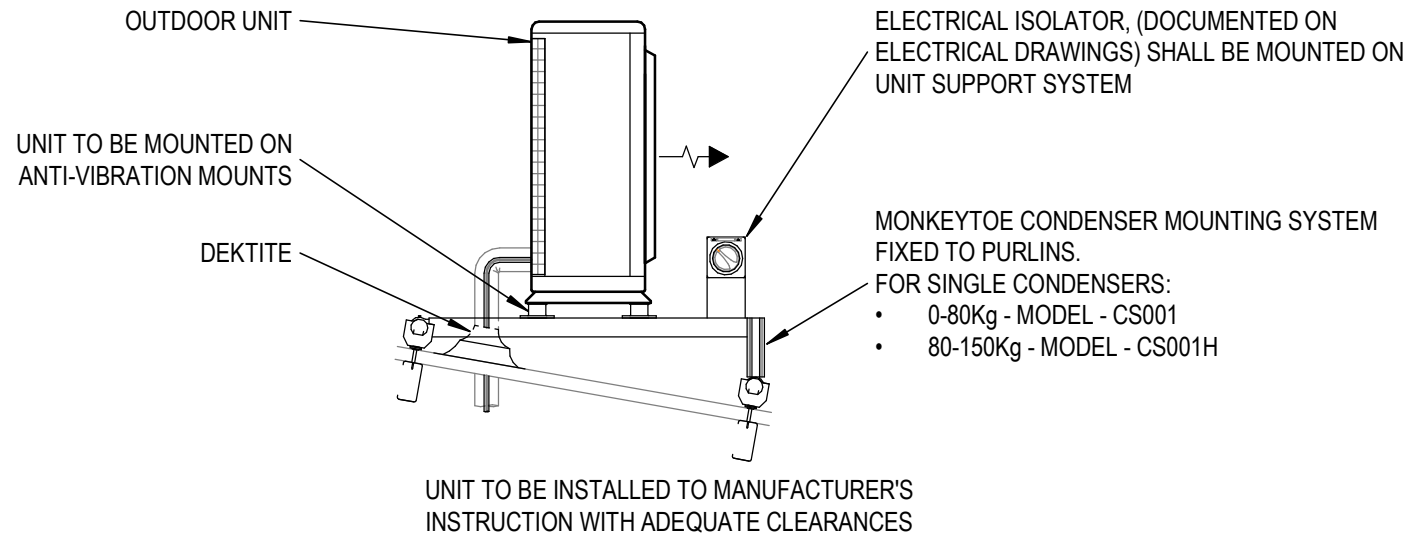


Project  
**SORELL MEMORIAL HALL**

Sheet Title  
**MECHANICAL SCHEDULES**

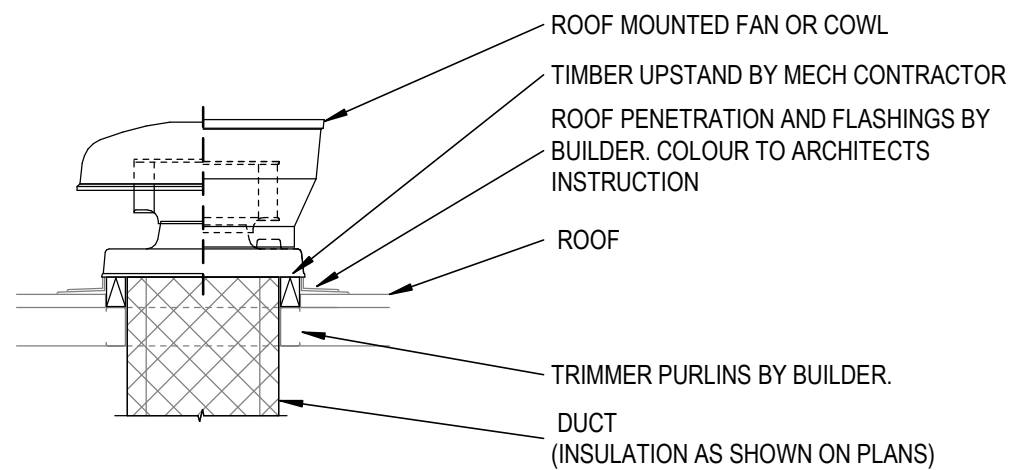
#### MECHANICAL SERVICES

Designed	D.D	Drawn	F.H
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Scale:	AS SHW @ A3	Drg No.	24232-S1-M04



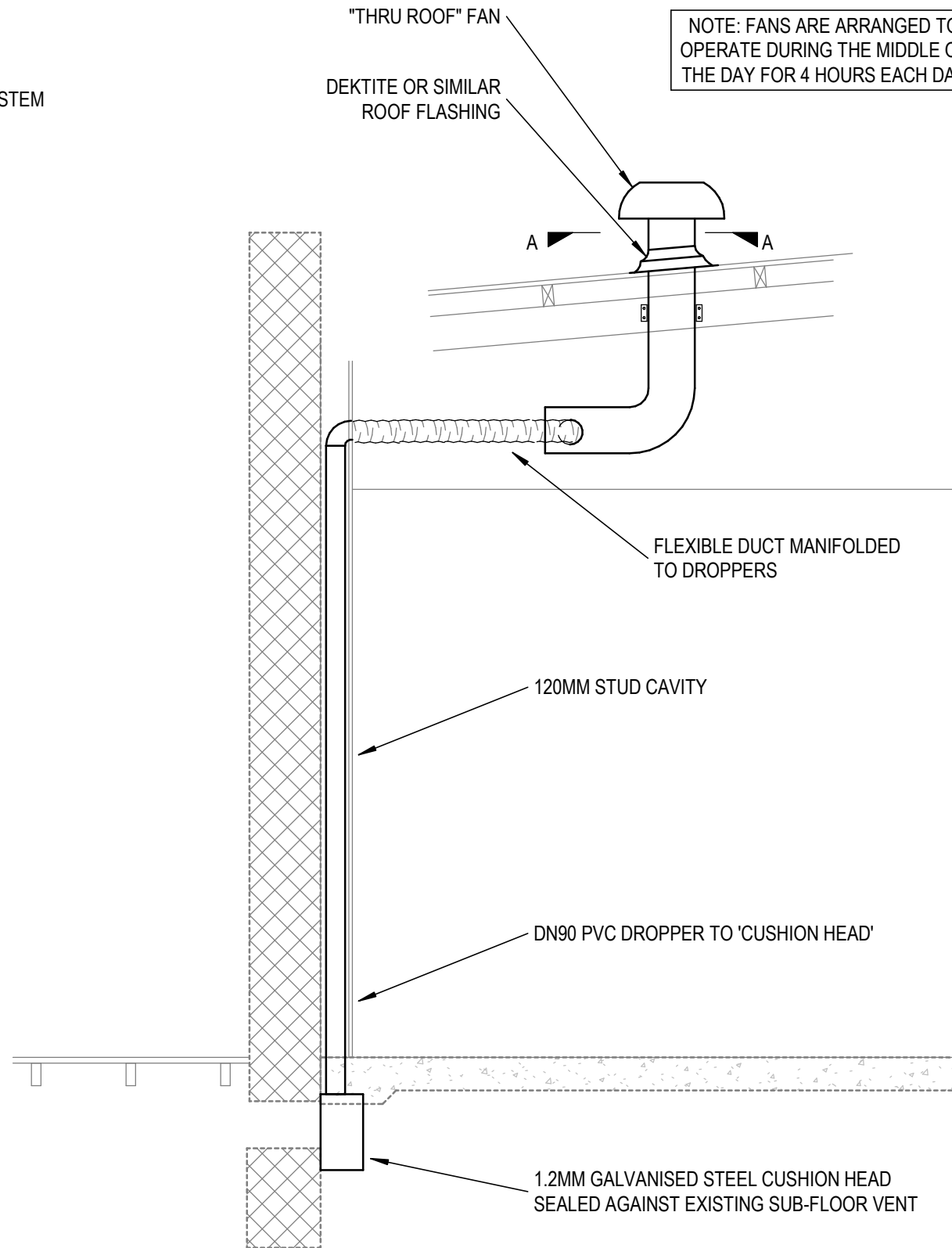
**TYPICAL ROOF MOUNTED CONDENSER DETAIL**

N.T.S



**TYPICAL DUCT MOUNTED ROOF FAN/COWL DETAIL**

N.T.S



**TYPICAL SUB-FLOOR VENTILATION ARRANGEMENT**

N.T.S

**BUILDING APPROVAL**


D.D	21/01/25	BUILDING APPROVAL	BA1
By	Date	Revision Description	Rev

REVISIONS



Client  
**SORELL MEMORIAL HALL**

Project  
**MECHANICAL DETAILS**

MECHANICAL SERVICES

Designed	D.D	Drawn	F.H
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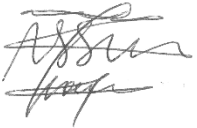
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Scale:	AS SHW @ A3	Drg No.	24232-S1-M05
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# RISK ASSESSMENT

Project Name: SORELL MEMORIAL HALL  
Project Address: 47 Cole Street, Sorell

Job Reference: **24-C-724**

REV	DATE	PREPARED BY:
0	29/01/2025	Assaad Taoum 

## INTRODUCTION

The purpose of this risk assessment is to identify potential hazards considered in the design process that may be created by work at the associated development.

The identified risks and risk ratings are site specific however this assessment may not necessarily account for all construction, operation, maintenance and demolition practices and safety risks. Inclusion or exclusion of any item does not absolve the owner, contractor, user, maintainer or demolisher of their obligations to undertake appropriate risk management activities and it is not an admission by that inclusion of any item becomes the responsibility of this designer to mitigate the associated risk.

The risk assessment is based upon a matrix form where Severity is compared to Likelihood for a guidance to the Risk rating and the corresponding action.

			CONSEQUENCE (c)				RISK RATING (R)			
			H	Fatality, major injury causing long term disability	M	Injury or illness causing short term disability	L	Other injury or illness	3	High risk
LIKELIHOOD (L)	H	Certain or near certain	3	3	2	2	2	2	Medium risk	Action required by contractor to reduce risk.
	M	Reasonably likely	3	2	1	1	1	1	Low risk	No direct action required by the contractor.
	L	Very seldom	2	1	1	1	1	1		

### Note:

- It is assumed that all contractors' employees will be supplied with items of Personal Protective Equipment.
- It is required that all contractors carry out works in accordance with current health and safety legislation and best practice.
- It is a requirement that the contractor conducts their own safe work method statement (or equivalent assessment) on all areas of work undertaken.

ACTIVITY / PROCESS	POTENTIAL HAZARD	(C)	(L)	(R)	PRINCIPLE OF AVOIDING/REDUCING RISK	ACTION ON REMAINING AREAS OF RISK
<b>SITE LAYOUT</b>						
Site access/traffic	Impact by moving vehicles or plant	H	M	3	Operate traffic management plan with banksmen etc.	Contractor to define working areas and work sequence.  The entry, exits and access ways in the workplace are kept clean and clear of materials and waste.
Site adjacent water/swimming pool	Drowning	H	L	2	Barricade off area of water	Contractor to prepare method statement if working above water.
Existing services above ground (i.e. electrical)	Electric shock from overhead lines	H	L	2	Clearly identify exclusion zones and approach distances from overhead services.	Contractor to define working areas and enforce exclusion zones/approach distances.
Unstable walls	Failure/collapse of retaining wall	H	L	2	Provide design restrictions on new retaining walls.  Do not apply extra load to existing retaining walls (i.e. extra material or construction vehicles behind wall etc).	Contractor to contact Qualified Engineer if unsure.
Tree removal	Uncontrolled felling of large trees or branches	H	M	3	Engage suitable qualified arborist.	Contractor to prepare method statement.
Stability of neighbouring structures	Collapse of adjacent structures due to undermining or removal of stabilising elements	L	H	3	Engage a Temporary Works Engineer to provide specific advice. Work in accordance with Safe Work Australia Code of Practice: Demolition Work	Contractor to prepare method statement.
<b>EXCAVATION</b>						



Excavation (generally)	Hitting existing buried services or structures	H	M	3	Conducting a Dial Before You Dig survey. Identify and isolate existing below ground services.	Contractor to read and understand survey information. Contractor to CAT scan before digging with due care.
Deep excavation (>1.2m)	Instability of excavations/collapse	H	M	3	Obtain and evaluate data on existing ground conditions.  Do not enter excavations deeper than 1.2m unless propped or benched.  Minimise excavation, number of operations and time required below ground.	Contractor to prepare method statement. Contractor to provide shoring to excavations as necessary to prevent sides from collapsing.
Shallow excavation (<1.2m)	Collapse of excavation, serious injury	M	M	2	Work in accordance with Safe Work Australia Code of Practice: Excavation Work.	Contractor to prepare method statement. Contractor to provide shoring to excavations as necessary to prevent sides from collapsing.
Earth moving	Ground contamination	M	M	2	Obtain and evaluate data on existing ground conditions.	Contractor provided with appropriate data on ground conditions i.e. site investigation/soil contamination report.
Excavation near existing structure	Instability of structure/excavations	H	L	2	Do not excavate below existing footing level or less than 45 degree line from underside of existing footing without permission from Qualified Engineer.	Contractor to prepare method statement.
Underpinning	Instability of structure/excavations	H	L	2	Do not excavate below existing footing level or less than 45 degree line from underside of existing footing without permission from Qualified Engineer.	Contractor to engage suitable qualified person to prepare design and methodology statement for proposed work.
Auguring	Falls into open bores	M	M	2	Concrete fill open bores as soon as possible.	Avoid prolonged opening of bores. Protect open bores.

