

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: 30 Federation Drive, Sorell

PROPOSED DEVELOPMENT:

DWELLING

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Tuesday 4th February 2025**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Tuesday 4th February 2025**

APPLICANT: Cunic Homes

APPLICATION NO: DA 2024 / 343 - 1

DATE: 16 January 2025

Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use:
	Development:
	<i>Large or complex proposals should be described in a letter or planning report.</i>

Design and construction cost of proposal:	\$
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Is all, or some the work already constructed:	No: <input type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address:
	Suburb: Postcode:
	Certificate of Title(s) Volume: Folio:

Current Use of Site
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Current Owner/s:	Name(s).....
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Is the Property on the Tasmanian Heritage Register?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>

If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form
<https://www.sorell.tas.gov.au/services/engineering/>

 Sorell Council Development Application: 5.2024.343.1 - Development Application - 30 Federation Drive, Sorell P1.pdf Plans Reference:P1 Date Received: 20/12/2024
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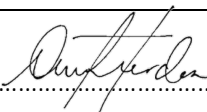
Part B continued: Please note that Part B of this form is publicly exhibited

Declarations and acknowledgements

- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.
- I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council’s representatives to enter the land at any time during normal business hours.
- I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.
- I/we declare that, in accordance with s52(1) of the *Land Use Planning and Approvals Act 1993*, that I have notified the owner(s) of the intention to make this application.
- I/we declare that the information in this application is true and correct.

Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council’s Privacy Policy available on the Council website.

- I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.
- Where the General Manager’s consent is also required under s.14 of the *Urban Drainage Act 2013*, by making this application I/we also apply for that consent.

Applicant Signature:	Signature:  Date: 20/12/2024
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Crown or General Manager Land Owner Consent

If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the *Land Use Planning and Approvals Act 1993*).

Please note:

- If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au
- If the application involves Crown land you will also need a letter of consent.
- Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.

I _____ being responsible for the administration of land at _____

declare that I have given permission for the making of this application for _____



Signature of General Manager, Minister or Delegate:	Signature: Date:
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20 December 2024

Att: Planning Department
Sorell Council

Dear Sir/Madam,

30 Federation Drive, Sorell
New residential dwelling development

Please find enclosed application for development for a single residential dwelling development at 30 Federation rive, Sorell. In support of this application the following documents are provided:

- Title documents
- DA plans

8.0 General Residential Zone

8.1 Zone Purpose

8.1.1 The proposal is for the construction of a single residential dwelling located on a lot with full infrastructure and services available.

8.1.2 The proposed development is located in close proximity to public transport and other services and complies.

8.2 Use Table

A single residential dwelling is a no permit required, permitted or discretionary use. Our assessment of the development, as below, assess this proposed development as a “**discretionary**” application.

8.4 Development Standards for Dwellings

8.4.1 Residential density for multiple dwellings

A1 NA

8.4.2 Setbacks and building envelope for all dwellings

A1(a) The proposed dwelling is set back 8564mm from the primary frontage and complies with A1(a).

A1(b) NA

A1(c) NA

A1(d) NA

- A2(a) The proposed development does not include a carport or garage. A2 does not apply.
- A3(a) The proposed dwelling is contained within the building envelope, as demonstrated on elevations and complies with A3(a).
- A3(b) The proposed dwelling is located <1500 mm from the side and assessed against P3.
- P3 The proposed dwelling windows is <1000mm from FFL on side and (b) & therefore it will not cause any overshadowing to the neighbouring (c) properties. It is our position the proposal can meet P3(b) and (c).
- 8.4.3 Site coverage and private open space for all dwellings
 - A1(a) The proposed dwelling has a site coverage of 26% and complies.
 - A1(b) NA
 - A2(a) (i) The proposed dwelling has a POS of 24m² and complies.
(ii)NA
 - A2(b) (i) The proposed dwelling has a POS with minimum width of 4000mm and complies with A2(b).
(ii)NA
 - A2(c) The POS for the proposed dwelling is located to the rear of the property and complies with A2(c).
 - A2(d) The POS for the proposed dwelling has a gradient of not more than 1 in 10 and complies with A2(d).
- 8.4.4 Sunlight to private open space of multiple dwellings
 - A1(a) NA
- 8.4.5 Width of openings for garages and carports for all dwellings
 - A1 NA
- 8.4.6 Privacy for all dwellings
 - A1 The proposed dwelling does not include a deck, balcony, carport or parking space with an FFL of >1000mm and therefore A1 does not apply.
 - A2 (a) The proposed dwelling does not have an FFL of >1000mm and therefore A2 does not apply.
- 8.4.7 Frontage fences for all dwellings
 - A1 No front fencing is proposed as part of this application. A1 does not apply.
- 8.4.8 Waste storage for multiple dwellings
 - A1(a) NA

C2.0 Parking and Access Code

C2.5 Use Standards

C2.5.1 Car parking numbers

- A1 The proposed development is for a 3-bedroom dwelling and, in accordance with Table C2.1 a total of x2 car parking spaces is required. The proposed development provides for two car parking spaces and complies with A1.

- C2.5.2 Bicycle parking numbers
A1 NA
- C2.5.3 Motorcycle parking numbers
A1 NA
- C2.5.4 Loading Bays
A1 NA
- C2.5.5 Number of car parking spaces within the General Residential Zone and Inner Residential Zone
A1 NA

C2.6 Development Standards for Buildings and Works

- C2.6.1 Construction of parking areas
A1(a) & (c) The parking and driveway for the proposed dwelling will be constructed from concrete and complies with A1(a) & (c).
A1(b) The driveway is designed to be drained to the Council stormwater system and complies with A1(b).
- C2.6.2 Design and layout of parking areas
A1.1 The driveway and parking areas have been designed to comply with *AS2890- Parking facilities Parts 1-6* and complies.
A1.2 NA
- C2.6.3 Number of accesses for vehicles
A1 One access has been designed for this proposal and complies with A1.
A2 NA
- C2.6.4 Lighting of parking areas within the General Business Zone and Central Business Zone
A1 NA
- C2.6.5 Pedestrian access
A1.1 NA
- C2.6.6 Loading bays
A1 NA
A2 NA
- C2.6.7 Bicycle parking and storage facilities within the General Business Zone and Central Business Zone
A1 NA
A2 NA
- C2.6.8 Siting of parking and turning areas
A1 NA

C13.0 Bushfire-Prone Areas Code

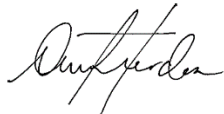
The proposed dwelling is located within the Bushfire-Prone Areas Code and will be constructed to the assessed BAL.

C16.0 Safeguarding of Airports Code

The proposed dwelling is located within safeguarding of airports (noise exposure). We would anticipate this has been addressed as part of the subdivision application with nothing further required for this build.

Please contact me via email should you require any additional information to assist Council's assessment of the application

Yours faithfully
Cunic Homes

A handwritten signature in black ink, appearing to read 'Domonee van Heerden', written in a cursive style.

Domonee van Heerden
Planning & Building Manager

PROPOSED NEW RESIDENCE

30 FEDERATION DRIVE, SORELL

C.L. CASSIDY
PD24446

H860



BUILDING

BUILDING DRAWINGS

No	DRAWING
01	SITE PLAN
02	SITE DRAINAGE PLAN
03	CUT & FILL PLAN
04	SOIL & WATER MANAGEMENT PLAN
05	LOCALITY PLAN
06	FLOOR PLAN
07	DOOR AND WINDOW SCHEDULES
08	ARTIFICIAL LIGHTING CALCULATOR
09	ELEVATIONS
10	ELEVATIONS
11	ROOF PLAN
12	SECTION
13	PLUMBING PLAN
14	ROOF LAYOUT PLAN
15	FLOOR FINISHES PLAN
16	ELECTRICAL/REFLECTED CEILING PLAN

BUILDING DRAWINGS

No	DRAWING
17	SETOUT PLAN
18	ENERGY EFFICIENCY

BUILDING DETAILS

No	DRAWING
BD01	GENERAL NOTES
BD02	GENERAL NOTES
BD03	GENERAL NOTES
BD04	GENERAL NOTES
BD05	CONDENSATION NOTES
BD06	CONDENSATION NOTES
BD07	WATERPROOFING NOTES
BD08	WATERPROOFING NOTES
BD09	WATERPROOFING NOTES
BD10	WATERPROOFING NOTES
BD11	WATERPROOFING NOTES
BD12	CLADDING DETAILS
BD13	CLADDING DETAILS
BD14	BUSHFIRE NOTES

GENERAL PROJECT INFORMATION

TITLE REFERENCE: 48/184546
 SITE AREA: 452m²
 DESIGN WIND SPEED: N2
 SOIL CLASSIFICATION: M
 CLIMATE ZONE: 7
 ALPINE AREA: NO
 CORROSIVE ENVIRONMENT: NO
 BAL RATING: LOW

OTHER KNOWN HAZARDS: AIRPORT OBSTACLE
 LIMITATION AREA, AIRPORT NOISE EXPOSURE AREA

 **Sorell Council**
 Development Application: 5.2024.343.1 -
 Updated Plans - 30 Federation Drive, Sorell -
 P2.pdf
 Plans Reference: P2
 Date received: 17/01/2025

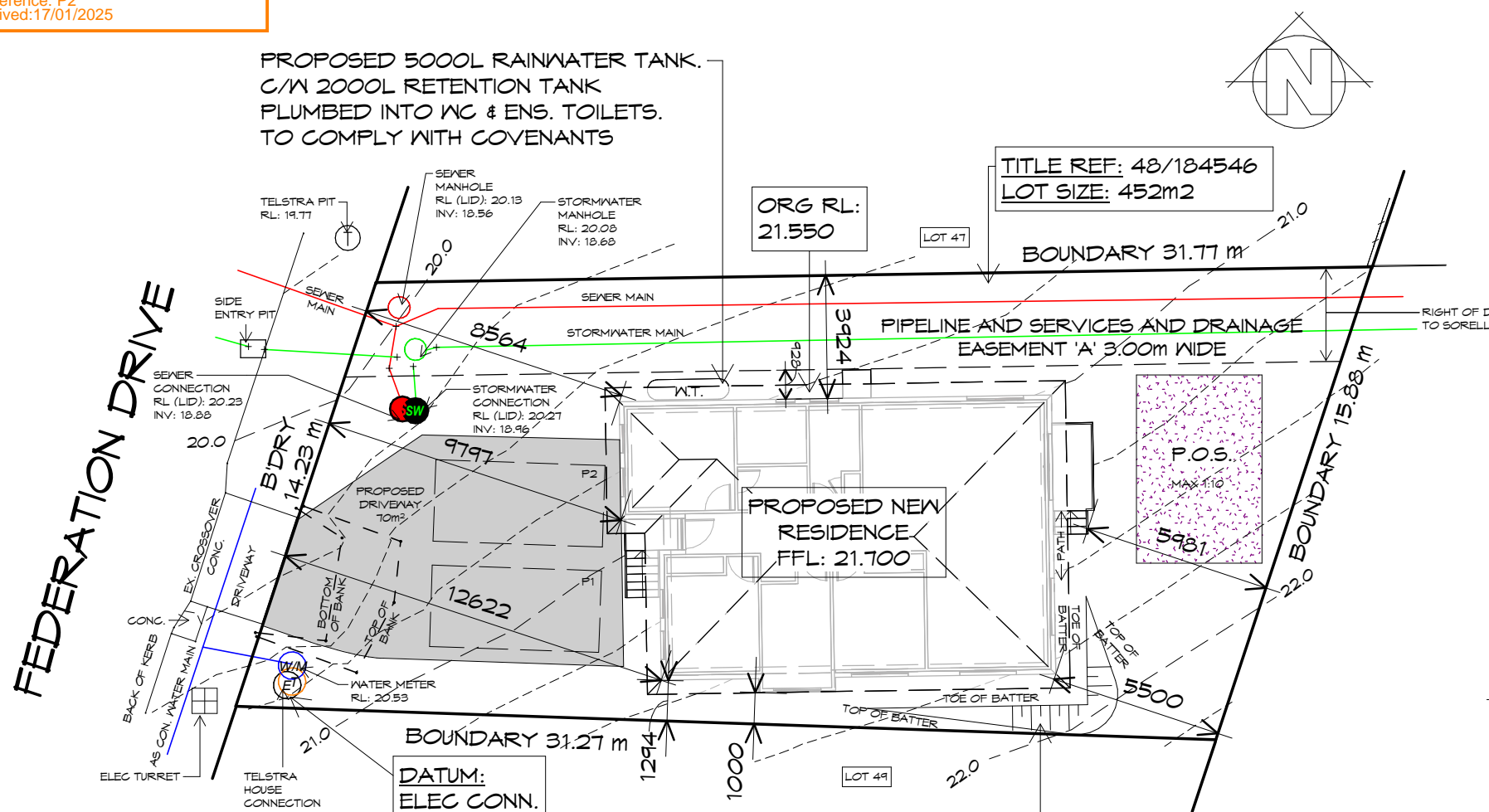


FLOOR AREA 116.90 m2 (12.58 SQUARES)



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 info@primedesigntas.com.au primedesigntas.com.au
 Accredited Building Practitioner: Frank Geskus -No CC246A

JANUARY 2025



PROPOSED 5000L RAINWATER TANK.
 C/W 2000L RETENTION TANK
 PLUMBED INTO WC & ENS. TOILETS.
 TO COMPLY WITH COVENANTS

TITLE REF: 48/184546
 LOT SIZE: 452m²

DATUM:
 ELEC CONN.
 RL: 20.54

BATTER NOTE
 BATTER AS PER
 ABCB HOUSING PROVISIONS
 PART 3.2.1.
 REFER TO STANDARD
 DETAILS

DRIVENWAY GRADIENT
 MAXIMUM GRADIENT 1:4 (25%)
 TO AS 2890

CAR PARKING GRADIENT
 PARALLEL TO PARKING ANGLE 1:20 (5%)
 CROSSFALL 1:16 (6.25%)

DECK:
 REFER TO SITE PLAN FOR SETBACK, DECK
 ISNT 1m ABOVE E.S.L. DOES NOT REQUIRE
 A SCREEN TO 1.7m

SITE PLAN

1 : 200

NOTE: DIMENSIONED BOUNDARY OFFSETS
 TO THE PROPOSED BUILDING ARE TO THE
 EXTERNAL CLADDING U.N.O.

THIS PROJECT HAS BEEN DETERMINED TO HAVE A
 BUSHFIRE ATTACK LEVEL (BAL) OF - **BAL LOW**
 ALL CONSTRUCTION MUST COMPLY WITH AS3959.
 THERE ARE NO CONSTRUCTION REQUIREMENTS FOR BAL LOW

SETBACKS
 REFER TO DIMENSIONS AND ELEVATIONS FOR FURTHER
 DETAILS.

SITE COVERAGE
 BUILDING FOOTPRINT 116.90 /SITE AREA 590.00 = 0.258
 TOTAL SITE COVERAGE 26%

PRIVATE OPEN SPACE
 24m² MINIMUM,
 WITH A MINIMUM DIMENSION OF 4m
 GRADIENT NO STEEPER THAN 1:10

GENERAL NOTES

- CHECK & VERIFY ALL DIMENSIONS & LEVELS ON SITE
- WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALED
- ALL WORK TO BE STRICTLY IN ACCORDANCE WITH NCC 2022, ALL S.A.A. CODES & LOCAL AUTHORITY BY-LAWS
- ALL DIMENSIONS INDICATED ARE FRAME TO FRAME AND DO NOT ALLOW FOR WALL LININGS
- CONFIRM ALL FLOOR AREAS
- ALL PLUMBING WORKS TO BE STRICTLY IN ACCORDANCE WITH A.S. 3500, NCC 2022 & APPROVED BY COUNCIL INSPECTOR
- BUILDER/PLUMBER TO ENSURE ADEQUATE FALL TO SITE CONNECTION POINTS IN ACCORDANCE WITH A.S. 3500 FOR STORMWATER AND SEWER BEFORE CONSTRUCTION COMMENCES
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S STRUCTURAL DRAWINGS
- ALL WINDOWS AND GLAZING TO COMPLY WITH A.S. 1288 & A.S. 2047
- ALL SET OUT OF BUILDINGS & STRUCTURES TO BE CARRIED OUT BY A REGISTERED LAND SURVEYOR AND CHECKED PRIOR TO CONSTRUCTION
- IF CONSTRUCTION OF THE DESIGN IN THIS SET OF DRAWINGS DIFFER FROM THE DESIGN AND DETAIL IN THESE AND ANY ASSOCIATED DOCUMENTS BUILDER AND OWNER ARE TO NOTIFY DESIGNER
- BUILDER'S RESPONSIBILITY TO COMPLY WITH ALL PLANNING CONDITIONS
- BUILDER TO HAVE STAMPED BUILDING APPROVAL DRAWINGS AND PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH AS 3959, READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) ASSESSMENT REPORT.
- DRAWINGS ARE REQUIRED TO BE VIEWED OR PRINTED IN COLOUR.

SURVEYOR NOTES:

"THIS PLAN AND ASSOCIATED DIGITAL MODEL IS PREPARED FOR CUNIC HOMES FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD SURVEY. NO MEASUREMENTS OR OFFSETS ARE TO BE DERIVED BETWEEN THE FEATURES ON THIS PLAN AND THE BOUNDARY LAYER. THE RELATIONSHIP BETWEEN THE FEATURES IN THIS MODEL AND THE BOUNDARY LAYERS CANNOT BE USED FOR ANY SET OUT PURPOSES OR TO CONFIRM THE POSITION OF THE TITLE BOUNDARIES ON SITE.

SERVICES SHOWN HAVE BEEN LOCATED WHERE VISIBLE BY FIELD SURVEY. SERVICES DENOTED AS BEING "PER AS-CONSTRUCTED" HAVE BEEN IMPORTED FROM EXISTING AS-CONSTRUCTED DRAWINGS FROM THIS SUBDIVISION. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.

IF SUBSEQUENT DESIGN IS INTENDED FOR CONSTRUCTION SETOUT, FUTURE SURVEYING SETOUT COSTS ARE INCREASED IF THE DIGITAL DATA PROVIDED IS ROTATED, SCALED OR MOVED.

THIS NOTE FORMS AN INTEGRAL PART OF THE PLAN/DATA. ANY REPRODUCTION OF THIS PLAN/MODEL WITHOUT THIS NOTE ATTACHED WILL RENDER THE INFORMATION SHOWN INVALID.

Project:
PROPOSED NEW RESIDENCE
 30 FEDERATION DRIVE,
 SORELL

Drawing:
SITE PLAN

Client name:
C.L. CASSIDY

Date: **14.01.2025**
 Scale: **1 : 200**

Drafted by:
D.D.H.

Approved by:
Approver









Project/Drawing no: **PD24446 -01**
 Revision: **03**
 Accredited building practitioner: Frank Geskus -No CC246A



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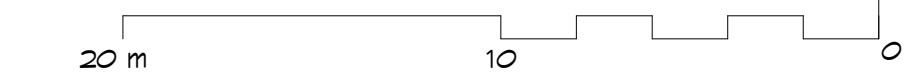
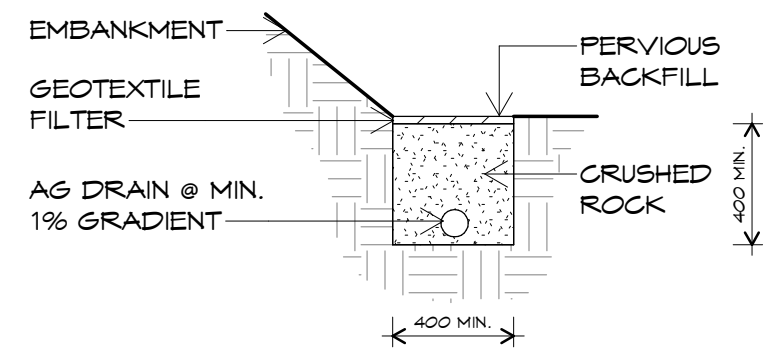
BUILDING
 NOTE: DO NOT SCALE OFF DRAWINGS

LEGEND

-  450X 450 SURFACE DRAINAGE PIT
-  NET AREAS
-  SEWER LINE
-  STORMWATER LINE
-  100φ AG DRAIN
-  GRATED TRENCH, PROPRIETARY SYSTEM, 150mm WIDE

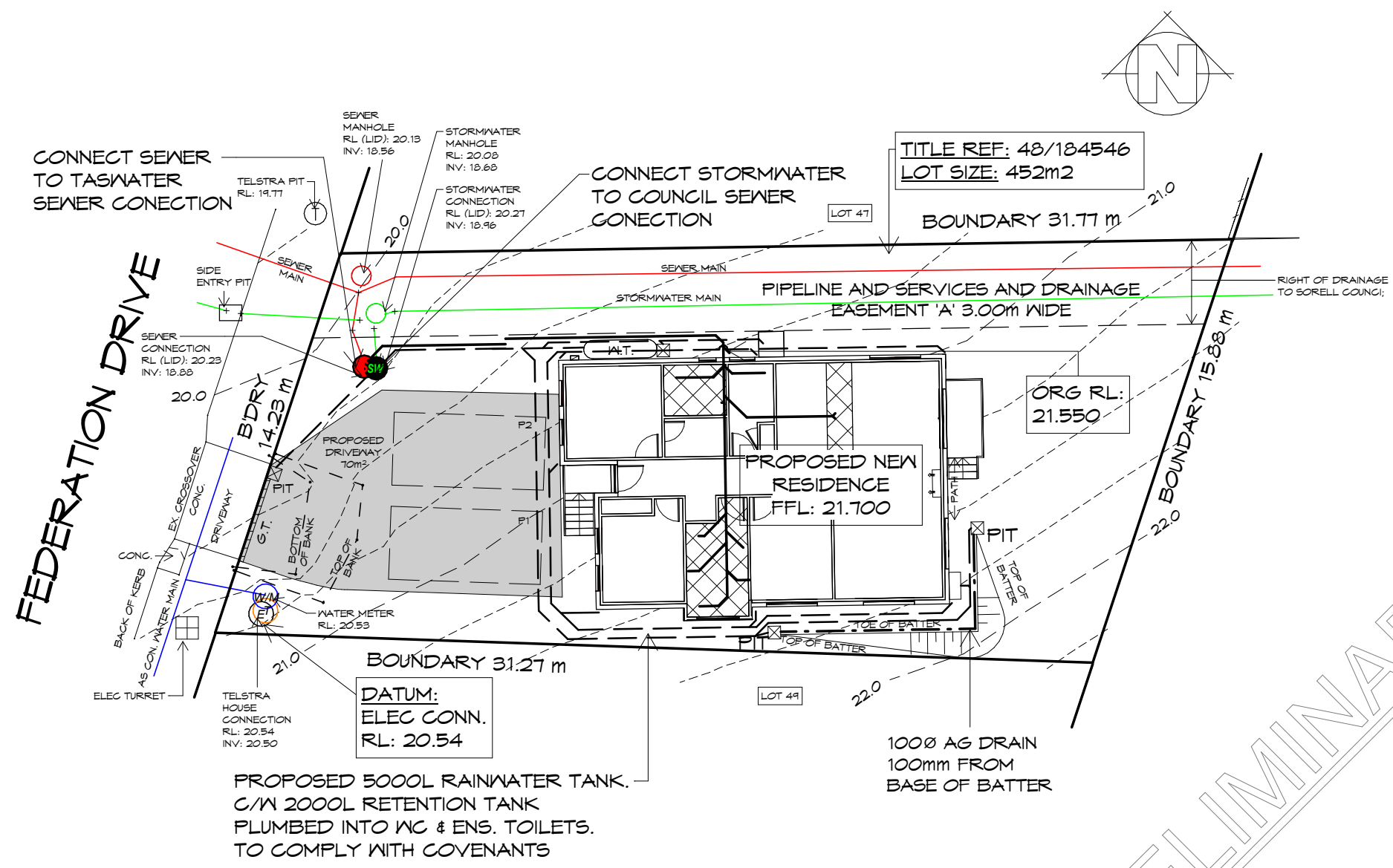
PLUMBING NOTES:
 ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
 ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE TASMANIAN PLUMBING CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

- PITS:** ALL GRATED PITS SIZED AND INSTALLED PER AS/NZS 3500.2021 PART 3
- ORGS:** OVERFLOW RELIEF GULLYS TO BE BRANCHED SEPERATE AND NOT PASS THROUGH. REFER AS/NZS 3500.2021 PART 2
- S/W:** STORMWATER PIPES TO BE SIZED PER AS/NZS 3500.2021 PART 3
- VENTS:** DRAINAGE VENTS TO BE LOCATED BEFORE LAST FITTING AT THE END OF THE LINE PER AS/NZS 3500.2021 PART 2



BUILDING

20 m NOTE: DO NOT SCALE OFF DRAWINGS



SITE DRAINAGE PLAN
 1 : 200



Sorell Council
 Development Application: 5.2024.343.1 - Updated Plans - 30 Federation Drive, Sorell - P2.pdf
 Plans Reference: P2
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Project:
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 30 FEDERATION DRIVE,
 SORELL

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C.L. CASSIDY

Drafted by:
D.D.H.