CONSTRUCTION						
Falling from height	Falls from greater than 2m	H	M	3	Contractor to complete works from ground level if possible.  Contractor to use passive fall prevention device if possible (i.e. fixed platform, cherry picker etc).	Worker to use fall arrest harness system.
Access platforms and structures	Overturning or collapse of platform or structure  Also refer falling from height as above	H	M	3	Contractor to ensure qualified and licensed persons erect structures.  Contractor to ensure all users are trained.  Contractor to provide signs and cordon off area below structures.	Contractor to engage appropriate person to prepare and certify design and inspect erected structures.
Temporary support	Failure/collapse of structure	H	M	3	Contractor to provide temporary support/bracing to structure and contact Qualified Engineer if unsure.	Contractor to prepare method statement.
Unstable structure	Collapse caused by construction loads	H	L	2	Provide information on load allowance for contractor to design back propping.	Contractor to maintain back props for sufficient time.
Lifting equipment	Large/heavy objects falling from height	H	L	2	All lifting equipment to be stamped with Safe Working Load and certificates kept up to date.	Only lift items within Safe Working Load of lifting equipment.
Cranes	Instability during operation	H	L	2	Avoid specifying unusually large or unusually shaped items where possible.  Do not setup crane in close proximity of basements/existing services under ground	Contractor to prepare method statement.
Timber framing	Wall/lintel collapse	L	M	1	Secure all members before lifting/moving.  Contractor to provide all necessary temporary bracing.	Contractor to consider erection method.

<b>OPERATION (in service)</b>						
Services/infrastructure is fit for purpose and safe to use	Loss of amenity	L	M	1	Services/infrastructure designed by a competent person in accordance with relevant Australian Standards, NCC and recognised engineering principles	
Alterations and additions (Structural)	Failure/collapse of structure	M	H	3	Engage a Structural Engineer to provide specific advice. All work to be undertaken in accordance with relevant building regulations.	
Alterations and additions (Civil or Hydraulic)	Impaired functionality, reduced safety leading to serious injury and/or fatality	M	H	3	Engage a specialist (civil, hydraulic, traffic engineer) to provide specific advice. All work to be undertaken in accordance with relevant building regulations.	
<b>MAINTENANCE</b>						
Maintenance at height	Fall, serious injury and/or fatality	M	H	3	Work in accordance with Safe Work Australia Codes of Practice: Managing the Risk of Falls in the Workplace	
Maintenance in confined spaces	Entrapment, suffocation leading to serious injury and/or fatality	M	H	3	Entry to confined spaces by permit only and by trained personnel. Work in accordance with Safe Work Australia Code of Practice: Confined Spaces	
Corrosion of structural steel framing	Failure/collapse of structure	M	H	3	Maintain protective coatings in accordance with AS2312. Regular visual inspections of exposed structural elements to be undertaken by a competent person	Cordon off affected area and provide adequate site warning.

Replacement of Structural elements (at end of service life)	Failure/collapse of structure	L	H	3	Engage a Structural Engineer to provide specific advice. All work to be undertaken in accordance with relevant building regulations. Undertake inspections & maintenance in accordance with an approved building maintenance plan.	Cordon off affected area and provide adequate site warning.
Replacement of joint sealants and membranes (at end of service life)	Leaking leading to loss of amenity	L	M	2	Undertake inspections, maintenance and replacement in accordance with a building maintenance plan	Cordon off affected area and provide adequate site warning.

STRUCTURAL ENGINEERING DRAWINGS  
 SORELL MEMORIAL HALL  
 47 COLE STREET, SORELL, TASMANIA 7172

I.01	INDEX	0	29/01/25
EN.01	ENGINEERING NOTES	0	29/01/25
EN.02	WORKPLACE HEALTH & SAFETY NOTES	0	29/01/25
S01	FOOTINGS AND SLABS PLAN	0	29/01/25
S02	BRACING AND LINTELS PLAN	0	29/01/25
S03	WALLS PLAN / CEILING JOISTS PLAN (ABOVE TOILET)	0	29/01/25
S04	ROOF FRAMING PLAN	0	29/01/25
S05	FOOTINGS AND SLAB DETAILS	0	29/01/25
S06	STEEL FRAMING DETAILS	0	29/01/25
S07	BRACING, WALLS TO TRUSSES CONNECTIONS AND TIE-DOWNS DETAILS	0	29/01/25

0	BUILDING APPROVAL	29/01/2025		
REV	ISSUE	DATE		



**PRIMA ENGINEERING**  
 EXCELLENCE | SUSTAINABILITY | INNOVATION  
 mail@primaengineering.com.au

SORELL MEMORIAL HALL

ADDRESS: 47 COLE STREET  
 SORELL

CLIENT: SORELL COUNCIL

ENGINEERING NOTES			
SCALE: N.T.S.	TOTAL SHEETS:	SIZE: A1	
PROJECT No: 24-C-724	SHEET: 1.01	REV: 0	

# ENGINEERING NOTES - STRUCTURE

## GENERAL

- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS OR SKETCHES AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE SUPERINTENDENT BEFORE PROCEEDING WITH WORK.
- MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE SPECIFICATION, CURRENT SAA CODES, BUILDING REGULATIONS AND THE REQUIREMENTS OF ANY OTHER RELEVANT STATUTORY AUTHORITIES.
- THESE DRAWINGS MUST NOT BE SCALED. ALL DIMENSIONS ARE IN mm U.N.O. ALL SET OUT DIMENSIONS AND LEVELS, INCLUDING THOSE SHOWN ON THESE DRAWINGS SHALL BE IN ACCORDANCE WITH THE ARCHITECT'S DRAWINGS AND MUST BE VERIFIED ON SITE.
- THE CONSULTING ENGINEER HAS DESIGNED THE PERMANENT STRUCTURE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, IMPLEMENTATION AND CERTIFICATION OF ALL TEMPORARY WORKS, PROPPING, NEEDLING, FALSE WORK, BRACING, BACK-PROPPING, AND ANY OTHER STRUCTURE, NECESSARY TO COMPLETE THE WORK.
- DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED. THE CONTRACTOR SHALL ALLOW TO ENGAGE A SUITABLY QUALIFIED ENGINEER TO DESIGN, INSPECT THE TEMPORARY WORKS AND VERIFY THE TEMPORARY STABILITY OF THE STRUCTURE.

## CONSTRUCTION SEQUENCE

- THE FOLLOWING CONSTRUCTION SEQUENCE IS PROPOSED. ANY DEVIATION PROPOSED BY THE MANAGING CONTRACTOR SHOULD BE DISCUSSED WITH THE DESIGN ENGINEER PRIOR TO CONSTRUCTION:
  - SITE ESTABLISHMENT
  - FOOTING EXCAVATION
  - POUR FOOTINGS
  - CONSTRUCT BLOCKWORK WALLS
  - POUR CONCRETE SLABS WITH CAST IN PLATES
  - INSTALL PRECAST WALLS IN ACCORDANCE WITH TEMPORARY WORKS DESIGNER METHODOLOGY AND TEMPORARY BRACING
  - INSTALL BAYS OF STEEL COLUMNS/RAFTERS/ROOF TRUSSES/PURLINS/GIRTS/LINTELS (PROVIDE TEMPORARY/PERMANENT BRACING AS NECESSARY)
  - CONSTRUCT TIMBER FRAMING
  - INSTALL ROOF/WALL CLADDING
  - INSTALL FLOOR SHEETING

## INSPECTION / HOLD POINTS

- THE MANAGING CONTRACTOR SHALL ALLOW TO ENGAGE A SUITABLY QUALIFIED ENGINEER TO UNDERTAKE INSPECTION OF THE FOLLOWING ELEMENTS:
  - FOUNDATION (PRIOR TO PLACING CONTROLLED FILL, VAPOUR BARRIER OR REINFORCEMENT)
  - FOOTING REINFORCEMENT
  - BLOCKWORK REINFORCEMENT
  - SLAB REINFORCEMENT
  - WALL REINFORCEMENT
  - STEEL AND TIMBER FRAMING
  - PRECAST PANELS (AT COMPLETION OF ERECTION)
  - PRECAST PANELS (AT COMPLETION OF STRUCTURE PRIOR TO REMOVAL OF TEMPORARY PROPS)

## LOADING

- STRUCTURAL ELEMENTS ARE DESIGNED TO WITHSTAND LOADING AS REQUIRED UNDER AS1170 AND THE BUILDING CODE OF AUSTRALIA (BCA).
- FLOOR LIVE IMPOSED AND DEAD LOAD LIMITS ARE INDICATED ON THE RESPECTIVE FLOOR PLANS WITHIN THE DRAWING SET.
- DO NOT PLACE OR STORE BUILDING MATERIALS ON STRUCTURAL MEMBERS WITHOUT APPROVAL OF THE DESIGN ENGINEER.
- WIND DESIGN CRITERIA TO AS1170.2:
 

DESIGN LIFE:	50 YEARS
REGION:	A3
IMPORTANCE LEVEL:	2
TERRAIN CATEGORY:	2.5
REGIONAL WIND SPEED - ULTIMATE $V_u$ :	45 m/s
REGIONAL WIND SPEED - SERVICE $V_s$ :	37 m/s

## FOUNDATIONS

- REFER SITE INVESTIGATION REPORT GEOTECHNICAL SITE INVESTIGATION BY GES DATED OCTOBER 2021
- REMOVE AND DISCARD ALL TREES, STUMPS, ROOTS AND OTHER VEGETATION TO A MINIMUM DEPTH OF 150mm BELOW NATURAL SURFACE AND TO APPROVAL OF THE ENGINEER.
- EXCAVATED SITES SHALL BE INSPECTED AND APPROVED IN WRITING BY THE ENGINEER PRIOR TO PLACEMENT OF ANY FILL MATERIAL.
- IMPORTED MATERIAL INTENDED FOR USE AS STRUCTURAL FILL SHALL BE APPROVED IN WRITING BY THE ENGINEER PRIOR TO USE.
- BASES OF ALL FOOTINGS SHALL BE DEWATERED AND CLEANED OF ALL LOOSE MATERIAL PRIOR TO POURING OF CONCRETE.
- AREAS OF SOFT FOUNDATION (LESS THAN 100 kPa ALLOWABLE BEARING) SHOULD BE REMOVED AND REPLACED WITH 15 MPa CONCRETE TO APPROVAL OF THE ENGINEER.
- EXCAVATIONS FOR NEW FOOTINGS OR TRENCHES PARALLEL TO THE EDGE OF ANY EXISTING FOOTING, BATTERED BANK OR SERVICE TRENCH SHALL NOT EXTEND BELOW A LINE DRAWN AT 30° (FROM HORIZONTAL) FROM THE BOTTOM EDGE OF THE EXISTING FOOTING, BATTERED BANK OR SERVICE TRENCH.
- WHERE BORED CONCRETE PIERS ARE INSTALLED THE MANAGING CONTRACTOR SHALL PROVIDE TO THE ENGINEER BORE LOGS FOR EACH PILE WHICH INCLUDES DETAIL OF DEPTH AND BASE OBTAINED. BORED PILES SHALL BE DEWATERED AND FREE OF ALL LOOSE MATERIAL.