Approved by:
Approver

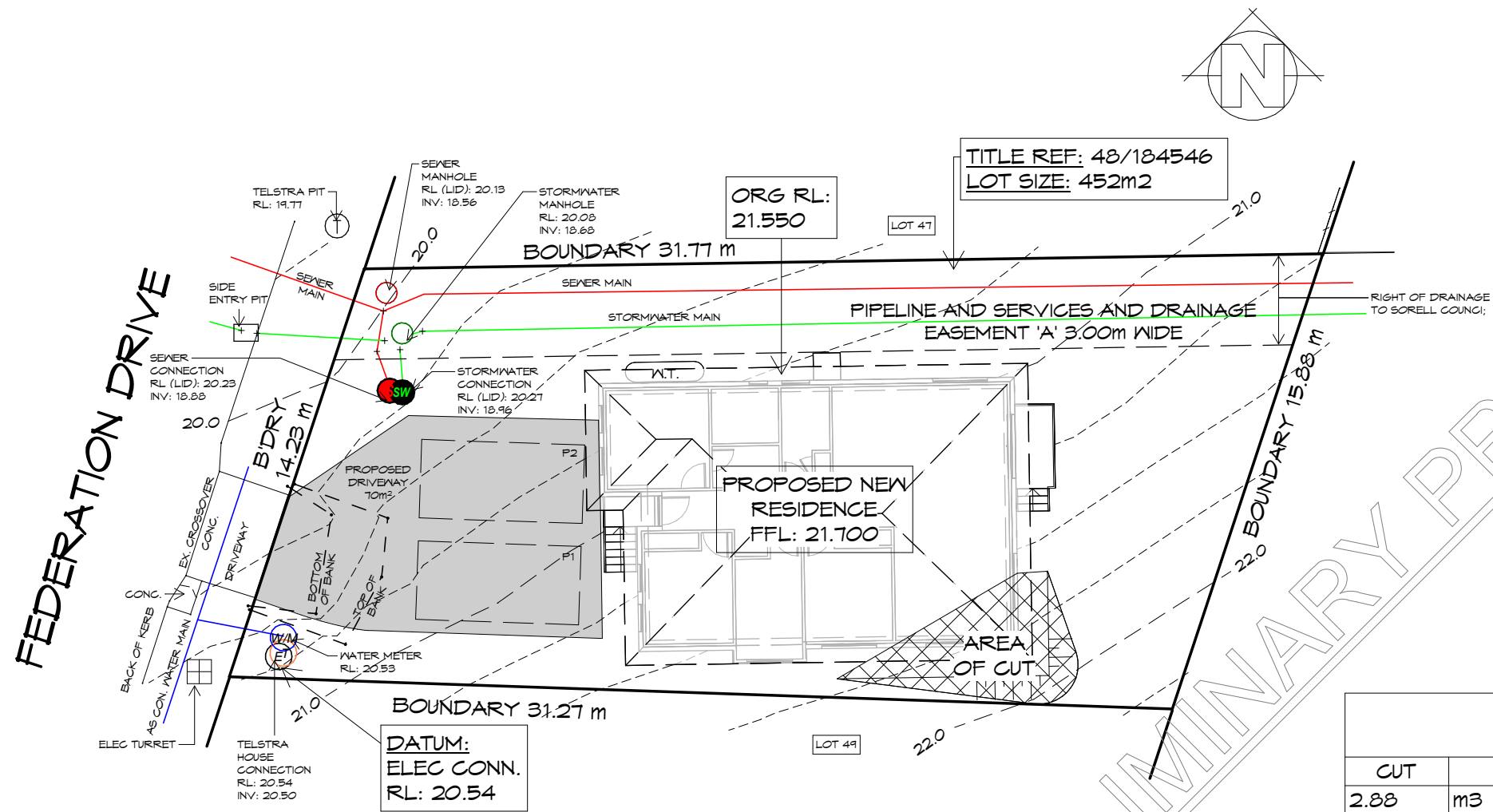


Drawing:
SITE DRAINAGE PLAN

Date: **14.01.2025** Scale: **As indicated**

Project/Drawing no: **PD24446 -02** Revision: **03**

Accredited building practitioner: Frank Geskus -No CC246A



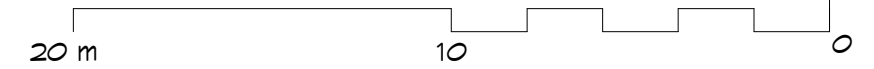
CUT & FILL PLAN

1 : 200

CUT/FILL VOLUME			
CUT	m3	FILL	m3
2.88	m3	1.70	m3

NOTE:
THE CUT & FILL VOLUMES CALCULATED BY REVIT ARE APPROXIMATE, GENERALLY PROVIDING RESULTS WITH +/- 1% TO 2% ACCURACY

PRELIMINARY PRINT



Sorell Council
 Development Application: 5.2024.343.1 - Updated Plans - 30 Federation Drive, Sorell - P2.pdf
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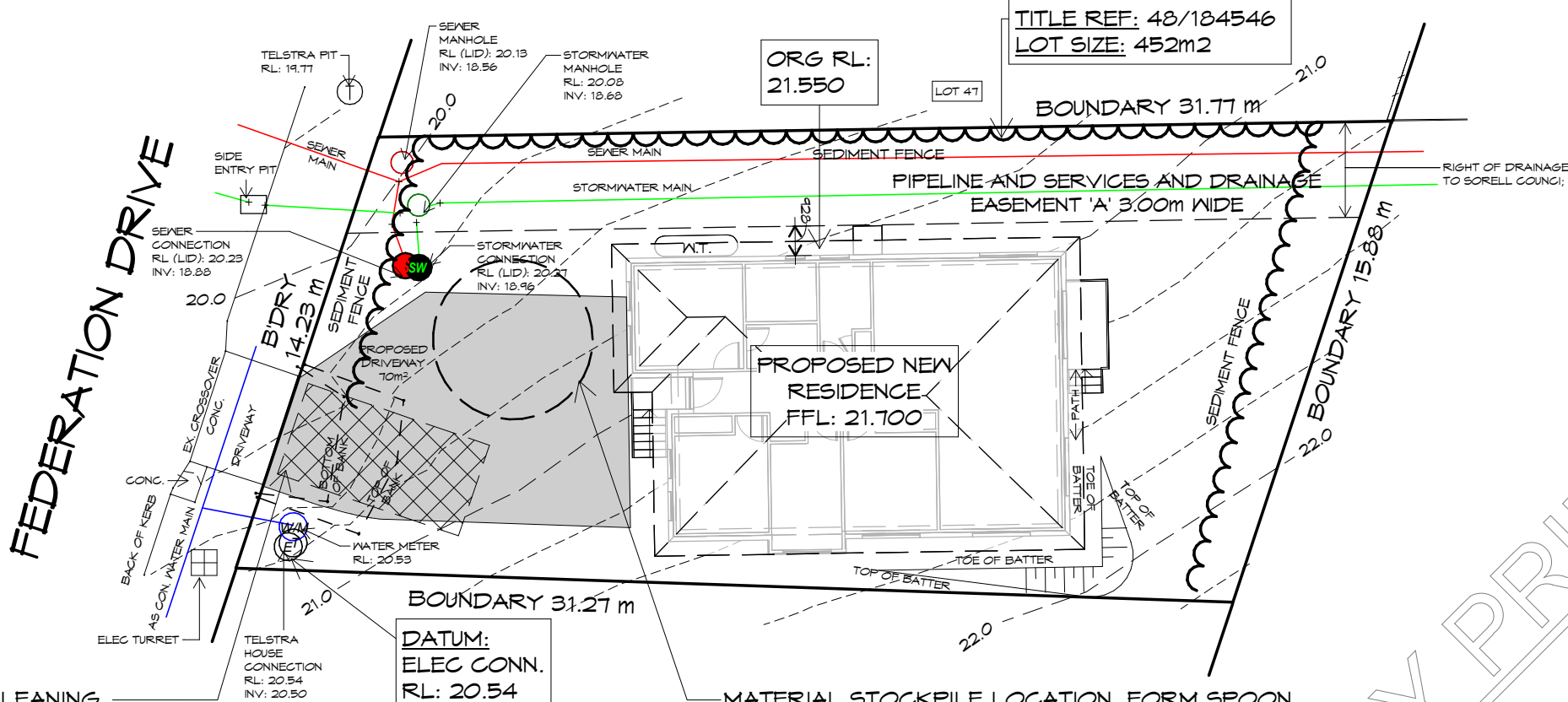
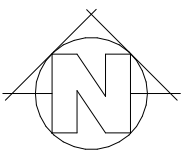
Drawing:
CUT & FILL PLAN

Date: **14.01.2025**
 Scale: **1 : 200**

Project/Drawing no:
PD24446 -03

Revision:
03

Accredited building practitioner: Frank Geskus -No CC246A



NOTES:
SEDIMENT & EROSION CONTROL MEASURES SUFFICIENT TO PREVENT SEDIMENT FROM LEAVING THE SITE MUST BE INSTALLED PRIOR TO ANY DISTURBANCE TO SITE

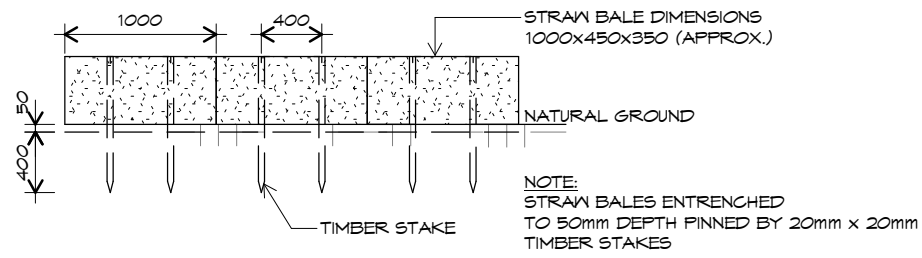
- NOTES:**
1. ALL EROSION & SEDIMENT CONTROL STRUCTURES TO BE INSPECTED EACH WORKING DAY & MAINTAINED IN GOOD WORKING ORDER.
 2. ALL GROUND COVER VEGETATION OUTSIDE THE IMMEDIATE BUILDING AREA TO BE PRESERVED DURING BUILDING PHASE.
 3. ALL EROSION AND SEDIMENT CONTROL MEASURE TO BE INSTALLED PRIOR TO COMMENCEMENT OF MAJOR EARTHWORKS.
 4. STOCKPILES OF CLAYEY MATERIAL TO BE COVERED WITH AN IMPERVIOUS SHEET.
 5. ROOF WATER DOWNPIPES TO BE CONNECTED TO THE WATER CONNECTION AS SOON AS PRACTICABLE AFTER THE ROOF IS LAID

- NOTES:**
1. DIVERSION DRAINS ARE TO BE CONNECTED TO LEGAL DISCHARGE POINT (COUNCIL STORMWATER SYSTEM)
 2. SEDIMENT RETENTION TRAPS INSTALLED AROUND THE INLETS TO THE STORMWATER SYSTEM TO PREVENT SEDIMENT & OTHER DEBRIS BLOCKING THE DRAINS

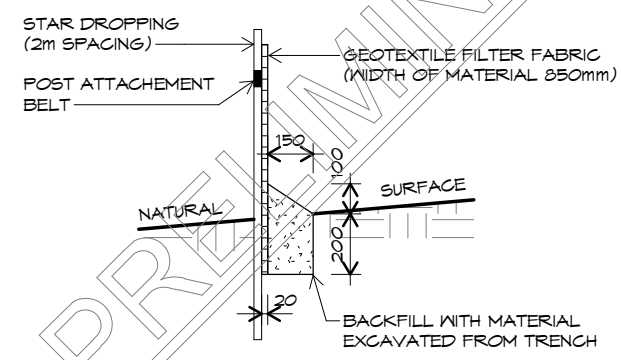
MATERIAL STOCKPILE LOCATION. FORM SPOON DRAIN ON HIGH SIDE TO DIVERT WATER AWAY FROM STOCKPILE. SECURELY COVER STOCKPILE DURING INCLEMENT WEATHER

SOIL & WATER MANAGEMENT PLAN

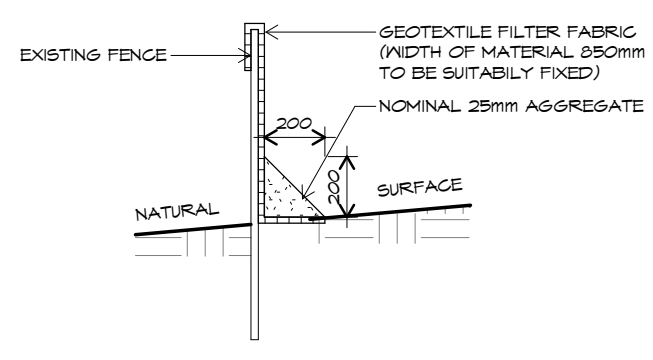
1 : 200



STRAW BALE SEDIMENT TRAP SECTION DETAILS
NTS



SILT STOP TYPE 1
TEMPORARY FENCE



SILT STOP TYPE 2
EXISTING FENCE



Sorell Council
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Project:
PROPOSED NEW RESIDENCE
30 FEDERATION DRIVE,
SORELL

Client name:
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Drafted by:
D.D.H.

Approved by:
Approver



Drawing:
SOIL & WATER MANAGEMENT
PLAN

Date: 14.01.2025
Scale: As indicated

Project/Drawing no: PD24446 -04
Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A

BUILDING
20 m NOTE: DO NOT SCALE OFF DRAWINGS



BUILDING
NOTE: DO NOT SCALE OFF DRAWINGS

PROPOSED NEW RESIDENCE
30 FEDERATION DRIVE,
SORELL



10 Goodman Court, Invermay Tasmania 7248,
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Shop 9, 105-111 Main Road, Moonah Hobart 7009
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info@primedesigntas.com.au primedesigntas.com.au

Project:
**PROPOSED NEW RESIDENCE
30 FEDERATION DRIVE,
SORELL**

Client name:
C.L. CASSIDY

Drawing:
LOCALITY PLAN

Drafted by: D.D.H. Approved by: Approver

Date: 14.01.2025 Scale: 1 : 2000

Project/Drawing no: PD24446 -05 Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A



LOCALITY PLAN

1 : 2000

THIS SITE IS ZONED **GENERAL RESIDENTIAL** AND **REQUIRES A BUSHFIRE ASSESSMENT.**
RESIDENCE IS OVER 100m FROM UNMANAGED BUSH/GRASSLANDS GREATER THAN 1 HECTARE.

REFER TO BUSHFIRE ASSESSMENT REPORT.

 **Sorell Council**
Development Application: 5.2024.343.1 -
Updated Plans - 30 Federation Drive, Sorell -
P2.pdf
Plans Reference: P2
Date received: 17/01/2025



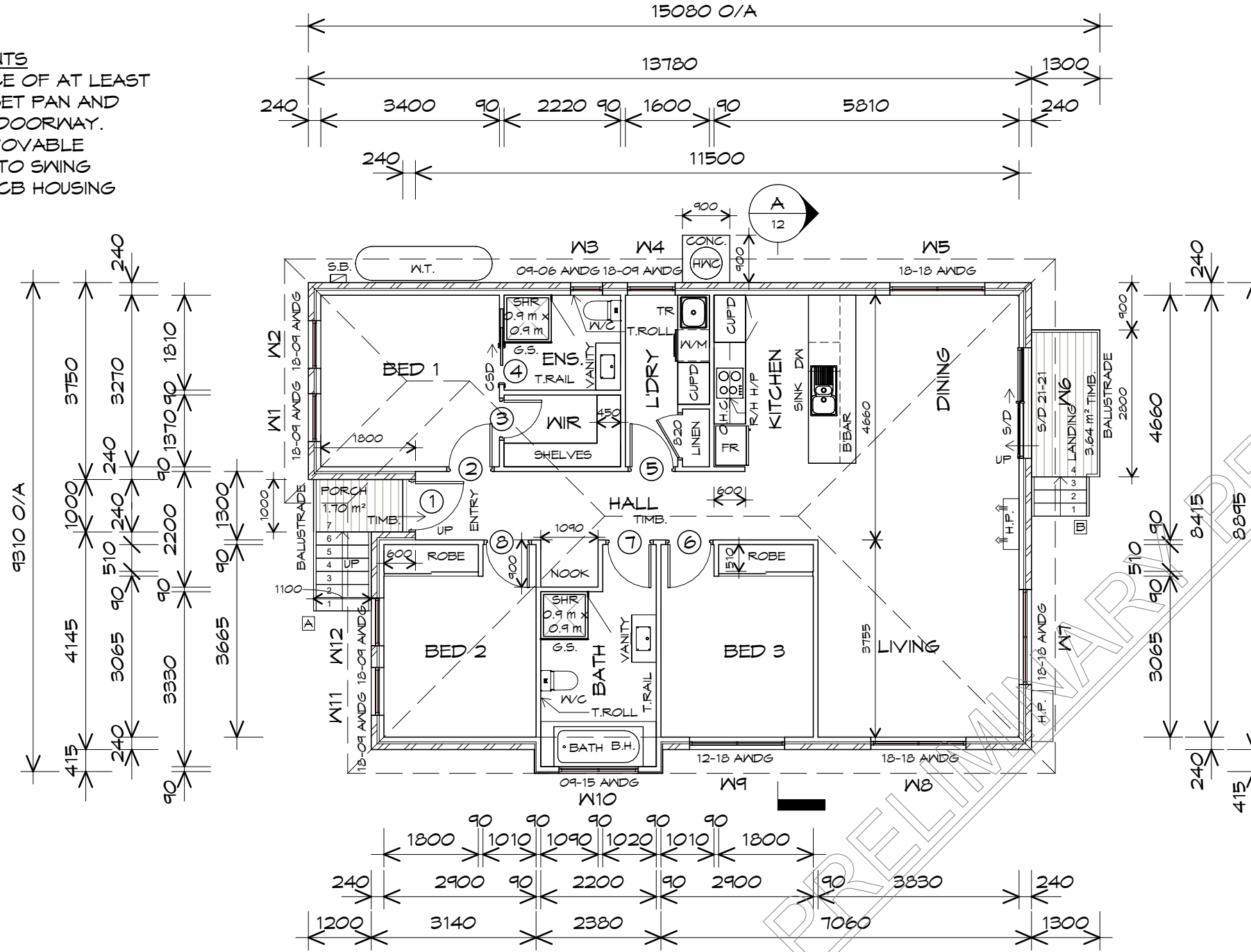
HANDRAIL
 HANDRAIL REQUIRED TO AT LEAST ONE SIDE OF RAMP OR STAIRWAY IF HEIGHT MORE THAN 1m TO COMPLY ABCB HOUSING PROVISIONS PART 11.3

WINDOW WITHIN WET AREA
 C/W SAFETY GLASS AS PER AS1288.2021
 BEVEL WINDOW SEAL
 RETURN TILES OR LAMPANEL TO WINDOW (TYPICAL)

SANITARY COMPARTMENTS
 MAINTAIN A CLEAR SPACE OF AT LEAST 1.2m BETWEEN THE CLOSET PAN AND NEAREST PART OF THE DOORWAY. OTHERWISE ENSURE REMOVABLE HINGES ARE INSTALLED TO SWING DOORS TO COMPLY ABCB HOUSING PROVISIONS PART 10.4

LEGEND

- S/D SLIDING DOOR
- G.S. GLASS SCREEN
- HWC HOT WATER CYLINDER
- B.H. BULKHEAD
- O.H.C. OVERHEAD CUPBOARD
- W.T. 5000L WATER TANK
- T.ROLL TOILET ROLL HOLDER
- T.RAIL TOWEL RAIL



FLOOR PLAN

1 : 100

FLOOR AREA 116.90 m² (12.58 SQUARES)

NOTE:
 FLOOR AREAS INCLUDE TO EXTERNAL FACE OF BUILDING AND GARAGE, UNLESS OTHERWISE STATED. DECKS AND OUTDOOR AREAS ARE CALCULATED SEPARATELY.

STAIRS

STAIR	No RISERS	RISER H'T	TREAD DEPTH
A	7	150	250
B	4	188	250

TO COMPLY ABCB HOUSING PROVISIONS PART 11.2

NOTE:
 WHERE LIGHT WEIGHT CLADDING IS USED DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE LIGHT WEIGHT CLADDING



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30 FEDERATION DRIVE,
SORELL

Client name:
C.L. CASSIDY

Drawing:
FLOOR PLAN

Drafted by: **D.D.H.** Approved by: **Approver**
 Date: **14.01.2025** Scale: **1 : 100**

Project/Drawing no: **PD24446 -06** Revision: **03**
 Accredited building practitioner: Frank Geskus -No CC246A



BUILDING
 NOTE: DO NOT SCALE OFF DRAWINGS

DOOR SCHEDULE			
MARK	WIDTH	TYPE	REMARKS
1	920	EXTERNAL SOLID DOOR	
2	820	INTERNAL TIMBER DOOR	
3	720	INTERNAL TIMBER DOOR	
4	720	CAVITY SLIDING DOOR	
5	820	INTERNAL TIMBER DOOR	
6	820	INTERNAL TIMBER DOOR	
7	820	INTERNAL TIMBER DOOR	
8	820	INTERNAL TIMBER DOOR	

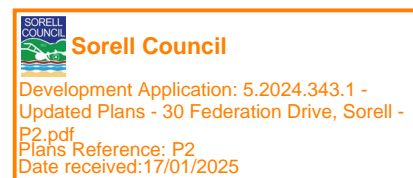
WINDOW SCHEDULE				
MARK	HEIGHT	WIDTH	TYPE	REMARKS
W1	1800	910	AWNING WINDOW	
W2	1800	910	AWNING WINDOW	
W3	900	610	AWNING WINDOW	OPAQUE
W4	1800	910	AWNING WINDOW	
W5	1800	1810	AWNING WINDOW	
W6	2100	2110	SLIDING DOOR	
W7	1800	1810	AWNING WINDOW	
W8	1800	1810	AWNING WINDOW	
W9	1200	1810	AWNING WINDOW	
W10	900	1510	AWNING WINDOW	OPAQUE
W11	1800	910	AWNING WINDOW	
W12	1800	910	AWNING WINDOW	

ALUMINIUM WINDOWS DOUBLE GLAZING COMPLETE WITH FLY SCREENS TO SUIT BAL-LOW RATING. ALL WINDOW MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO ORDERING

ARTIFICIAL LIGHTING					
ROOM	FLOOR AREA	m2	ALLOWANCE	W/m2	TOTAL POWER LOAD
LIVING	21.17	m2	5.00	W/m2	105.84 W
L'DRY	4.52	m2	5.00	W/m2	22.59 W
BATH	8.24	m2	5.00	W/m2	41.22 W
ENS.	4.02	m2	5.00	W/m2	20.09 W
LINEN	0.56	m2	5.00	W/m2	2.81 W
BED 3	9.49	m2	5.00	W/m2	47.47 W
BED 2	9.49	m2	5.00	W/m2	47.47 W
ROBE	0.92	m2	5.00	W/m2	4.59 W
NOOK	0.98	m2	5.00	W/m2	4.91 W
ROBE	0.92	m2	5.00	W/m2	4.59 W
WIR	3.04	m2	5.00	W/m2	15.21 W
BED 1	11.12	m2	5.00	W/m2	55.59 W
ENTRY	1.68	m2	5.00	W/m2	8.39 W
HALL	6.49	m2	5.00	W/m2	32.44 W
KITCHEN	9.02	m2	5.00	W/m2	45.09 W
DINING	10.45	m2	5.00	W/m2	52.25 W
LANDING	3.64	m2	4.00	W/m2	14.56 W
PORCH	1.70	m2	4.00	W/m2	6.80 W
TOTALS	107.45				531.89 W

ARTIFICIAL LIGHTING
THE ABOVE TABLE ILLUSTRATES THE MAXIMUM ALLOWANCE OF POWER LOAD TO THE TYPE OF SPACE AS PER NCC 2019 PART 3.12.5.5.

- ARTIFICIAL LIGHTING MUST NOT EXCEED:
- 5W/m2 FOR CLASS 1 BUILDING
 - 4W/m2 FOR VERANDAHS & BALCONIES
 - 3W/m2 FOR CLASS 10A ASSOCIATED WITH CLASS 1 BUILDING



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Drafted by:
D.D.H.

Approved by:
Approver



Drawing:
DOOR AND WINDOW
SCHEDULES

Date:
14.01.2025

Project/Drawing no:
PD24446 -07

Scale:
Revision:
03

Accredited building practitioner: Frank Geskus -No CC246A



Lighting

Class 1 & 10a buildings

[Main Menu](#)[Help](#)[Calculator](#)

Building name/description
30 Federation Drive, Sorell

Number of rows preferred in table below (as currently displayed)

Classification
Class 1

Separate aggregate allowances are calculated for Class 1 cases; for a verandah or balcony; or for a Class 10 building. The '% of allowance used' outcomes refer to these aggregate allowances.

ID	Description	Type of space	Floor area of the space	Design lamp or illumination power load	Location	Adjustment factor			SATISFIES PART 13.7.6		
						Adjustment factors	Dimming % area	Dimming % of full power	Design lumen depreciation factor	Lamp or illumination power density	System share of % of aggregate allowance used
1	Living	Living room	21.2 m ²	18 W	Class 1 building				5.0 W/m ²	0.9 W/m ²	3% of 30%
2	Bath	Bathroom	8.2 m ²	10 W	Class 1 building				5.0 W/m ²	1.2 W/m ²	3% of 30%
3	Ensuite	Bathroom	4.0 m ²	10 W	Class 1 building				5.0 W/m ²	2.5 W/m ²	7% of 30%
4	Linen	Other	0.6 m ²	1 W	Class 1 building				5.0 W/m ²	1.8 W/m ²	5% of 30%
5	Bed 3	Bedroom	9.5 m ²	9 W	Class 1 building				5.0 W/m ²	0.9 W/m ²	3% of 30%
6	Bed 2	Bedroom	9.5 m ²	9 W	Class 1 building				5.0 W/m ²	0.9 W/m ²	3% of 30%
7	Robe	Other	0.9 m ²	1 W	Class 1 building				5.0 W/m ²	1.1 W/m ²	3% of 30%
8	Nook	Other	1.0 m ²	9 W	Class 1 building				5.0 W/m ²	9.2 W/m ²	26% of 30%
9	Robe	Other	0.9 m ²	1 W	Class 1 building				5.0 W/m ²	1.1 W/m ²	3% of 30%
10	WIR	Other	3.0 m ²	9 W	Class 1 building				5.0 W/m ²	3.0 W/m ²	8% of 30%
11	Bed 1	Bedroom	11.1 m ²	9 W	Class 1 building				5.0 W/m ²	0.8 W/m ²	2% of 30%
12	Entry	Corridor	1.7 m ²	9 W	Class 1 building				5.0 W/m ²	5.4 W/m ²	15% of 30%
13	Hall	Corridor	6.5 m ²	9 W	Class 1 building				5.0 W/m ²	1.4 W/m ²	4% of 30%
14	Kitchen	Kitchen	9.0 m ²	18 W	Class 1 building				5.0 W/m ²	2.0 W/m ²	6% of 30%
15	Dining	Living room	10.5 m ²	18 W	Class 1 building				5.0 W/m ²	1.7 W/m ²	5% of 30%
16	Landing	Verandah or balcony	3.6 m ²	7 W	Class 10a building				3.0 W/m ²	1.9 W/m ²	32% of 87%
17	Laundry	Laundry	4.5 m ²	9 W	Class 1 building				5.0 W/m ²	2.0 W/m ²	6% of 30%
18	Porch	Verandah or balcony	1.7 m ²	7 W	Class 10a building				3.0 W/m ²	4.1 W/m ²	68% of 87%

	Allowance	Design average
107.5 m ² 163 W	Class 1 building	5.0 W/m ² 1.5 W/m ²
	Class 10a building (associated with a Class 1)	3.0 W/m ² 2.6 W/m ²

if inputs are valid



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Drafted by:
D.D.H.