## REINFORCEMENT

- REINFORCEMENT IS SHOWN DIAGRAMMATICALLY AND IS NOT NECESSARILY IN TRUE PROJECTION. SPLICES TO REINFORCEMENT SHALL BE MADE ONLY AT THE LOCATION SHOWN OR AS OTHERWISE APPROVED BY THE ENGINEER.
- WELDING OF REINFORCEMENT MUST BE APPROVED BY ENGINEER AND SHALL BE CARRIED OUT BY A QUALIFIED WELDER IN ACCORDANCE WITH AS/NZS1554 AND THE REINFORCEMENT SUPPLIER'S RECOMMENDATIONS. THE INTERPASS TEMPERATURE SHALL BE LESS THAN 200 DEGREES IN ACCORDANCE WITH AS/NZS1554 PART 3.
- THE REINFORCEMENT SYMBOLS ARE:
  - N NORMAL DUCTILITY CLASS HOT ROLLED 500N DEFORMED BARS WITH  $f_{yk} = 500MPa$ .
  - R NORMAL DUCTILITY CLASS 250N PLAIN ROUND BARS WITH  $f_{yk} = 250MPa$ .
  - L LOW DUCTILITY CLASS HARD DRAWN 500L WIRE REINFORCING MESH WITH  $f_{yk} = 500MPa$ .
- DO NOT USE LOW DUCTILITY CLASS L REINFORCEMENT UNLESS SHOWN ON THE DRAWINGS. THE NUMBER FOLLOWING THE REINFORCEMENT SYMBOL IS THE NOMINAL BAR DIAMETER IN MILLIMETRES. ALL REINFORCEMENT SHALL COMPLY WITH AS/NZS4671.
- HOOKS AND COGS SHALL COMPLY WITH AS3600 UNLESS NOTED OTHERWISE. ALL PULL OUT BARS SHALL BE TEMPORARY BARS OR APPROVED EQUIVALENT. BENDING AND REBENDING OF BARS SHALL BE CARRIED OUT IN ACCORDANCE WITH AS3600. AS/NZS4671. THE SPECIFICATIONS AND THE REINFORCEMENT SUPPLIER RECOMMENDATIONS. BARS SHALL NOT BE HEATED ABOVE 400 DEGREES WITHOUT THE ENGINEER'S WRITTEN APPROVAL. THERMAL CRAYONS SHALL BE USED TO ENSURE COMPLIANCE WITH THIS TEMPERATURE LIMIT.

## CONCRETE

- NO HOLES, CHASES OR EMBEDMENTS OTHER THAN THOSE SHOWN ON THE DRAWINGS SHALL BE MADE IN CONCRETE ELEMENTS WITHOUT ENGINEER'S APPROVAL.
- CONCRETE SLABS/BEAMS SHALL BE KEPT FREE OF SUPPORTING MASONRY WITH TWO LAYERS OF SUITABLE MEMBRANE (MALTHOID OR EQUAL). VERTICAL FACES SHALL BE SEPARATED BY 12mm BITUMINOUS CANETE. ALL NON - LOAD BEARING WALLS SHALL BE KEPT 20mm CLEAR OF THE UNDERSIDE OF SLABS AND BEAMS UNLESS NOTED OTHERWISE.
- CONSTRUCTION JOINTS SHALL BE PROPERLY FORMED AND LOCATED TO THE SATISFACTION OF THE ENGINEER. THE MANAGING CONTRACTOR SHALL ALLOW FOR ALL NECESSARY CONSTRUCTION JOINTS.
- WHERE THE CONCRETE SOFFITS ARE INDICATED TO BE CAMBERED, THE UPPER SURFACE SHALL BE SIMILARLY CAMBERED. DEPTH GAUGES SHALL BE USED TO VERIFY THE SLAB THICKNESS.
- ALL CONCRETE SHALL BE MECHANICALLY VIBRATED.
- COVER TO REINFORCEMENT AND CONCRETE GRADE SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE IN PLAN:

ELEMENT	CONCRETE GRADE	FORMED FINISH	CAST AGAINST GROUND
FOOTINGS	N25	-	50
WEATHER EXPOSED WALLS	N40	40	-
SLAB ON GRADE OVER MEMBRANE	N32	-	30

- FOR EXPOSURE CLASSIFICATION B2 ADD 5mm TO THE COVER SHOWN UNDER (a) AND THE CONCRETE GRADE SHALL BE N40 MINIMUM.
- FOR PRESTRESSING TENDONS THE MINIMUM COVER SHALL BE 25mm TO THE DUCT.
- COVER IS THE CLEAR DISTANCE BETWEEN ANY REINFORCING (INCLUDING FITMENTS) AND THE FACE OF THE STRUCTURAL ELEMENT.
- FOR ALL EXTERNAL SURFACES, PROVIDE FULLY PLASTIC BAR CHAIRS. THE WIRE SHALL NOT BE NAILED TO THE FORMS, REINFORCING BARS SHALL NOT BE USED TO KEEP FORMS APART AND A THROUGH THE SYSTEM SHALL BE USED TO THE FORMS.
- PROVIDE AN APPROVED VAPOUR BARRIER FOR SLABS, BEAMS AND THICKENINGS CAST AGAINST THE GROUND.
- THE COVERS SHALL BE MAINTAINED USING APPROVED BAR CHAIRS. BAR CHAIRS SUPPORTING MESH SHALL BE AT 800 x 800mm MAXIMUM CENTRES. BAR CHAIRS SUPPORTING BARS SHALL BE AT 40 BAR DIAMETERS OR 1500mm MAXIMUM CENTRES WHICHEVER IS THE LESSER. BAR CHAIRS SHALL BE PROVIDED ALONG THE EDGES OF ALL CONSTRUCTION JOINTS. STOP ENDS SHALL NOT BE USED TO MAINTAIN THE COVERS.
  - EXTERNAL ELEMENTS ARE THOSE EXPOSED TO WEATHER, RAIN AND WATER PENETRATION AND ARE CLASSIFIED B1 UNLESS NOTED OTHERWISE.
- EXTERNAL CONCRETE ELEMENTS SHALL MEET THE FOLLOWING REQUIREMENTS: MINIMUM PORTLAND CEMENT CONTENT 330kg/m<sup>3</sup>; MAXIMUM WATER/CEMENT RATIO 0.5; AND THE CHLORIDE CONTENT RESTRICTED AS PER CLAUSE 4.9 OF AS3600.
- THE MIX DESIGN WITH THE 7 AND 28 DAYS TARGET STRENGTHS AND THE BASIC SHRINKAGE STRAIN AT 56 DAYS SHALL BE SUBMITTED FOR REVIEW PRIOR TO POURING ANY CONCRETE. ALL CONCRETE IN CONTACT WITH AGGRESSIVE SOIL SHALL HAVE SULPHATE RESISTING CEMENT. THE C3A CONTENT OF THE CEMENT SHALL BE LESS THAN 5%.
- CONDUITS AND PIPES WHEN CAST IN SLABS OR WALLS ARE TO BE PLACED BETWEEN THE TWO REINFORCEMENT LAYERS. WHERE THERE IS ONLY ONE LAYER OF REINFORCEMENT, PROVIDE 50mm COVER TO CONDUIT. THE CONDUIT LOCATIONS ARE TO BE APPROVED BY THE ENGINEER.
- FORMWORK SHALL BE DESIGNED, CONSTRUCTED AND SUPPLIED IN ACCORDANCE WITH AS3610.
- CURING OF THE CONCRETE ELEMENTS SHALL BE STARTED AS SOON AS THE CONCRETE HAS HARDENED AND SHALL COMPLY WITH THE SPECIFICATIONS.

## CONCRETE SLAB - ON GRADE

- MINIMUM CONCRETE GRADE FOR DURABILITY:
  - COVERED FLOOR: N32
  - POLISHED CONCRETE FLOOR: N32
  - TRAFFICABLE FLOOR (RUBBER TYRES): N32
  - TRAFFICABLE FLOOR (STEEL WHEELS): N40
- ALL VEGETATION SHALL BE STRIPPED TO A MINIMUM DEPTH OF 150mm. ANY SOFT SPOTS OR DELETERIOUS MATERIAL SHALL BE REMOVED AND REPLACED WITH APPROVED GRANULAR FILLING COMPACTED TO 98% AUSTRALIAN STANDARD COMPACTION. MINOR FILLING (800 MAXIMUM) SHALL BE PROVIDED WHERE REQUIRED TO BRING SUB GRADE TO REQUIRED LEVEL IN ACCORDANCE WITH LIMITS STATED IN AS3798 AND BCA. FILLING SHALL BE APPROVED GRANULAR MATERIAL PLACED IN 150mm AND COMPACTED TO 98% AUSTRALIAN STANDARD COMPACTION.
- A 0.2mm VAPOUR BARRIER SHALL BE USED, LAPPED A MINIMUM OF 200mm AT JOINTS AND TAPED AROUND SERVICES FITTINGS WITH ADHESIVE TAPE. THE VAPOUR BARRIER SHALL BE PLACED ON A 30mm MINIMUM COMPACTED SAND BED OR SIMILAR APPROVED MATERIAL TO PREVENT PUNCTURE.
- FOR RAFT SLABS: TRENCH MESH IN BEAMS SHALL BE OVERLAPPED BY THE WIDTH OF FABRIC AT 'T' AND 'L' INTERSECTIONS AND SPLICED WITH A LAP OF 500mm AT ENDS OF SHEETS. THE OUTER BAR AT 'L' INTERSECTION MUST BE BENT AND LAPPED 500mm AROUND THE CORNER OR AN EQUIVALENT N12 BAR PROVIDED.
- SLAB FABRIC TO BE LAPPED SUCH THAT THE TWO OUTERMOST TRANSVERSE WIRE OF ONE SHEET OF MESH OVERLAP THE TWO OUTERMOST TRANSVERSE WIRES OF THE SHEET BEING LAPPED. MESH SHALL BE SUPPORTED ON BAR CHAIRS AT 800mm MAXIMUM CENTRES.
- TOP OF SLAB SHALL BE 150mm MINIMUM ABOVE THE FINAL GROUND LEVEL U.N.O. CONTROL JOINTS IN BRICKWORK MUST CO-INSIDE WITH KEY JOINTS IN SLAB.
- THE FINISHED GROUND SURFACE AT THE SLAB PERIMETER SHALL BE GRADED TO FALL AWAY FROM THE SLAB AT 5% OVER A MINIMUM OF 1m. DRAINAGE SHALL BE PROVIDED AS NECESSARY TO PREVENT WATER PONDING ADJACENT TO THE SLAB EDGE. TREATMENT OF AREAS SURROUNDING THE SLAB SHALL ALSO BE IN ACCORDANCE WITH RECOMMENDATIONS BY THE CSIRO - REFER CSIRO INFORMATION SHEET No. 10-19.