Approved by:
Approver



Drawing:
ARTIFICIAL LIGHTING
CALCULATOR

Date: 14.01.2025
Scale:

Project/Drawing no:
PD24446 -08

Revision:
03

Accredited building practitioner: Frank Geskus -No CC246A

GLAZING
 ALL GLAZING IS TO COMPLY WITH ABCB HOUSING PROVISIONS PART 8 IN PARTICULAR THAT THE GLAZING IN THE WINDOW LOCATED OVER THE BATH/SHOWER INSTALLATION TO COMPLY WITH HUMAN IMPACT SAFETY REQUIREMENTS, SECTION 5.8 OF AS1288 WINDOWS TO BE SEALED IN ACCORDANCE WITH AS2047 ALL GLASS INSTALLATIONS INCLUDING ROOFS, WINDOW AND DOORS TO BE TAGGED ON-SITE OR GLAZIER TO SUPPLY COMPLIANCE CERTIFICATE AT FINAL INSPECTION.

FASCIA
 COLORBOND FOLDED METAL
 -GUTTER TO CLIENTS SPEC
 -FASCIA TRIM ALL ROUND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 COLOUR TO BE SELECTED

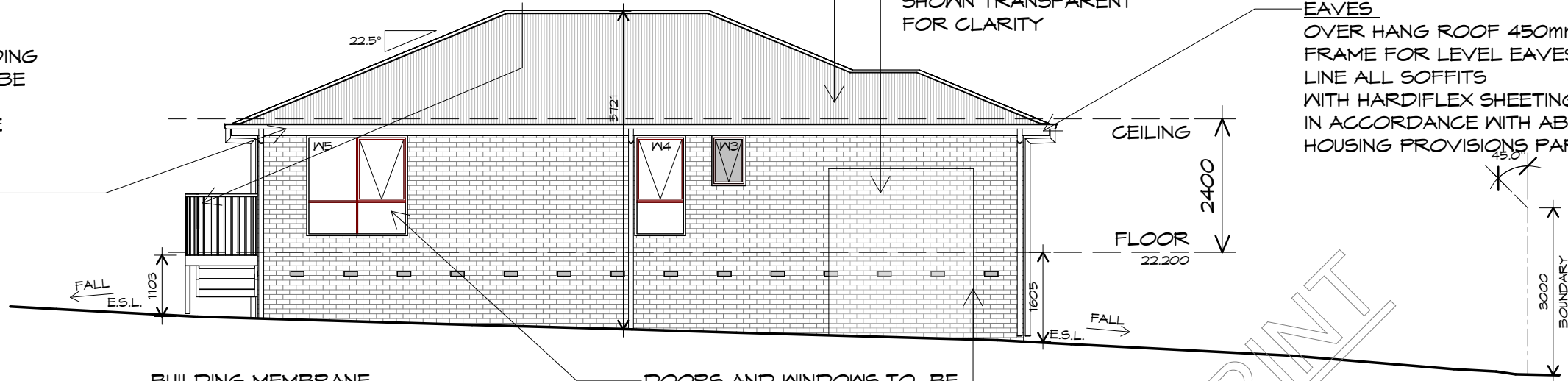
BALUSTRADE
 HANDRAIL TO BE 1020mm HIGH
 MINIMUM 865 MINIMUM FOR STAIRS
 POSTS AT A MAXIMUM SPACING OF 1800mm
 90x19 VERTICALS
 WITH 125mm GAP OR LESS
 90x45 TOP AND BOTTOM RAIL
 TO COMPLY WITH ABCB HOUSING PROVISIONS PART 11.3

ROOF FRAMING
 PREFABRICATED ROOF TRUSSES @ 900 CRS MAX BRACING BY OTHERS

FLASHINGS TO WALL OPENINGS
 OPENINGS IN EXTERNAL WALL CLADDING EXPOSED TO WEATHER MUST BE FLASHED WITH MATERIAL COMPLYING WITH AS/NZS 2904 TO TOP, BOTTOM & SIDES OF OPENINGS. FLASHINGS MUST BE SUITABLE FOR FRAMING & CLADDING USED. TO COMPLY ABCB HOUSING PROVISIONS PART 7.5.6

WATER TANK
 SHOWN TRANSPARENT FOR CLARITY

EAVES
 OVER HANG ROOF 450mm U.N.O. FRAME FOR LEVEL EAVES LINE ALL SOFFITS WITH HARDIFLEX SHEETING. IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.5.5



NORTHERN ELEVATION

1 : 100

DAMP PROOF COURSE
 TO BE INSTALLED UNDER EXTERNAL MASONRY ON SLABS OR FOOTINGS, SHALL BE OF SUFFICIENT WIDTH TO PROJECT PAST THE EXTERNAL FACE OF THE WALL.
 ABCB HOUSING PROVISIONS PART 5.7.3 & 5.7.4

CAVITY VENTILATION AND DRAINAGE-
 OPEN WEEPHOLES TO BRICK COURSE IMMEDIATELY ABOVE ANY DPC OR FLASHING AT NOT MORE THAN 1200 CRS. SILL AND HEAD FLASHING INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 5.7.4 & 5.7.5

SUB-FLOOR VENTILATION
 PROVIDE EVENLY SPACED VENTILATION OPENINGS TO SUB-FLOOR STRICTLY IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 6.2 CLIMATE ZONE 7 TO BE ADOPTED. 6000mm SQ PER METRE OF WALL REFER TO MANUFACTURE SPECS. 240mm x 86mm VENTS @ 1000 CRS

BATTER NOTE
 BATTER AS PER ABCB HOUSING PROVISIONS PART 3.2.1. REFER TO STANDARD DETAILS TABLE

BUILDING MEMBRANE
 IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 10.8.1 Pliable building membrane installed to exterior of framework, to be vapour permeable to comply with AS4200.1 & BE INSTALLED TO AS4200.2

DOORS AND WINDOWS TO BE SEALED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 10.8.1

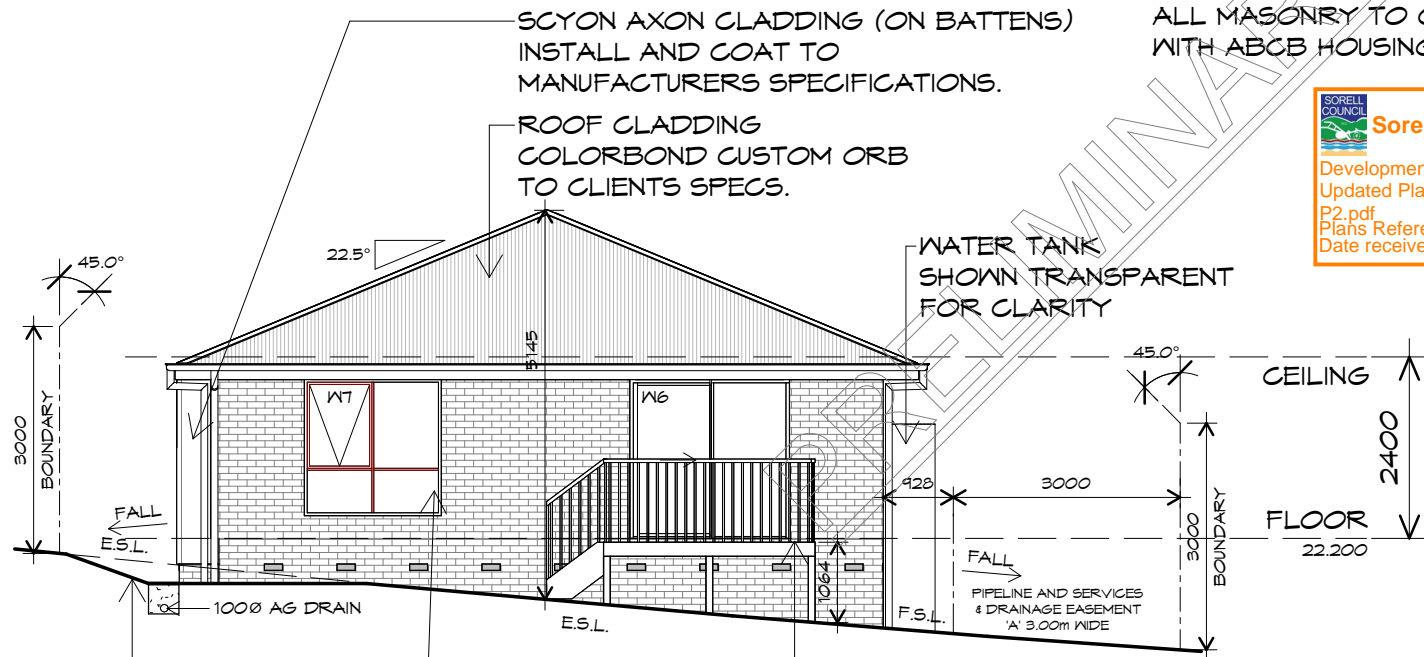
BRICKWORK
 SELECTED FIRED CLAY FACE BRICKS. RAKED JOINTS, STRETCHER BOND REFER ENGINEER FOR ARTICULATION JOINTS ALL MASONRY TO COMPLY WITH ABCB HOUSING PROVISIONS PART 5

BRICK TIE SPACINGS
 FOR 450mm STUD SPACING TYPICAL 600x450 SPACING 300x225 AT OPENINGS AND CONTROL JOINTS REFER TO ABCB HOUSING PROVISIONS PART 5.6.5 / AS2699.1 FOR FURTHER DETAILS

SCYON AXON CLADDING (ON BATTENS)
 INSTALL AND COAT TO MANUFACTURERS SPECIFICATIONS.

ROOF CLADDING
 COLORBOND CUSTOM ORB TO CLIENTS SPECS.

WATER TANK
 SHOWN TRANSPARENT FOR CLARITY



WINDOWS
 POWDER COATED ALUMINIUM WINDOW FRAMES ANNING OPENING REVEALS AND TRIMS TO CLIENTS SPEC. ALL FLASHING TO MANUFACTURERS SPECIFICATION BRICK ON EDGE EXTERNAL SILLS REFER AS 1288, AS 2047 & ABCB HOUSING PROVISIONS PART 8.2

TIMBER DECK
 ALL TIMBER FRAMING GENERALLY IS TO COMPLY WITH THE REQUIREMENTS OF A.S.1684 ALL EXTERNAL DECK COMPONENTS TO BE TAN E TREATED PINE (F5) ALL EXPOSED FIXTURES, BOLTS ETC. TO BE HOT DIPPED GALVANIZED. REFER AS 1684, AS1720.1 & NCC 2022 H1D6 FIXING TO EXTERNAL WALL TO COMPLY WITH ABCB HOUSING PROVISIONS PART 12.3.2

EASTERN ELEVATION

1 : 100

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Drawing:
ELEVATIONS

Drafted by: **D.D.H.** Approved by: **Approver**

Date: **14.01.2025** Scale: **1 : 100**

Project/Drawing no: **PD24446 -09** Revision: **03**

Accredited building practitioner: Frank Geskus -No CC246A



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DAMP PROOF COURSE
TO BE INSTALLED UNDER EXTERNAL MASONRY ON SLABS OR FOOTINGS, SHALL BE OF SUFFICIENT WIDTH TO PROJECT PAST THE EXTERNAL FACE OF THE WALL.
ABCB HOUSING PROVISIONS PART 5.7.3 & 5.7.4

FLASHINGS TO WALL OPENINGS
OPENINGS IN EXTERNAL WALL CLADDING EXPOSED TO WEATHER MUST BE FLASHED WITH MATERIAL COMPLYING WITH AS/NZS 2904 TO TOP, BOTTOM & SIDES OF OPENINGS. FLASHINGS MUST BE SUITABLE FOR FRAMING & CLADDING USED. TO COMPLY ABCB HOUSING PROVISIONS PART 7.5.6

BRICK TIE SPACINGS
FOR 450mm STUD SPACING
TYPICAL 600x450 SPACING 300x225 AT OPENINGS AND CONTROL JOINTS
REFER TO ABCB HOUSING PROVISIONS PART 5.6.5 / AS2699.1 FOR FURTHER DETAILS

CAVITY VENTILATION AND DRAINAGE
OPEN WEEPHOLES TO BRICK COURSE IMMEDIATELY ABOVE ANY DPC OR FLASHING AT NOT MORE THAN 1200 CRS. 1 : 100
SILL AND HEAD FLASHING INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 5.7.4 & 5.7.5

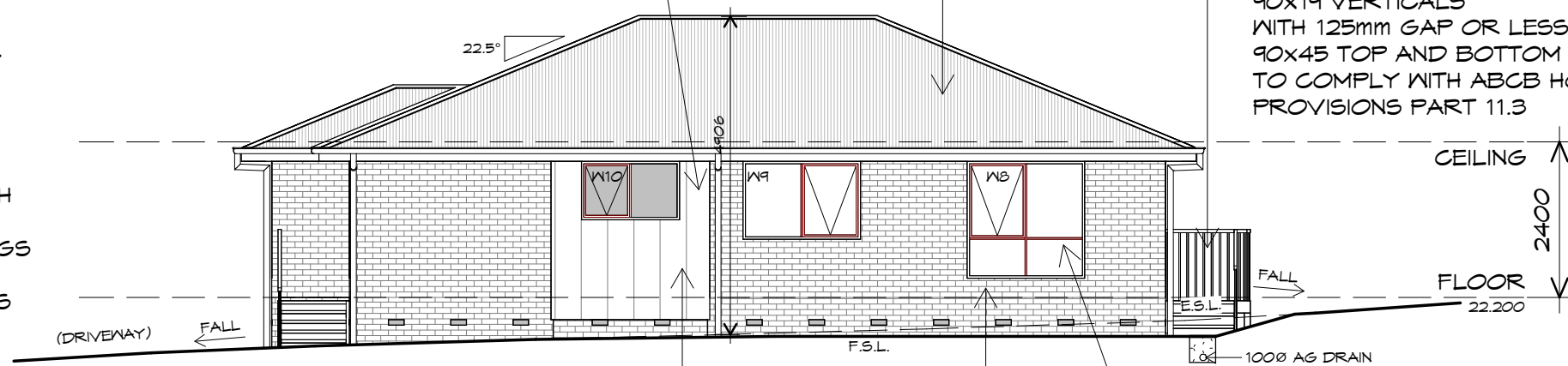
EAVES
OVER HANG ROOF 450mm U.N.O. FRAME FOR LEVEL EAVES LINE ALL SOFFITS WITH HARDIFLEX SHEETING. IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 7.5.5

BUILDING MEMBRANE
IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 10.8.1
PLIABLE BUILDING MEMBRANE INSTALLED TO EXTERIOR OF FRAMEWORK, TO BE VAPOUR PERMEABLE TO COMPLY WITH AS4200.1 & BE INSTALLED TO AS4200.2

SCYON AXON CLADDING (ON BATTENS)
INSTALL AND COAT TO MANUFACTURERS SPECIFICATIONS.