## STEEL

- UNLESS NOTED OTHERWISE, ALL MATERIAL TO BE:
  - GRADE 250 HOT ROLLED PLATES, FLATS, ANGLES, 100 x 100 ANGLE OR 125 x 75 ANGLE AND SMALLER
  - GRADE 300 PLUS UB, UC, PFC AND LARGER ANGLES
  - GRADE 300 WB, WC
  - GRADE 350 RHS, CHS
- THE FABRICATOR SHALL BE RESPONSIBLE FOR SUBMITTING SHOP DRAWINGS, WHICH SHALL COMPLY WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS. FOR REVIEW BEFORE FABRICATION IS STARTED. REVIEW DOES NOT INCLUDE CHECKING OF DIMENSIONS, NOR TAKE RESPONSIBILITY FOR CONTRACTORS OBLIGATIONS.
- ALL DETAILS, GAUGE LINES, ETC. WHERE NOT SPECIFICALLY SHOWN SHALL BE IN ACCORDANCE WITH AISC DESIGN CAPACITY TABLES FOR STRUCTURAL STEEL AND AISC STANDARDISED STRUCTURAL CONNECTIONS.
- FABRICATOR SHALL PROVIDE ALL FIXINGS FOR ARCHITECTURAL ELEMENTS ETC. WITHOUT WEAKENING STRUCTURAL MEMBERS IN ANY WAY.
- ALL STEELWORK BELOW GROUND SHALL BE ENCASED BY CONCRETE WITH MIN. COVER OF 75mm. CONCRETE ENCASED STRUCTURAL STEEL TO BE WRAPPED WITH RF41 PLACED 25mm CLEAR OF STEEL. PROVIDE 50mm MINIMUM ENCASING.
- THE BOLTING PROCEDURE IS DESIGNATED AS FOLLOWS:
  - 4.6/5 REFERS TO COMMERCIAL BOLTS OF STRENGTH GRADE 4.6 TO AS/NZS1111 TIGHTENED USING A STANDARD WRENCH TO A SNUG-TIGHT CONDITION. ENGINEER MUST BE CONSULTED IF CLASS 4.6 BOLTS REQUIRE WELDING
  - 8.8/5 REFERS TO HIGH STRENGTH BOLTS OF STRENGTH GRADE 8.8 TO AS/NZS1252 TIGHTENED USING A STANDARD WRENCH TO A SNUG-TIGHT CONDITION.
  - 8.8/8T REFERS TO HIGH STRENGTH BOLTS OF STRENGTH GRADE 8.8 TO AS/NZS1252 FULLY TENSIONED TO AS1511, DESIGNED AS A FRICTION TYPE JOINT.
  - 8.8/8T REFERS TO HIGH STRENGTH BOLTS OF STRENGTH GRADE 8.8 TO AS/NZS1252 FULLY TENSIONED TO AS1511, DESIGNED AS A BEARING TYPE JOINT. WELDING OF ANY CLASS 8.8 BOLTS IS PROHIBITED.
- LOAD INDICATING WASHERS SHALL BE USED TO VERIFY TIGHTENING OF BOLTS IN TF AND TB CONNECTIONS. A HARDENED WASHER SHALL BE USED UNDER THE BOLT HEAD OR NUT, WHICHEVER IS ROTATED. FULLY TENSIONED BOLTS SHALL NOT BE RE-USED.
- ALL BOLTS SHALL BE OF SUCH LENGTH THAT AT LEAST ONE FULL THREAD IS EXPOSED BEYOND THE NUT AFTER THE NUT HAS BEEN TIGHTENED. MINIMUM ONE WASHER SHALL BE USED UNDER THE NUT IN ALL SITUATIONS. IF TIGHTENING IS CARRIED OUT AT THE HEAD, AN ADDITIONAL WASHER SHALL BE USED
- ALL EXTERNAL STEEL MEMBERS EXPOSURE CATEGORY C3 TO BE HOT DIP GALVANISED IN ACCORDANCE WITH AS 2312 2014. ALL INTERNAL STEEL MEMBERS EXPOSURE CLASSIFICATION C2 TO BE PRIMED IN ACCORDANCE WITH AS2313.1 2014.
- WELDING TO BE CARRIED OUT IN ACCORDANCE WITH AS/NZS1554.1. MINIMUM TENSILE STRENGTH OF WELDING CONSUMABLES TO BE 430MPa U.N.O. ALL WELD TO BE 6mm CFW SP CATEGORY U.N.O. INSPECTION TO BE CARRIED OUT TO AS/NZS1554.1.
- ALL G/SP WELDS TO BE 100% VISUALLY SCANNED.
- THE ENDS OF TUBULAR MEMBERS SHALL BE SEALED WITH NOMINAL THICKNESS PLATES AND CONTINUOUS FILLET WELDED UNLESS NOTED OTHERWISE.
- WHERE MEMBERS SHOWN ON THE STRUCTURAL OR ARCHITECTURAL DRAWINGS ARE REQUIRED TO BE CURVED, BENT OR ROLLED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE METHODS REQUIRED TO ACHIEVE THE REQUIRED SHAPES WITHOUT LOCALIZED DISTORTION OF THE MEMBERS.
- THE CONTRACTOR SHALL PROVIDE AND LEAVE IN PLACE, UNTIL PERMANENT BRACING ELEMENTS ARE CONSTRUCTED, SUCH TEMPORARY BRACING AS IS NECESSARY TO STABILIZE THE STRUCTURE DURING ERECTION. REFER TO NOTES GENERAL 4 AND GENERAL 5.
- SUBMIT DETAILS OF THE MANUFACTURER, MATERIAL AND SECTION PROPERTIES OF THE PURLINS AND GIRTS TO BE USED FOR APPROVAL. PURLIN AND GIRT BOLTS AND BRIDGING SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S DETAILS UNLESS SHOWN OTHERWISE.
- TRIMMING MEMBERS FOR MECHANICAL/HYDRAULIC PENETRATIONS, DRAINAGE GUTTERS, SUMPS ETC. ARE NOT NECESSARILY SHOWN. SUPPORT OF HEAVY PIPES AND DUCTS IS TO BE APPROVED BY THE ENGINEER. SERVICES SHALL BE HUNG FROM THE WEB OF PURLINS NOT FLANGES.
- THE DESIGN, SUPPLY AND INSTALLATION OF SECONDARY STEELWORK REQUIRED TO SUPPORT/CONNECT THE FACADE TO BASE STRUCTURE IS THE RESPONSIBILITY OF THE CONTRACTOR. CERTIFICATION OF ARCHITECTURAL FIXINGS/BRACING OF CEILINGS AND NON-STRUCTURAL WALLS TO THE BASE STRUCTURE IS THE RESPONSIBILITY OF THE CONTRACTOR. FORWARD TO THE ENGINEER A CERTIFICATE OF SUFFICIENCY BY THE SUPPLIER FOR THE ARCHITECTURAL FIXTURES/PANELS/DRY-WALL TO RESIST THE PRESSURES DESIGNATED IN THE DESIGN DOCUMENTS.

## TIMBER FRAMING

- ALL FRAMING TO CONFORM TO AS1684.2 AND NCC REQUIREMENTS U.N.O.
- THE DOWN CONNECTIONS AND BRACING SHALL BE PROVIDED IN ACCORDANCE WITH AS1684.2. ENGINEERING NOTES MAY BE USED AS A GUIDE.
- BRACING SHALL BE PROVIDED IN ACCORDANCE WITH AS1684.2 TABLE 8.18 AS ILLUSTRATED BY DETAILS 9, 10 AND 11.
- PROPRIETARY TIMBER BEAMS AND JOISTS U.N.O. SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE OPTIONS TO BE APPROVED BY ENGINEER OR CERTIFIED BY SUPPLIER.
- SHEET METAL TIMBER CONNECTIONS SHALL BE GANGNAIL, TECO, PRYDA BRAND STANDARD ITEMS FIXED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
- SPLICES IN SPEED BRACES SHALL BE MADE OVER TIMBER MEMBERS WITH A MINIMUM OF 3 NAILS THROUGH THE 2-SPEED BRACES INTO THE TIMBER.
- SHEET STEEL CONNECTORS SHALL BE GALVANIZED.
- NAILS USED EXTERNALLY SHALL BE ZINC PLATED.
- BOLTS SHALL BE ZINC PLATED.
- LINTELS SHALL BE CHECKED BY TRUSS MANUFACTURER FOR ABILITY TO SUPPORT CONCENTRATED LOADS IMPARTED BY GIRDER TRUSSES.
- WHERE THE NAIL LENGTH IS NOT SPECIFIED THE MINIMUM DEPTH OF PENETRATION INTO THE RECEIVING MEMBER SHALL BE A MINIMUM OF 10 TIMES THE NAIL DIAMETER INTO SIDE GRAIN AND 15 TIMES THE NAIL DIAMETER INTO END GRAIN.
- UNLESS SPECIFIED OTHERWISE THE MINIMUM DIAMETER OF GUN DRIVEN NAILS SHALL BE 3.05mm FOR HARDWOOD AND 3.33mm FOR SOFTWOOD. WHERE PLAIN SHANK HAND DRIVEN NAILS ARE USED IN LIEU OF GUN DRIVEN NAILS THEY SHALL BE A MINIMUM DIAMETER OF 3.15mm FOR HARDWOOD AND 3.75mm FOR SOFTWOOD.

TABLE 5 - THE DOWN FOR N3 (V<sub>u</sub> = 50m/s) SITES

JOINT	MINIMUM FIXING REQUIREMENT
CEILING JOIST TO TOP PLATE	SEVENED MINIMUM NAIL FIXING
CEILING JOIST TO RAFTER	MINIMUM NAIL FIXING
TOP PLATE TO RAFTER/TRUSS:	
- COUPLED ROOF	SEVENED MINIMUM NAIL FIXING - 30 x 0.8 G/L STRAP LAPPED OVER EACH RAFTER AND WRAPPED UNDER THE TOP PLATE WITH MIN. 4 G/CL STRIPS OVER EACH END. 2.8 Ø x 25 FOR HARDWOOD, 2.8 Ø x 30 FOR PINE PLUS 3.75mm G/CL NAILS THROUGH RAFTER INTO TOP PLATE
- NON COUPLED ROOF	AS PER COUPLED ROOF
- TRUSS ROOF	AS PER TRUSS MANUFACTURER'S TIE DOWN SPECIFICATION. IN THE ABSENCE OF MANUFACTURER'S TIE DOWN SPECIFICATION ADOPT AS A MINIMUM 30 x 0.8 G/L STRAP LAPPED OVER TRUSSES AND WRAPPED UNDER THE PLATE WITH 4 G/CL CLOUTS EACH. 2.8 Ø x 25 FOR HARDWOOD, 2.8 Ø x 30 FOR PINE PLUS 3.75mm G/CL NAILS THROUGH RAFTER INTO TOP PLATE.
COLLAR TIES TO RAFTERS	1 / M10 BOLT FOR TIES OVER 4.2m OR 3 / 75mm NAILS FOR TIES UP TO 4.2m
STEEL BEAM TO RAFTER / TRUSS	WELD TO A STEEL CLEATS OF SUITABLE LENGTH TO STEEL BEAM TO RAFTER / TRUSS LOCATIONS. PROVIDE 2 / M10 OR 1 / M10 BOLT AND WASHERS THROUGH RAFTER / TRUSS AND CLEAT
PURLIN TO RAFTER	PROVIDE 1 / MIN. 100mm LONG TYPE 17 BUGLE SCREW AT EVERY PURLIN TO RAFTER / TRUSS JUNCTION (MAX. 900 G) FOR PINE RAFTERS / TRUSSES. PROVIDE 1 / 75mm TYPE 17 BUGLE SCREW AT EVERY PURLIN TO RAFTER / TRUSS JUNCTION (MAX. 900 G) FOR HARDWOOD RAFTERS / TRUSSES

- NOTES
- A MINIMUM NAIL FIXING SHALL BE 2 / 75 x 3.15 HARDWOOD OR 2 / 75 x 3.33 (SOFTWOOD) G/L CL. COATED GUN DRIVEN NAILS.
  - ADDITIONAL ANCHORS MAY BE REQUIRED AT ENDS OF BRACING UNITS TO COMPLY WITH AS1684.2 REFER TO BRACING DETAILS.
  - TO DETERMINE UPLOAD WIDTH REFER AS1684.2 FIGURE 9.5

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ENGINEERING NOTES	
SCALE: N.T.S.	TOTAL SHEETS:
PROJECT No: 24-C-724	SHEET: EN.01

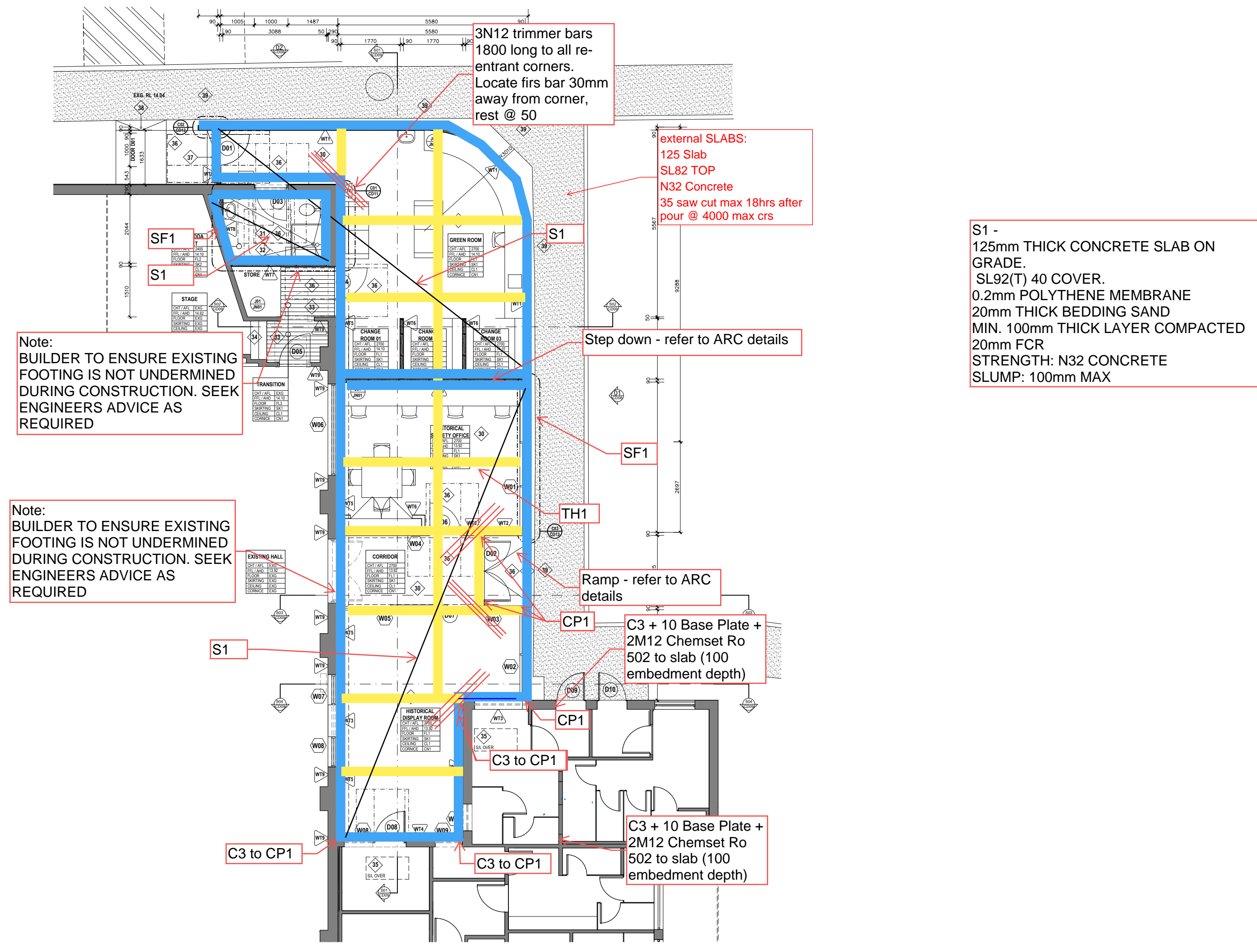
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IMPORTANT NOTICE TO THE ATTENTION OF THE OWNER/  
 OCCUPIER  
 THE OWNERS/OCCUPIERS ATTENTION IS DRAWN  
 TO THE FACT THAT FOUNDATIONS AND  
 ASSOCIATED DRAINAGE ON ALL SITES REQUIRES  
 CONTINUING MAINTENANCE TO ASSIST FOOTING  
 PERFORMANCE. ADVICE FOR FOUNDATION  
 MAINTENANCE IS CONTAINED IN THE CSIRO  
 BUILDING TECHNOLOGY FILE 18 AND IT IS THE  
 OWNERS/OCCUPIERS' RESPONSIBILITY TO  
 MAINTAIN THE SITE IN ACCORDANCE WITH THIS  
 DOCUMENT



**FOOTINGS AND SLAB PLAN**  
 NTS

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REV	ISSUE	DATE	

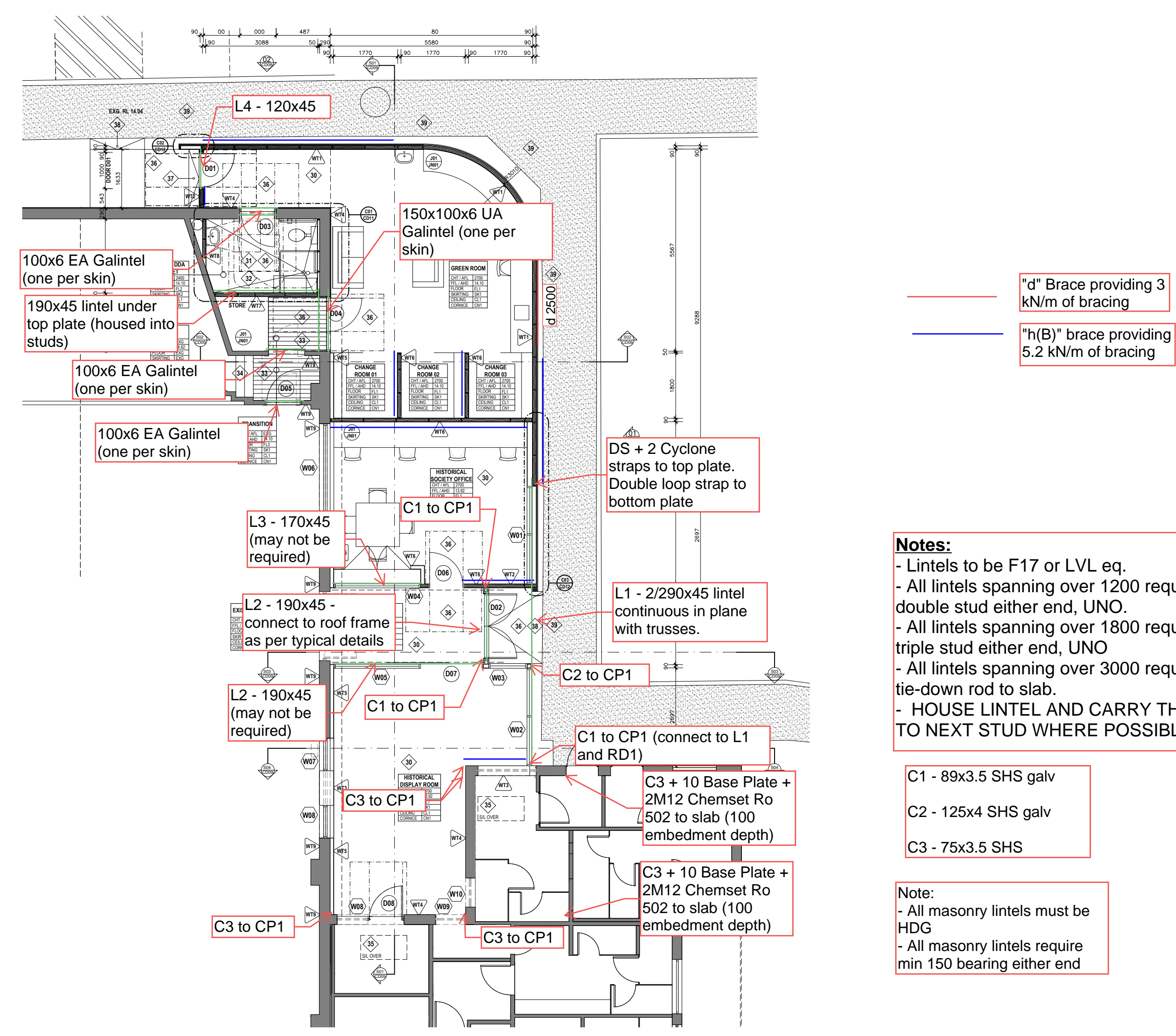

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FOOTINGS AND SLABS PLAN  
 SCALE: N.T.S.  
 PROJECT No: 24-C-724

TOTAL SHEETS:	SIZE: A1
SHEET: S.01	REV: 0





**BRACING AND AND LINTELS**  
NTS

**Notes:**  
 - Lintels to be F17 or LVL eq.  
 - All lintels spanning over 1200 require min double stud either end, UNO.  
 - All lintels spanning over 1800 require min triple stud either end, UNO  
 - All lintels spanning over 3000 require 1M12 tie-down rod to slab.  
 - HOUSE LINTEL AND CARRY THROUGH TO NEXT STUD WHERE POSSIBLE

- C1 - 89x3.5 SHS galv
- C2 - 125x4 SHS galv
- C3 - 75x3.5 SHS

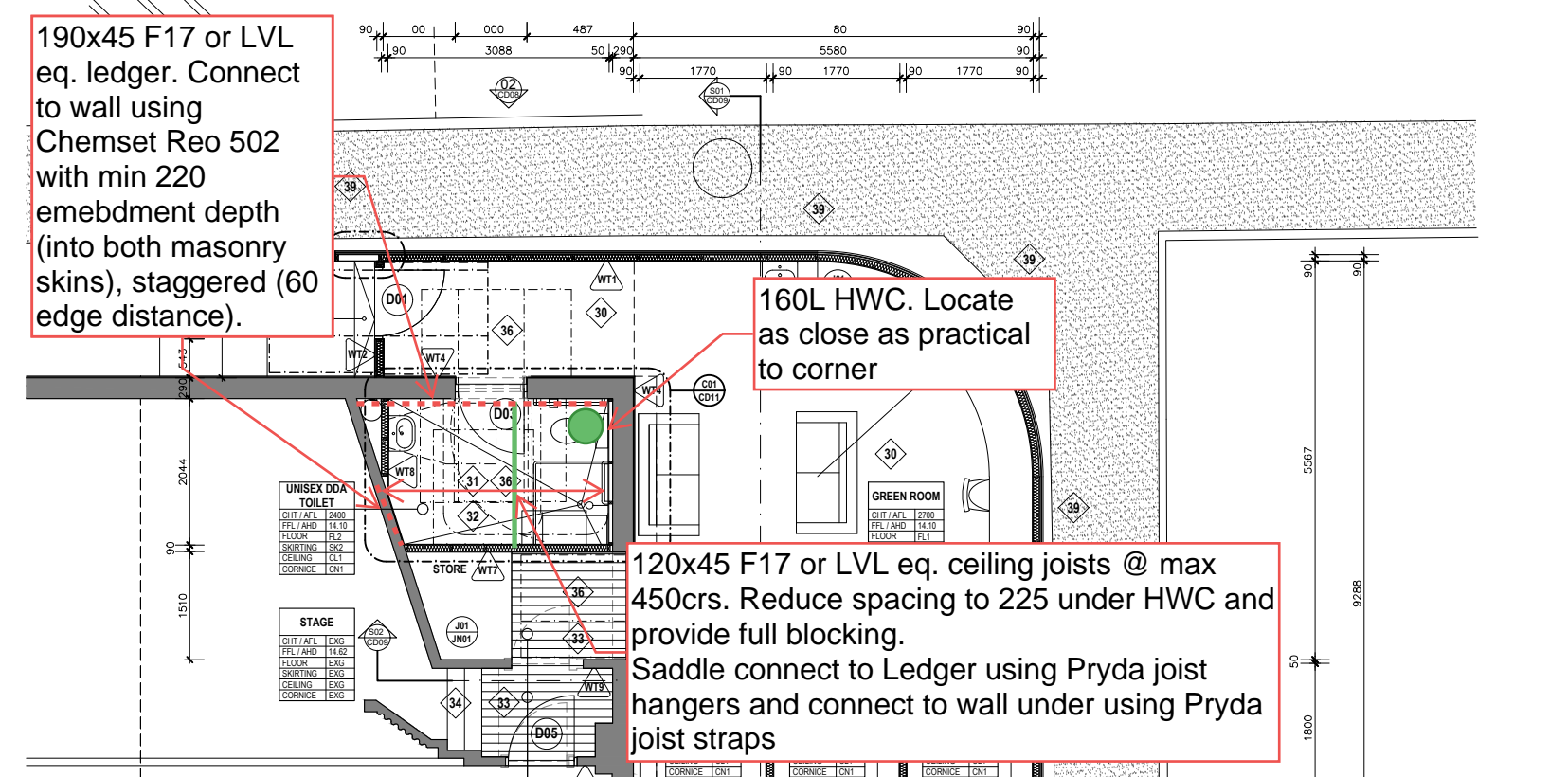
**Note:**  
 - All masonry lintels must be HDG  
 - All masonry lintels require min 150 bearing either end