ROOF FRAMING
PREFABRICATED ROOF TRUSSES @ 900 CRS MAX
BRACING BY OTHERS

BALUSTRADE
HANDRAIL TO BE 1020mm HIGH
MINIMUM 865 MINIMUM FOR STAIRS
POSTS AT A MAXIMUM SPACING OF 1800mm
90x19 VERTICALS
WITH 125mm GAP OR LESS
90x45 TOP AND BOTTOM RAIL
TO COMPLY WITH ABCB HOUSING PROVISIONS PART 11.3



MINIMUM CLEARANCE BETWEEN CLADDING & GROUND

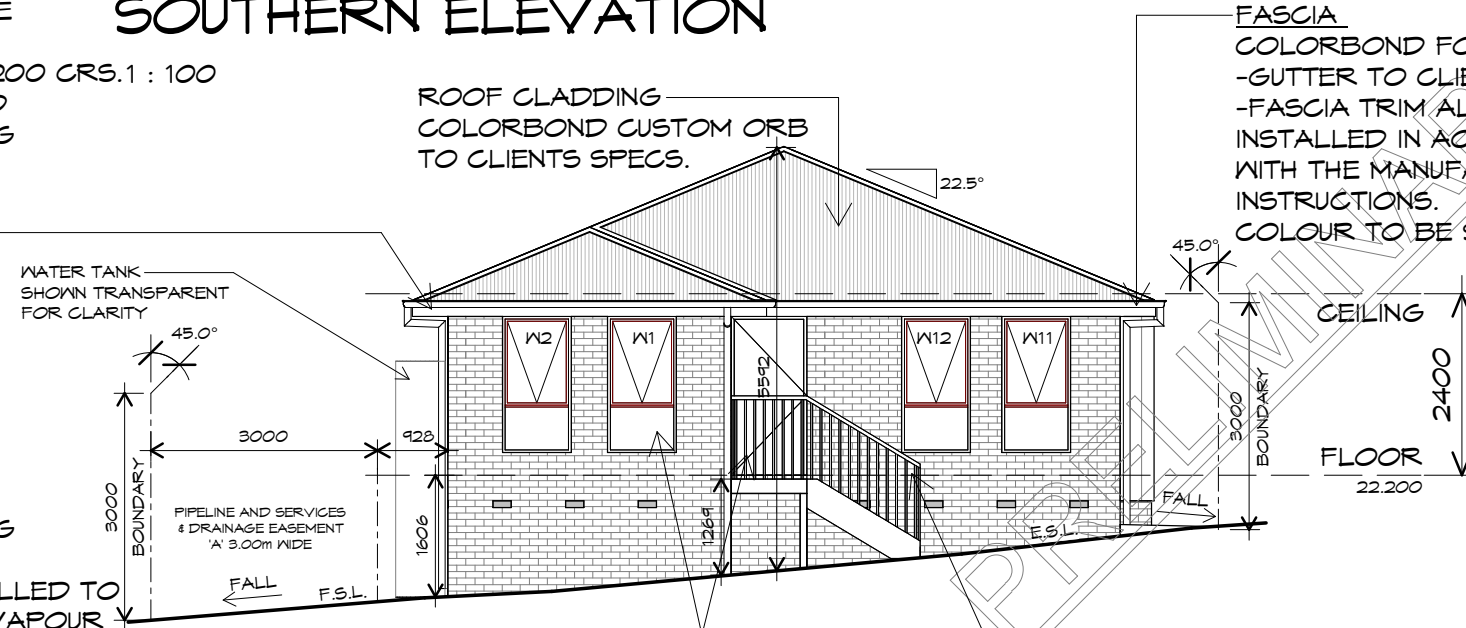
- 150mm
- 50mm ABOVE IMPERMEABLE AREAS THAT SLOPE AWAY. CONC. OR PAVED

WALL CLADDING MUST EXTEND MIN 50mm BELOW BEARER OR LOWEST POINT OF SUSPENDED FLOOR FRAMING. TO COMPLY WITH ABCB HOUSING PROVISIONS PART 7.5.7

BRICKWORK
SELECTED FIRED CLAY FACE BRICKS.
RAKED JOINTS, STRETCHER BOND
REFER ENGINEER FOR ARTICULATION JOINTS
ALL MASONRY TO COMPLY WITH ABCB HOUSING PROVISIONS PART 5

WINDOWS
POWDER COATED ALUMINIUM WINDOW FRAMES AWNING/SLIDING OPENING REVEALS AND TRIMS TO CLIENTS SPEC. ALL FLASHING TO MANUFACTURERS SPECIFICATION
BRICK ON EDGE EXTERNAL SILLS
REFER AS 1288, AS 2047 & ABCB HOUSING PROVISIONS PART 8.2

SOUTHERN ELEVATION



FASCIA
COLORBOND FOLDED METAL
-GUTTER TO CLIENTS SPEC
-FASCIA TRIM ALL ROUND
INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
COLOUR TO BE SELECTED

ROOF CLADDING
COLORBOND CUSTOM ORB
TO CLIENTS SPECS.

DOORS AND WINDOWS TO BE SEALED
IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 13.4

TIMBER DECK
ALL TIMBER FRAMING GENERALLY IS TO COMPLY WITH THE REQUIREMENTS OF A.S.1684
ALL EXTERNAL DECK COMPONENTS TO BE TANE TREATED PINE (F5)
ALL EXPOSED FIXTURES, BOLTS ETC. TO BE HOT DIPPED GALVANIZED.
REFER AS 1684, AS1720.1 & NCC 2022 H1D6
FIXING TO EXTERNAL WALL TO COMPLY WITH ABCB HOUSING PROVISIONS PART 12.3.2

WESTERN ELEVATION

1 : 100

SUB-FLOOR VENTILATION
PROVIDE EVENLY SPACED VENTILATION OPENINGS TO SUB-FLOOR STRICTLY IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 6.2
CLIMATE ZONE 7 TO BE ADOPTED.
6000mm SQ PER METRE OF WALL
REFER TO MANUFACTURE SPECS.
240mm x 86mm VENTS @ 1000 CRS

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bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

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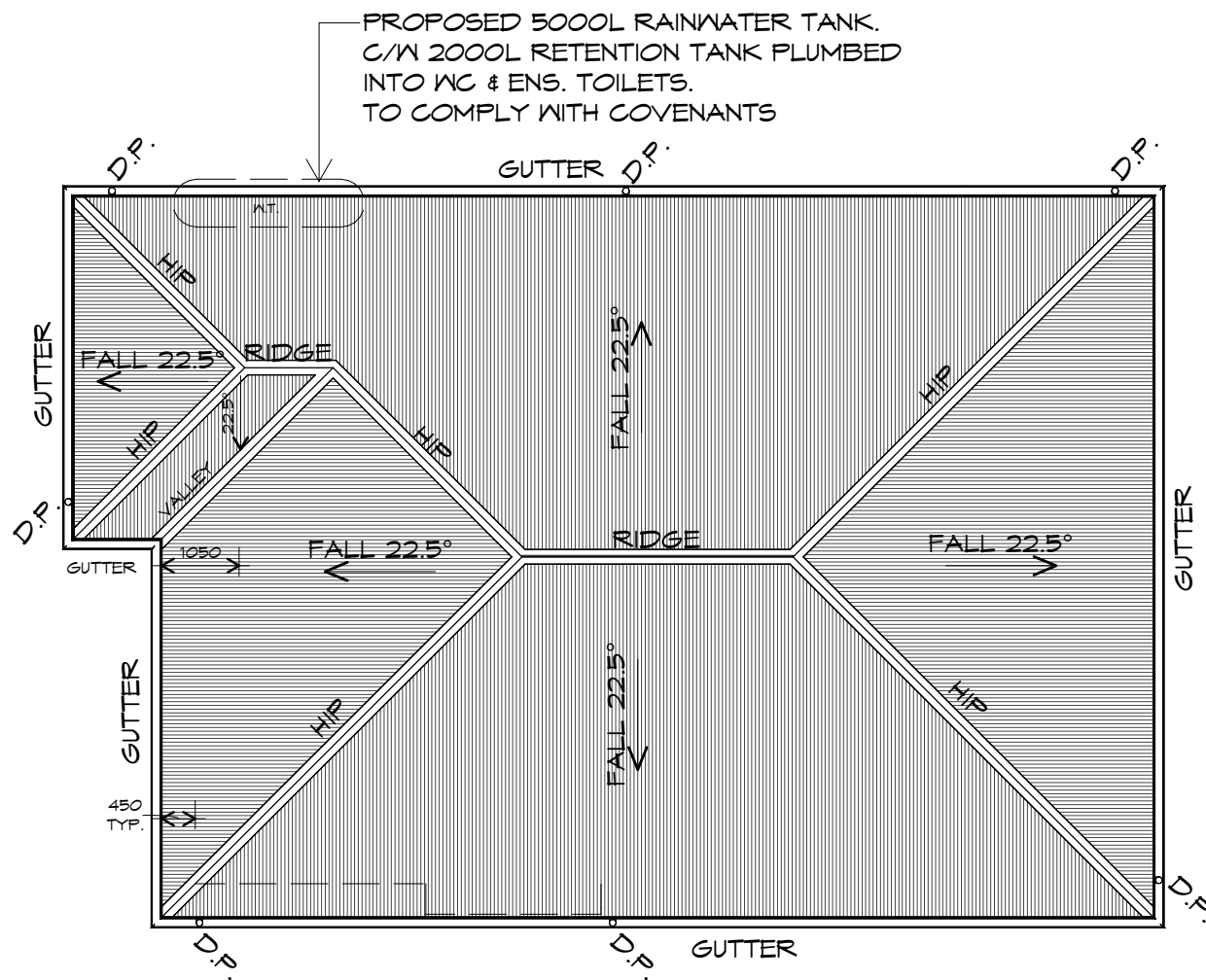
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Accredited building practitioner: Frank Geskus -No CC246A



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ROOF PLAN

1 : 100

ROOF PLUMBING NOTES:

GUTTER INSTALLATION
TO BE IN ACCORDANCE WITH
ABCB HOUSING PROVISIONS PART 7.4.4
WITH FALL NO LESS THAN
1:500 FOR EAVES GUTTER

UNLESS FIXED TO METAL FASCIA
EAVES GUTTER TO BE FIXED
@ 1200 CRS MAX.

VALLEY GUTTERS ON A ROOF WITH A PITCH:
A) MORE THAN 12.5° DEGREES - MUST
HAVE A WIDTH OF NOT LESS THAN
400mm AND ROOF OVERHANG OF NOT
LESS THAN 150mm EACH SIDE OF VALLEY
GUTTER.
B) LESS THAN 12.5° DEGREES, MUST BE
DESIGNED AS A BOX GUTTER.

LAP GUTTERS 75mm IN THE DIRECTION
OF FLOW, RIVET & SEAL WITH AN
APPROVED SILICONE SEALANT.

DOWNPIPE POSITIONS SHOWN ON THIS
PLAN ARE NOMINAL ONLY.
EXACT LOCATION & NUMBER OF D.P.'S
REQUIRED ARE TO BE IN ACCORDANCE
WITH ABCB HOUSING PROVISIONS PART 7.4.5
REQUIREMENTS.
SPACING BETWEEN DOWNPIPES MUST NOT
BE MORE THAN 12m & LOCATED AS CLOSE AS
POSSIBLE TO VALLEY GUTTERS

ROOF VENTILATION 15-75deg (TABLE 10.8.3.)