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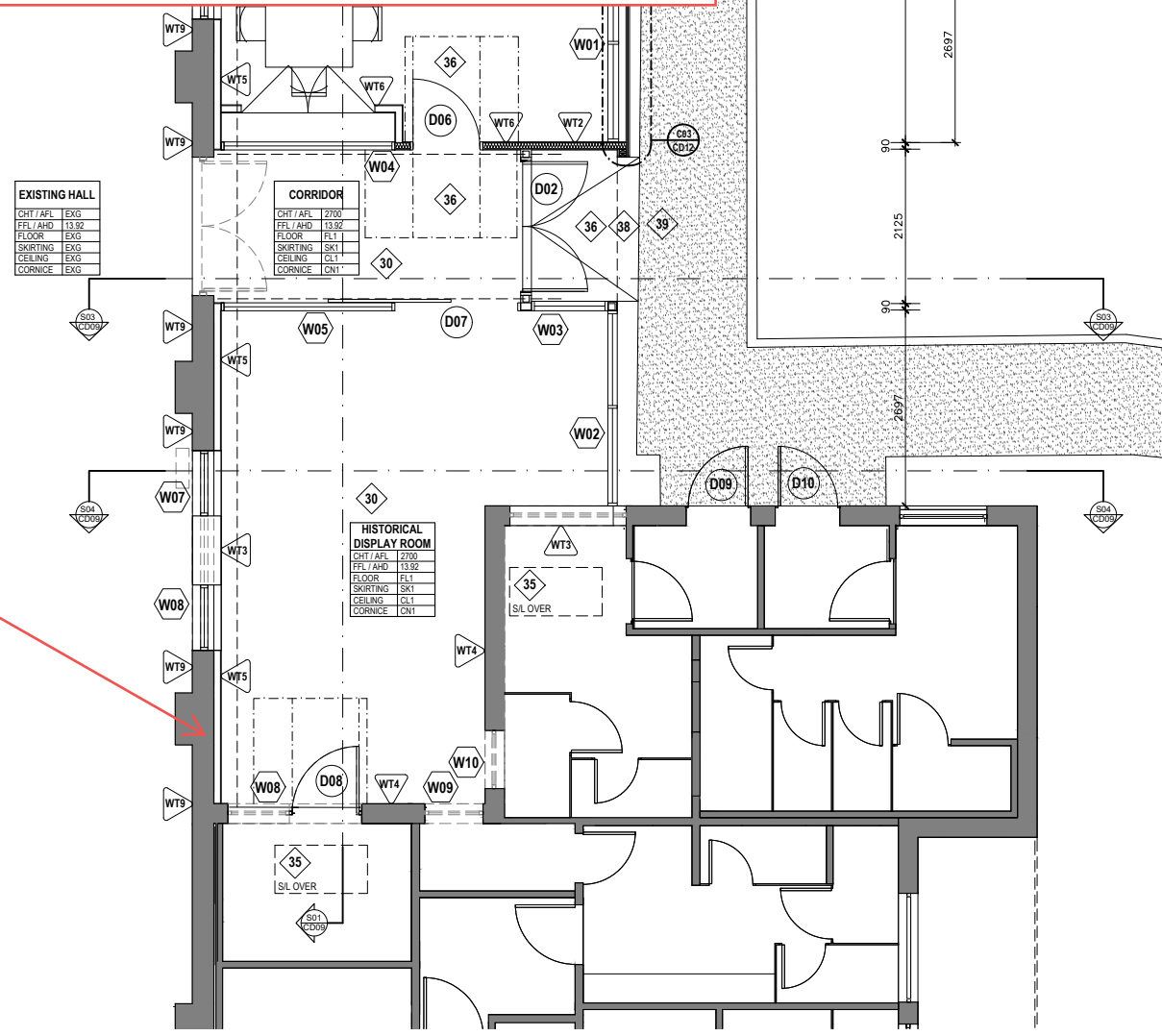
BRACING AND LINTELS PLAN		
SCALE: N.T.S.	TOTAL SHEETS:	SIZE: A1
PROJECT No: 24-C-724	SHEET: S.02	REV: 0



**CEILING JOISTS PLAN (ABOVE TOILET)**  
NTS

**WALLS:**  
90x45 MGP10 timber as following:  
Top plate: 2/45x90  
Bottom plate: 45x90  
Common studs: 90x45 @ max 450 crs  
Noggings: 45x90 @ max 1200crs.  
Provide M12 Anakscrews 150 long tie-downs @ max 900crs. Wall to be max 2700 high

Connect timber walls to masonry wall as following:  
Pryda angle bracket 88x63x36x1.6mm or similar.  
1M8 Anakscrew 60 long to wall.  
2/Type 17 No 14 batten screws 50 long to stud.  
Spacing horizontal and vertical must not exceed 900.  
Typical



**WALLS PLAN**  
NTS

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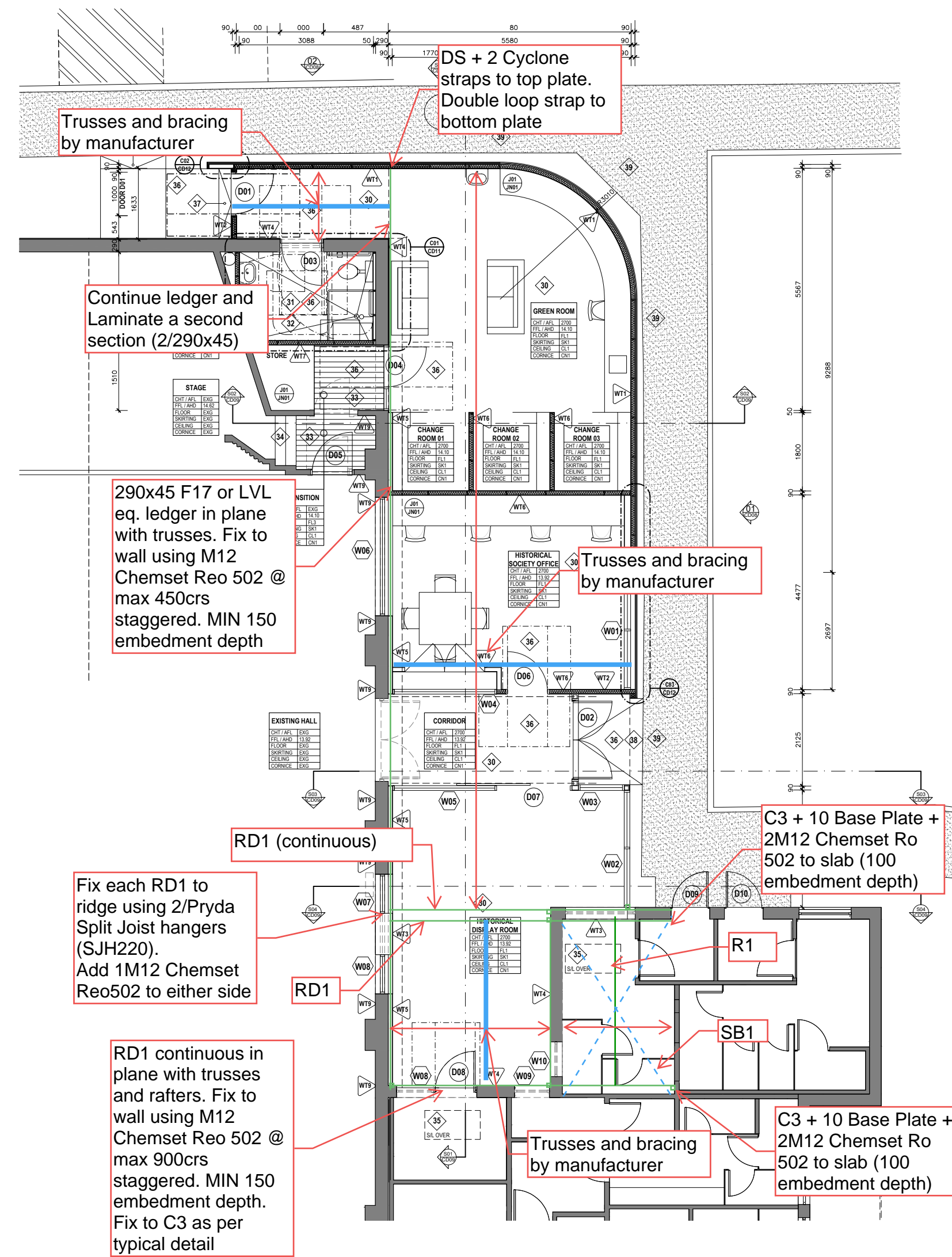
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WALLS PLAN / CELING JOISTS PLAN (ABOVE TOILET)		
SCALE: N.T.S.	TOTAL SHEETS:	SIZE: A1
PROJECT No: 24-C-724	SHEET: S.03	REV: 0





RD1 - 2/290x45 F17 or LVL eq. ridge.  
 RD2 - 2/190x45 F17 or LVL eq. ridge.  
 R1 - 140x45 F17 or LVL eq. rafters @ max 600crs. Connect to RD1 using Pryda joist hangers  
 SB1 - 30x0.8 GI tensioned GI straps or Speedbrace

**ROOF FRAMING PLAN**  
 NTS

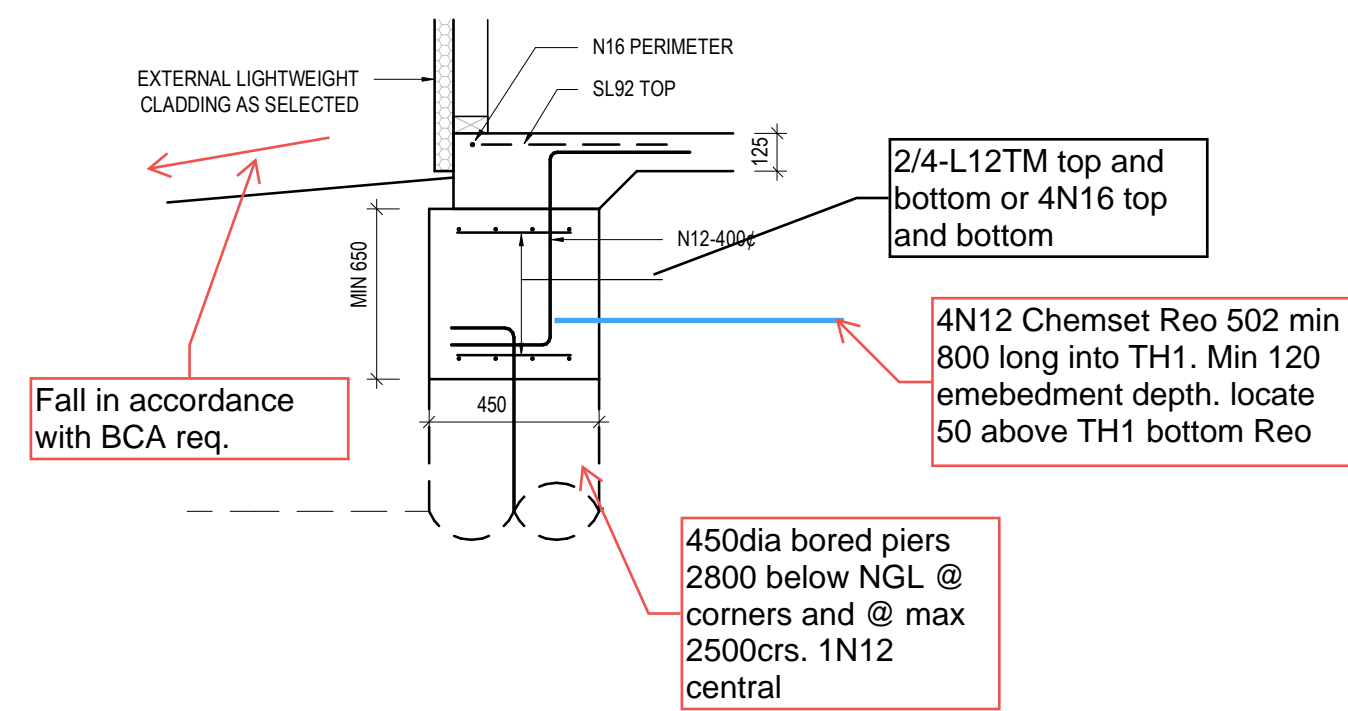
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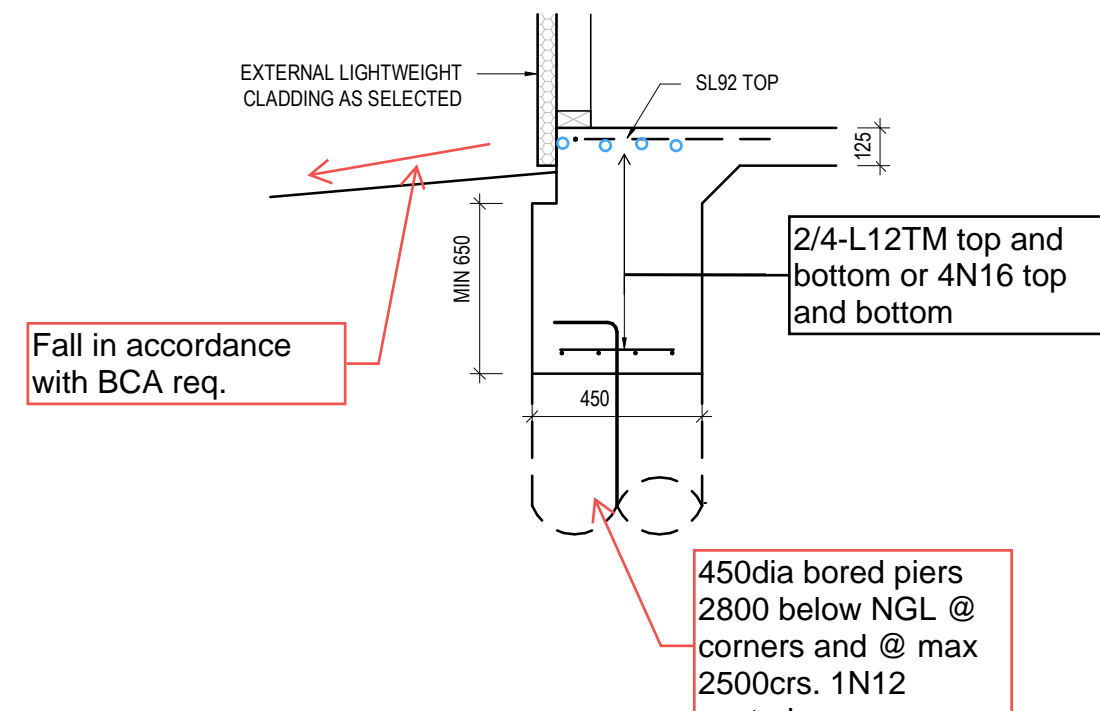
ROOF FRAMING PLAN  
 SCALE: N.T.S.  
 PROJECT No: 24-C-724

TOTAL SHEETS:	SIZE: A1
SHEET: S.04	REV: 0



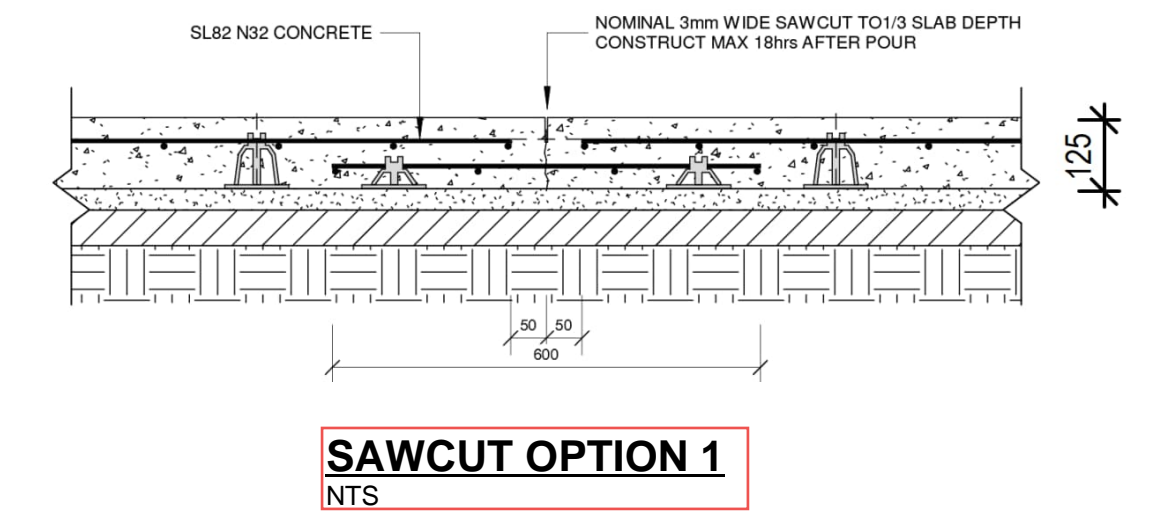
**SF1 DETAIL - SEPARATE SLAB AND SF1 POUR**

NTS



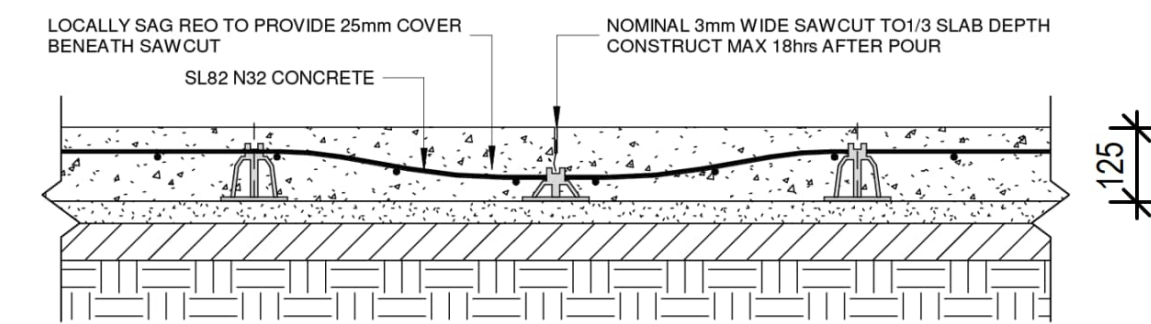
**SF1 DETAIL - MONOLITHIC POUR**

NTS



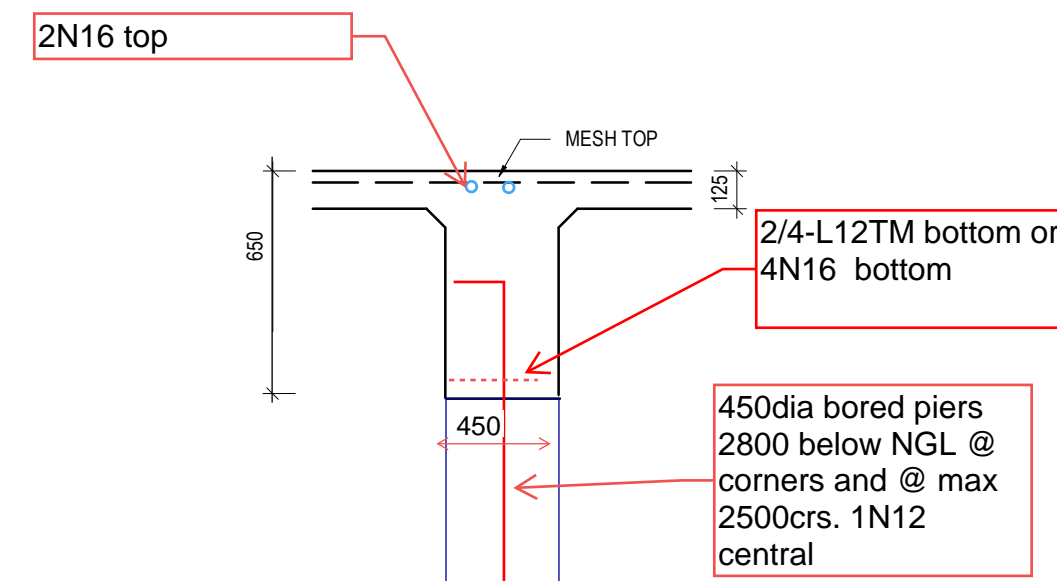
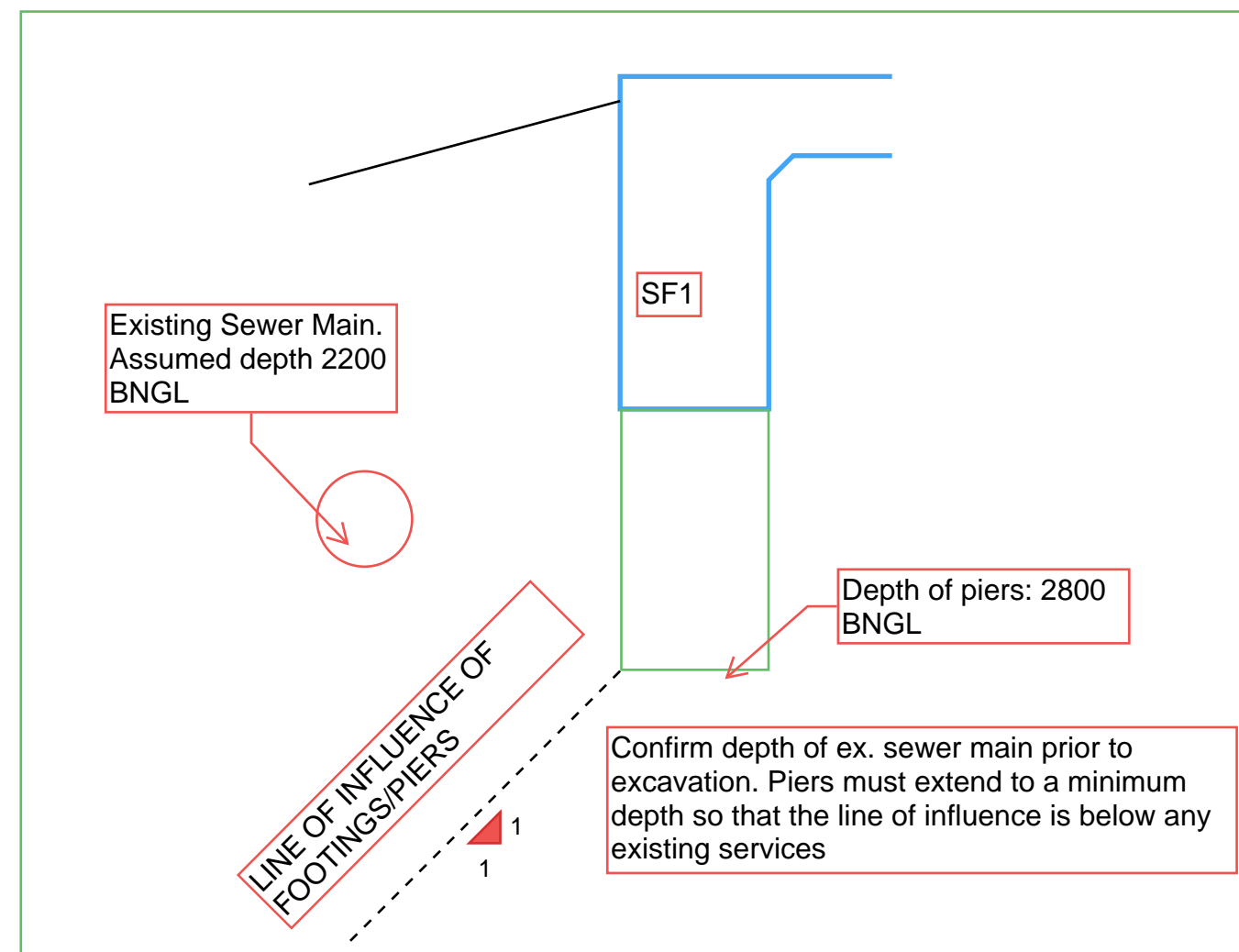
**SAWCUT OPTION 1**