COMMENTS	LENGTH (m)	SUPPLY AREA REQUIRED (mm ²)	EXHAUST AREA REQUIRED (mm ²)	VENT WIDTHS	VENT LENGTHS	VENT AREA (mm ²)	OPENING %	VENTS REQUIRED (#)	VENTS REQUIRED (#)
SUPPLY	49.0	342650.00		420	220	92400	37%	11	
EXHAUST	4.9		2450	50	100	5000	100%		1

VENTILATION TO COMPLY WITH ABCB HOUSING PROVISIONS 2022, PART 10.8.3

OVERFLOW MEASURES

INSTALL FRONT FACE SLOTTED GUTTER OR
10mm CONTROLLED BACK GAP, STAND OFF
BRACKET WITH SPACER.
BACK OF GUTTER INSTALLED A MINIMUM OF
10mm BELOW THE TOP OF FASCIA
INSTALL IN ACCORDANCE WITH ABCB HOUSING
PROVISIONS PART 7.4.6

ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING,
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY
OF CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,
FASTENER FREQUENCY FOR TRANSVERSE FLASHINGS
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.
REFER TO TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8



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Project:
**PROPOSED NEW RESIDENCE
30 FEDERATION DRIVE,
SORELL**

Client name:
C.L. CASSIDY

Drawing:
ROOF PLAN

Drafted by: D.D.H. Approved by: Approver

Date: 14.01.2025 Scale: 1 : 100

Project/Drawing no: PD24446 -11 Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A



BUILDING
NOTE: DO NOT SCALE OFF DRAWINGS

ROOF FRAMING (TRUSSES)
 CUSTOM ORB OR SIMILAR APPROVED SHEET ROOFING
 COLORBOND COLOUR TO SELECTION, OVER 70x35 MGP12
 NAILING BATTENS AT 900 CRS OR DOUBLE BATTEN
 ALTERNATIVE 70x35 MGP12 NAILING BATTENS AT 900 CRS,
 OVER 70x35 MGP12 COUNTER BATTENS AT 900 CRS,
 RUNNING PERPENDICULAR TO PRIMARY BATTENS AND
 APPROVED ROOF TRUSSES INSTALLED STRICTLY IN
 ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 FIX TRUSSES TO TOP PLATES WITH TRIP-L-GRIP
 CONNECTORS. PROVIDE DIAGONAL BRACING FIXED TO TOP
 CHORDS AT A MAX ANGLE OF 30° TO RIDGE.
 ANCHOR STRAP BRACING WITH 6 No 30x1.5 NAILS INTO
 DOUBLE TOP PLATE.
 WIND BRACING TO COMPLY WITH AS1684

ROOFING SISALATION
 ROOFING SISALATION IS TO BE DISCONTINUOUS
 (CUT BACK TO TOP BATTENS) AT THE RIDGE
 PROVIDING RIDGE VENTILATION IN ACCORDANCE
 WITH 10.8.3 OF THE HOUSING PROVISIONS

WALL FRAMING
 ALL TIMBER FRAMING GENERALLY IS
 TO COMPLY WITH THE REQUIREMENTS OF
 THE NCC 2022 H1D6, AS1684 & AS1720
 WALL FRAMING TO BE MGP10 RADIATA
 COMMON STUDS - 90x35
 NOGGIN'S - 90x35
 TOP AND BOTTOM PLATES - 90x35

PLASTER
 LINE WALLS AND CEILING INTERNALLY
 WITH 10mm PLASTERBOARD SHEETING.
 METAL FURRING CHANNEL @ 450 CRS
 VILLABOARD OR EQUA WALL LINING
 TO WET AREAS AS SPECIFIED & TO
 COMPLY WITH ABCB HOUSING
 PROVISIONS PART 10.2.

FLOORING
 INSTALLATION OF PARTICLE
 FLOORING TO COMPLY
 WITH AS1860.2

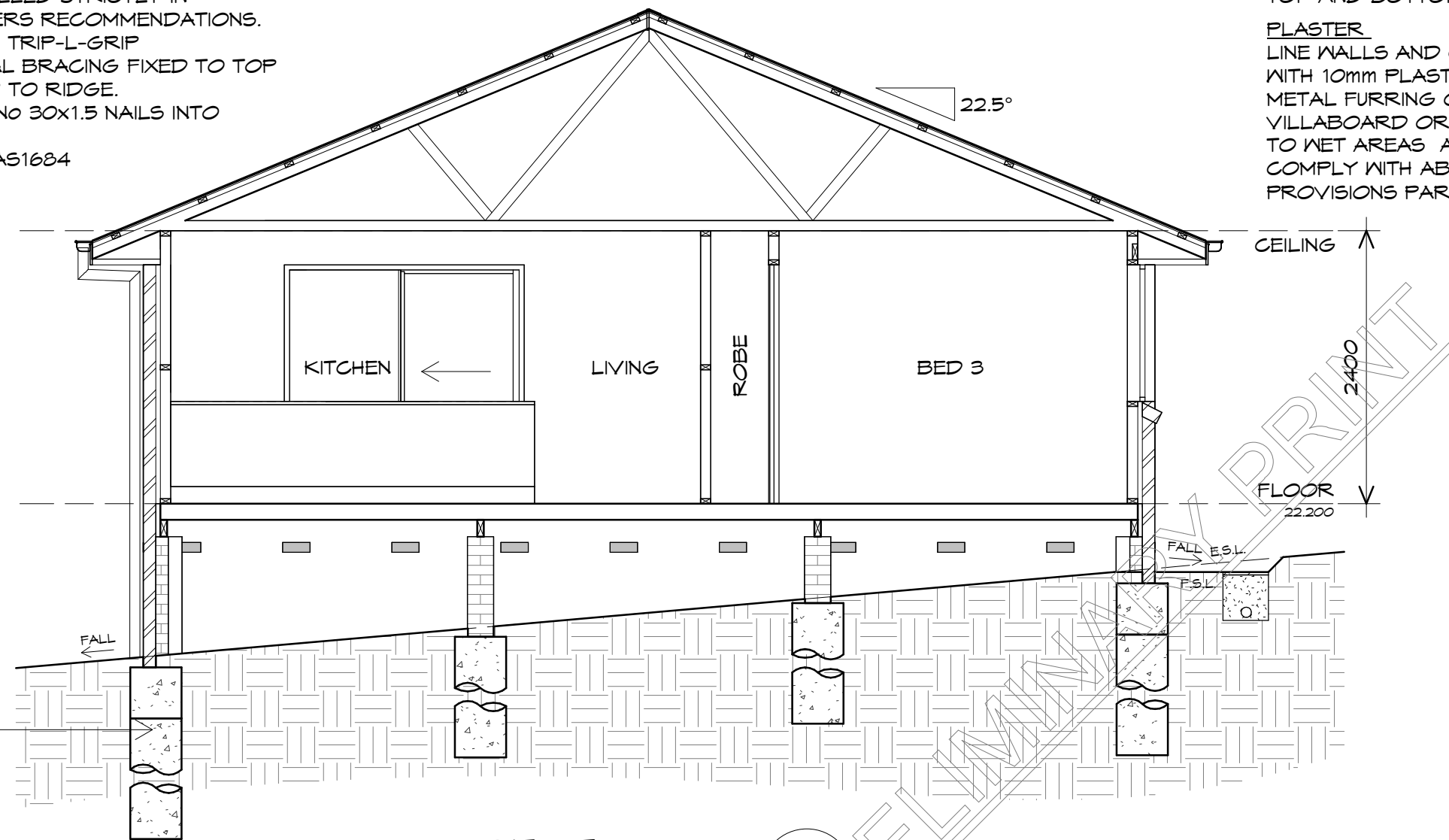
ARCHITRAVES
 ARCHITRAVES AND SKIRTINGS
 TO CLIENT SPEC

REFER TO ENGINEERS DRAWINGS
 FOR FOOTING DETAILS

SUB-FLOOR VENTILATION
 PROVIDE EVENLY SPACED VENTILATION
 OPENINGS TO SUB-FLOOR STRICTLY IN
 ACCORDANCE WITH ABCB HOUSING
 PROVISIONS PART 6.2
 CLIMATE ZONE 7 TO BE ADOPTED.
 6000mm SQ PER METRE OF WALL
 REFER TO MANUFACTURE SPECS.
 240mm x 86mm VENTS @ 1000 CRS

SLABS & FOOTINGS
 ALL CONCRETE PREPARATION INCLUDING
 EXCAVATIONS & PLACEMENT OF REINFORCEMENT
 IS TO BE SEEN & APPROVED BY BUILDING SURVEYOR
 BUILDING INSPECTOR AND/OR ENGINEER PRIOR
 TO POURING ANY CONCRETE.
 REFER TO ENGINEERS DRAWINGS FOR
 FOOTING & CONCRETE SLAB DETAILS.
 REFER TO SOIL REPORT FOR CLASSIFICATION & SITE
 MAINTENANCE REQUIREMENTS.

PAINTING
 DO ALL INTERNAL AND EXTERNAL PAINTING REQUIRED
 ALL AT LEAST EQUAL TO FIRST CLASS TRADE STANDARD.
 ALL INTERNAL WOODWORK TO CLEAR NATURAL
 SATIN FINISH.



SECTION

1 : 50

A
06

BATHROOM WATER PROOFING
 UNENCLOSED AND ENCLOSED SHOWER AREAS TO
 BE WATERPROOF TO ENTIRE SHOWER AREA
 AREAS OUTSIDE SHOWER AREA AND BATH/SPA;
 • TIMBER FLOORS TO BE WATER PROOF OVER
 ENTIRE SURFACE
 • CONCRETE AND COMPRESSED FIBRE-
 CEMENT SHEET FLOOR TO HAVE WATER
 RESISTANT TO ENTIRE SURFACE
 REFER TO ABCB HOUSING PROVISIONS PART 10.2
 FOR ALTERNATIVES
 BATH/FLOOR & WALL FLOOR JUNCTIONS MUST
 BE WATER PROOFED TO 25mm ABOVE
 FINISHED FLOOR LEVEL
 A "WATERSTOP" ANGLE IS REQUIRED AT
 DOORWAYS FLUSH WITH FINISHED SURFACE
 LEVEL, PER ABCB HOUSING PROVISIONS PART 10.2
 & AS3740. REFER TO DETAILS IN DRAWING SET.

BUILDING

NOTE: DO NOT SCALE OFF DRAWINGS

Sorell Council
 Development Application: 5.2024.343.1 -
 Updated Plans - 30 Federation Drive, Sorell -
 P2.pdf
 Plans Reference: P2
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Client name:
C.L. CASSIDY

Drawing:
SECTION

Drafted by: **D.D.H.** Approved by: **Approver**

Date: **14.01.2025** Scale: **1 : 50**

Project/Drawing no: **PD24446 -12** Revision: **03**

Accredited building practitioner: Frank Geskus -No CC246A



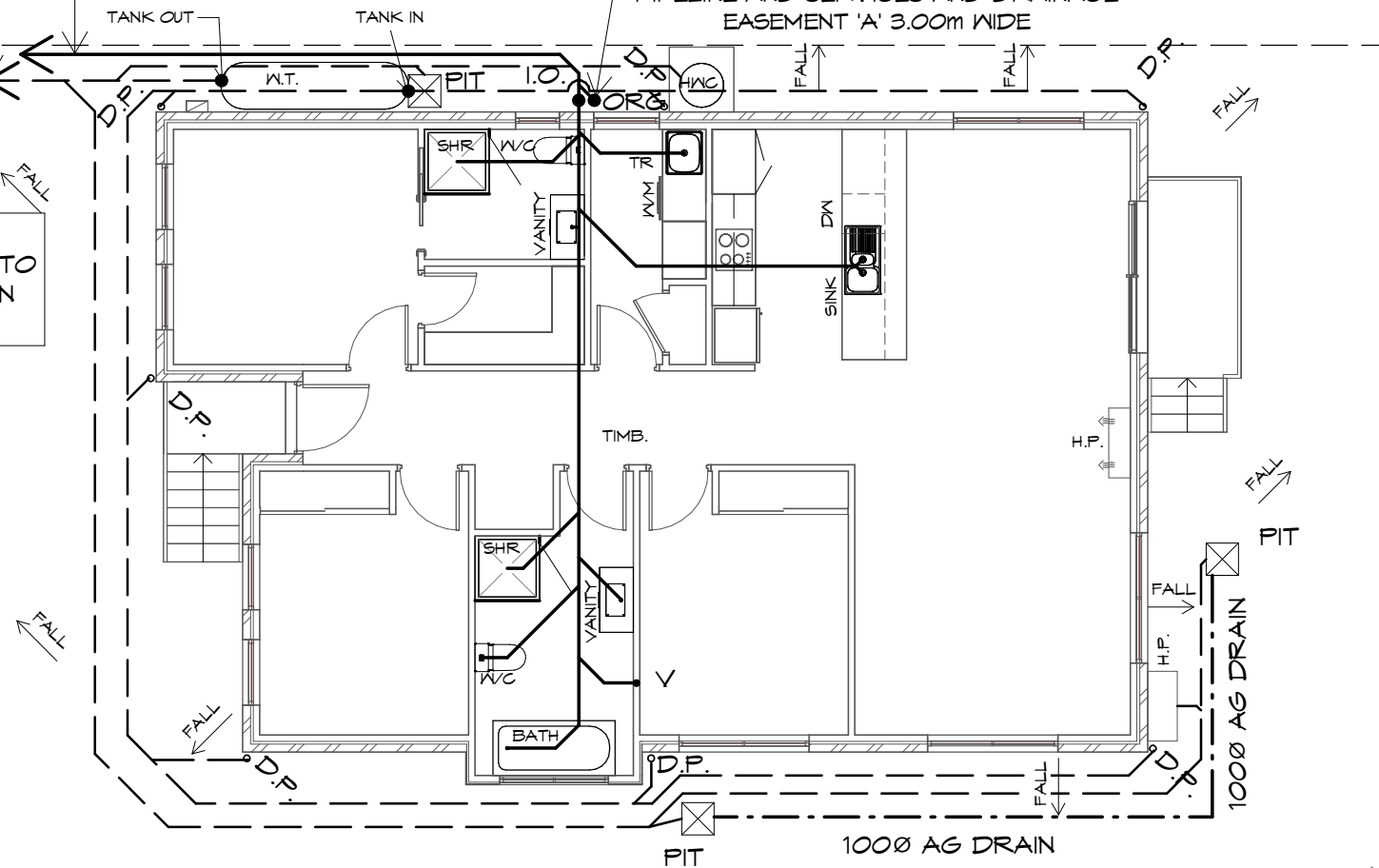
CONNECT STORMWATER TO COUNCIL STORMWATER CONNECTION

CONNECT SEWER TO TASWATER SEWER CONNECTION

ORG RL: 21.550

PIPELINE AND SERVICES AND DRAINAGE EASEMENT 'A' 3.00m WIDE

NOTE: PLUMBING MAY BE SUBJECT TO CHANGE DUE TO UNFORESEEN SITE/HEIGHT CONDITIONS.