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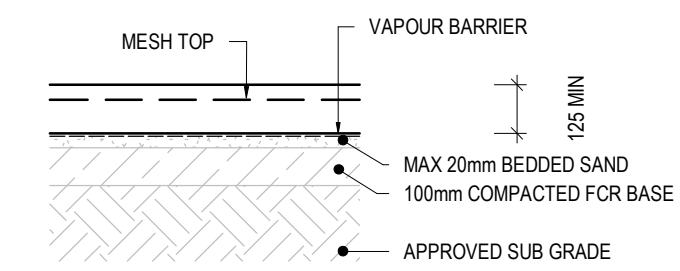
**SAWCUT OPTION 2**

NTS



**TH1 DETAIL**

NTS



**TYPICAL SLAB BASE DETAIL**

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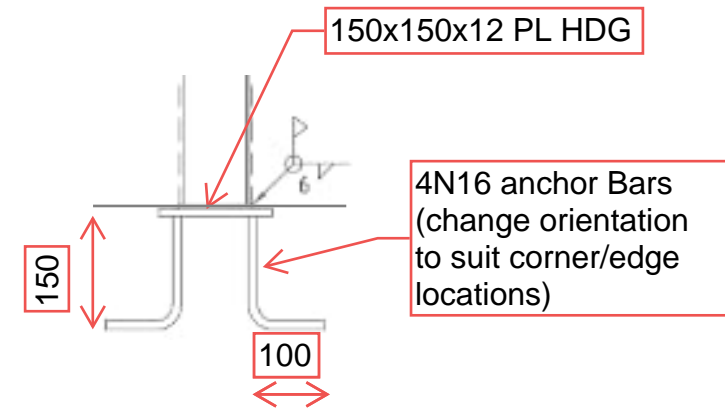
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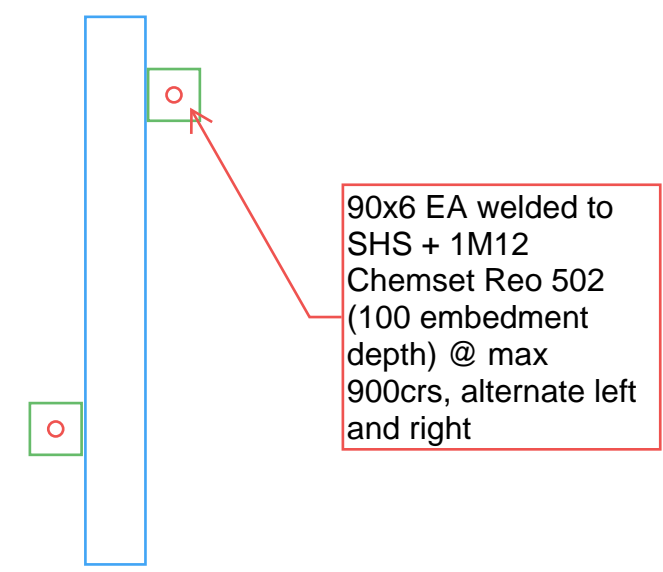
FOOTINGS AND SLAB DETAILS

SCALE: N.T.S. TOTAL SHEETS: SIZE: A1

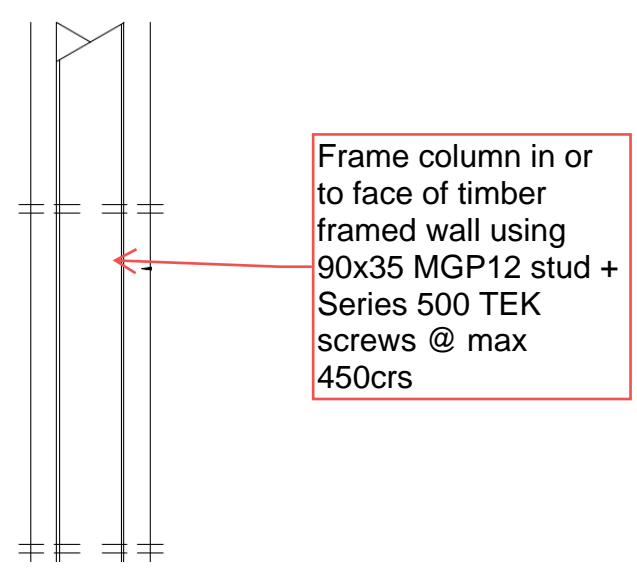
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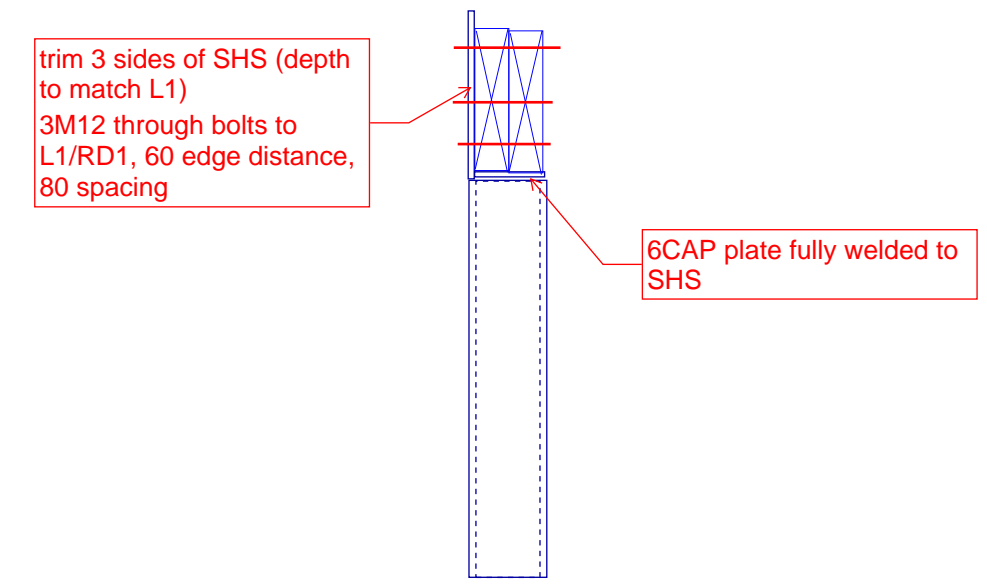
**CP1 DETAIL**  
NTS



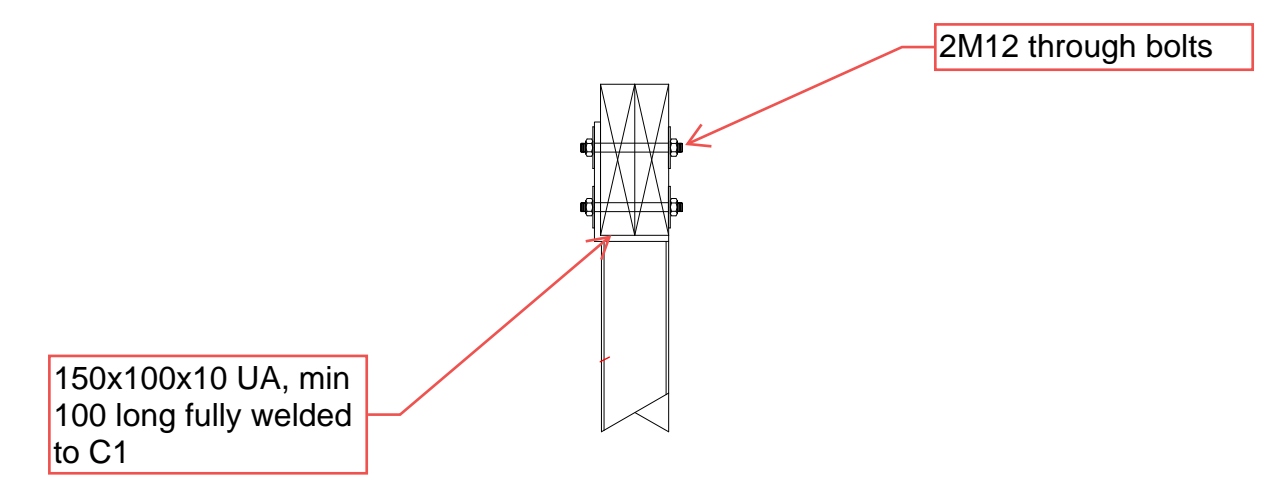
**TYPICAL SHS CONNECTION TO MASONRY WALL BEHIND**  
NTS



**TYPICAL SHS/RHS IN OR TO FACE OF TIMBER FRAMED WALLS**  
NTS



**L1/RD1 CONNECTION TO C1/C2/C3**  
NTS



**L2 CONNECTION TO C1**  
NTS

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STEEL FRAMING DETAILS		
SCALE: N.T.S.	TOTAL SHEETS:	SIZE: A1
PROJECT No: 24-C-724	SHEET: S.06	REV: 0





# CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94  
Section 106  
Section 129  
Section 155

Form **35**

To:  Owner name  
 Address  
  Suburb/postcode

## Designer details:

Name:  Category:   
 Business name:  Phone No:   
 Business address:   
  Fax No:   
 Licence No:  Email address:

## Details of the proposed work:

**Owner/Applicant**  Designer's project reference No.   
**Address:**  Lot No:   
   
**Type of work:** Building work  Plumbing work  *(X all applicable)*

### Description of work:

(new building / alteration / addition / repair / removal / re-erection / water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)

### Description of the Design Work (Scope, limitations or exclusions):

Certificate Type:	Certificate	Responsible Practitioner
	<input type="checkbox"/> Building design	Architect or Building Designer
	<input checked="" type="checkbox"/> Structural design	Engineer or Civil Designer
	<input type="checkbox"/> Fire Safety design	Fire Engineer
	<input type="checkbox"/> Civil design	Civil Engineer or Civil Designer
	<input type="checkbox"/> Other (specify)	

Deemed-to-Satisfy:  Performance Solution:  *(X the appropriate box)*

**Scope:** Footings, slabs, timber and steel framing, tie-downs and bracing

**Limitations:** Engineering design is based on the following documents:  
 •Architectural documents by loci architecture + planning (PROJECT NO. 2403)

**Exclusions:** waterproofing and trusses (by manufacturer)

The building surveyor or a suitably qualified and competent professional should be engaged to conduct engineering inspections during construction and to confirm the suitability of the engineering design for the site conditions encountered. Prima Engineering should be contacted if variations in site conditions are encountered or if the suitable person is unsure about the suitability of the engineering design. Alternatively, Prima Engineering can be engaged to conduct these inspections on behalf of the building surveyor.



**Design documents provided:**

The following documents are provided with this Certificate –

*Document description:*

Drawing numbers: I.01, EN.01, EN.02, S.01, S.02, S.03, S04, S05, S06, and S07	Prepared by: Prima Engineering	Date: 29/01/2025
Schedules:	Prepared by:	Date:
Specifications:	Prepared by: Assaad Taoum	Date:
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by:	Date:

**Standards, codes or guidelines relied on in design process:**

NCC 2022, AS 1684.2, AS 2870, AS/NZS 1170.0, AS/NZS 1170.1, AS/NZS 1170.2, AS 4100, AS 3600, AS 4678.

**Any other relevant documentation:**

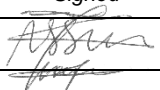
**Attribution as designer:**

I, Assaad Taoum ..... am responsible for the design of that part of the work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

Designer: Name: (print) Signed Date

Assaad Taoum  29/01/2025

Licence No: 945648285

**Assessment of Certifiable Works: (TasWater)**

**Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.**

**If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.**

**TasWater must then be contacted to determine if the proposed works are Certifiable Works.**

**I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:**

- The works will not increase the demand for water supplied by TasWater
- The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater's sewerage system
- The works will not require a new connection or modification to be made to TasWater's infrastructure
- The works will not damage or interfere with any existing infrastructure
- The works will not adversely affect the environment
- The works are not within 2m of TasWater's infrastructure and are outside any TasWater easement
- I have checked the LISTMap to confirm the location of TasWater infrastructure
- If the property is connected to TasWater's water system, a water meter is in place, or has been applied for to TasWater.

**NOT APPLICABLE**  
**REFER TO PAGE 3 OF FORM 35**  
**SUBMITTED BY LEAD**  
**CONSULTANT/DESIGNER**

**Certification:**

I ..... being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: [www.taswater.com.au](http://www.taswater.com.au)

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	<input type="text"/>	<input type="text"/>	<input type="text"/>