PLUMBING PLAN

1 : 100

READ IN CONJUNCTION WITH SITE DRAINAGE PLAN

Sorell Council
 Development Application: 5.2024.343.1 - Updated Plans - 30 Federation Drive, Sorell - P2.pdf
 Plans Reference: P2
 Date received: 17/01/2025

NOTE: ALL WATERPROOFING WORK MUST COMPLY WITH THE REQUIREMENTS OF THE ABCB HOUSING PROVISIONS PART 10.2.1-10.2.32 IN FULL AND MUST BE CARRIED OUT BY A LICENSED TRADESPERSON ONLY.



LEGEND

- ORG ● OVERFLOW RELIEF GULLY
- I.O. ● INSPECTION OPENING
- D.P. ● DOWNPIPE
- PIT ⊠ 450X450 SURFACE DRAINAGE PIT
- V ● VENT

PLUMBING NOTES:

ALL DRAINAGE WORK SHOWN IS PROVISIONAL ONLY AND IS SUBJECT TO AMENDMENT TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
 ALL WORK IS TO COMPLY WITH THE REQUIREMENTS OF AS 3500.2021 & THE NATIONAL CONSTRUCTION CODE. AND MUST BE CARRIED OUT BY A LICENCED TRADESMAN ONLY.

LEGEND OF DIAMETERS

- TROUGH = 50mm
- SINK = 50mm
- BATH = 40mm
- BASIN = 40mm
- SHOWER = 50mm
- WC = 100mm
- SEWER = 100mm uPVC
- ORG = OVERFLOW RELIEF GULLY
- VENT = 50mm
- DP = 90mm
- STORMWATER = 100mm uPVC

THE INSTALLATION OF WATER PIPE LINES, USE POLY OR COPPER PIPE, MUST COMPLY WITH AS/NZS 3500.2021. MAIN COLD WATER LINE FROM METER TO HOUSE TO BE DN 25mm WITH DN 16mm BRANCHES & HOT WATER MAIN LINES TO BE DN 20mm WITH DN 16mm BRANCHES TO FIXTURES, ALL OTHER PRODUCTS USED ARE TO COMPLY WITH THE REQUIREMENTS OF AS/NZS 3500.2021.

HOT WATER INSTALLATION SHALL DELIVER HOT WATER TO ALL SANITARY FIXTURES USED FOR PERSONAL HYGIENE AT 50deg C, KITCHEN SINK & LAUNDRY SHALL BE 60deg C TO COMPLY WITH REQUIREMENTS OF AS/NZS 3500.2021.

AT THE PROPERTY BOUNDARY, AN APPROVED BACKFLOW PROTECTION VALVE IS TO BE FITTED BEFORE EXTENDING THE DOMESTIC SUPPLY TO THE DWELLING.

FINAL PITS LOCATION AND NUMBER TO BE CONFIRMED ON SITE TO ENSURE SURFACE WATER IS REMOVED FROM AROUND HOUSE.

- ⊠ 300X300 EVERHART SURFACE DRAINAGE PIT
- ⊠ 450X450 SURFACE DRAINAGE PIT AT LOCATION OF DRIVEWAY/BATTERS

HOT WATER CYLINDER TO BE INSTALLED AS PER NCC 2022 VOL 3



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Drafted by: **D.D.H.**
 Approved by: **Approver**



Drawing:
PLUMBING PLAN

Date: **14.01.2025**
 Scale: **1 : 100**

Project/Drawing no: **PD24446 -13**
 Revision: **03**

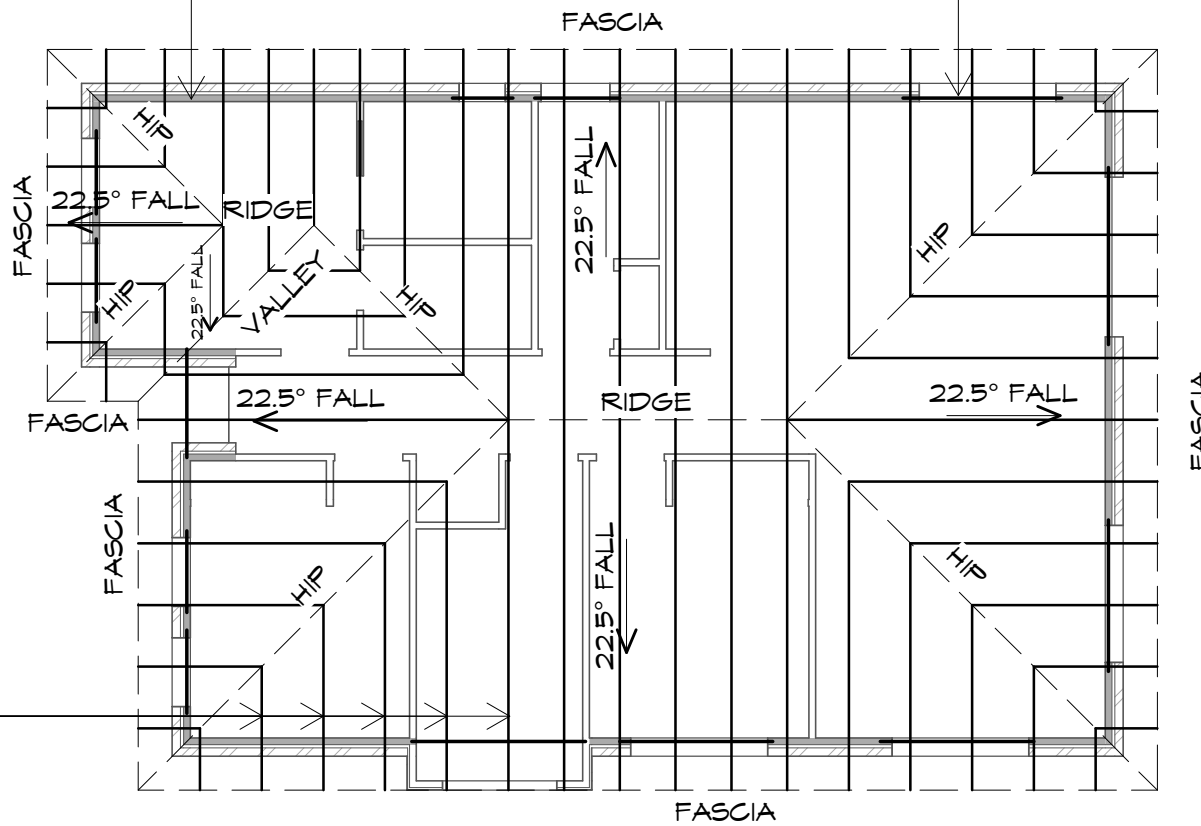
Accredited building practitioner: Frank Geskus -No CC246A

BUILDING NOTE: DO NOT SCALE OFF DRAWINGS

EXTERNAL WALLS
ARE LOAD BEARING U.N.O.

NOTE: INTERNAL WALLS
NOT LOAD BEARING UNLESS
NOTED AS SUCH.
READ IN CONJUNCTION WITH
ENGINEERS DRAWINGS.

LINTEL
REFER TO ENGINEERS
DRAWINGS FOR DETAILS.



PROPRIETARY ROOF
TRUSSES DESIGNED
BY OTHERS
@ 900 CRS MAX

ROOF FRAMING (TRUSSES)

CUSTOM ORB OR SIMILAR APPROVED SHEET ROOFING
COLORBOND COLOUR TO SELECTION, OVER 75 x 38
HWD NAILING BATTENS AT 900 CRS AND APPROVED
ROOF TRUSSES INSTALLED STRICTLY IN ACCORDANCE
WITH MANUFACTURERS RECOMMENDATIONS.
FIX TRUSSES TO TOP PLATES WITH TRIP-L-GRIP
CONNECTORS.

PROVIDE DIAGONAL BRACING FIXED TO TOP CHORDS
AT A MAX ANGLE OF 30° TO RIDGE.

ANCHOR STRAP BRACING WITH 6 NO 30x1.5 NAILS
INTO DOUBLE TOP PLATE.

WIND BRACING TO COMPLY WITH AS1684

ADDITIONAL ROOF LOAD

NO SOLAR P.V. SYSTEM HAS BEEN ALLOWED FOR,
NO SOLAR HOT WATER HAS BEEN ALLOWED FOR.

METAL ROOF

METAL SHEETING ROOF TO BE INSTALLED IN
ACCORDANCE WITH ABCB HOUSING PROVISIONS PART
7.2. REFER TO TABLE 7.2.2a FOR ACCEPTABLE
CORROSION PROTECTION FOR SHEET ROOFING,
REFER TO TABLE 7.2.2b-7.2.2e FOR ACCEPTABILITY
OF CONTACT BETWEEN DIFFERENT ROOFING
MATERIALS. FOR FIXING, SHEET LAYING SEQUENCE,
FASTENER FREQUENCY FOR TRANVERSE FLASHINGS
AND CAPPINGS, ANTI CAPILLARY BREAKS, FLASHING
DETAILS REFER TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF PENETRATION FLASHING DETAILS.
REFER TO TO ABCB HOUSING PROVISIONS PART
7.2.5- 7.2.7. ROOF SHEETING MUST OVERHANG MIN
35mm AS PER ABCB HOUSING PROVISIONS PART 7.2.8

ROOF LAYOUT PLAN

1 : 100

NOTE:
FOR REFERENCE LAYOUT ONLY.
REFER TO TRUSS MANUFACTURERS
DESIGN FOR FURTHER DETAILS.

PRELIMINARY

BUILDING
NOTE: DO NOT SCALE OFF DRAWINGS



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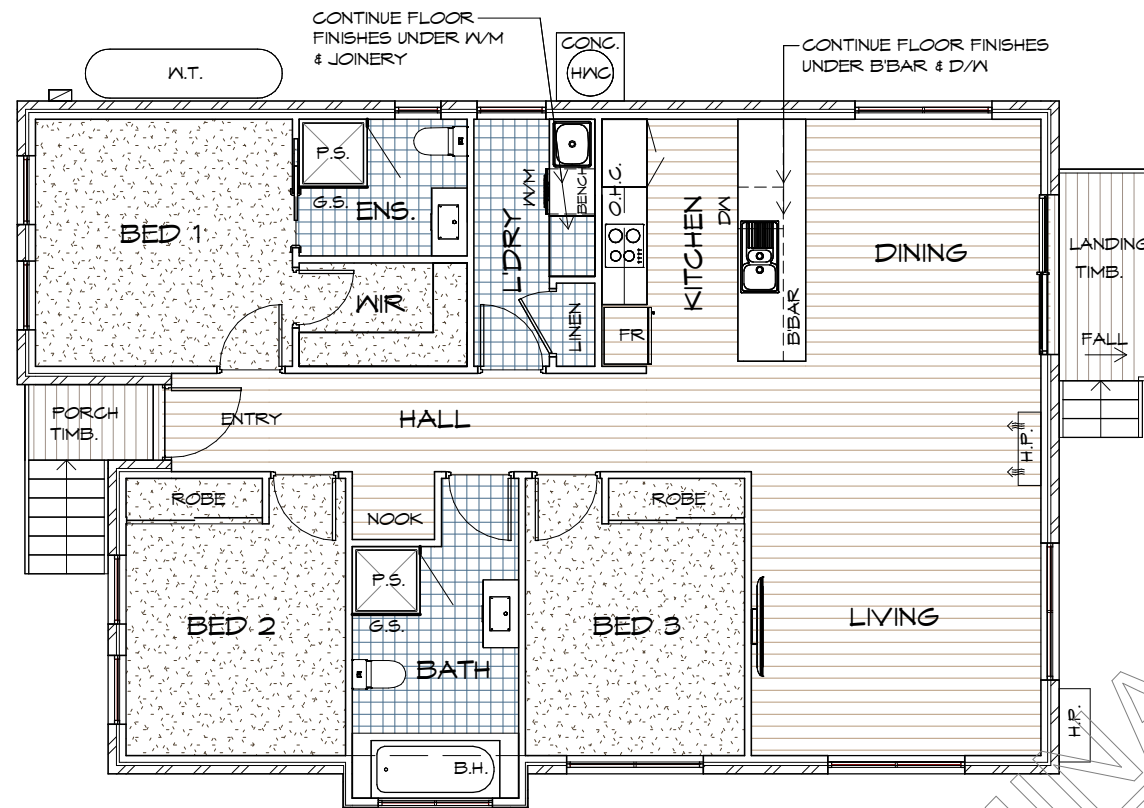


Drawing:
ROOF LAYOUT PLAN







Date: 14.01.2025
Scale: 1 : 100

Project/Drawing no: PD24446 -14
Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A



LEGEND

-  CARPET
-  TILES
-  TIMBER
-  TIMBER DECK
-  G.S. GLASS SCREEN
-  P.S. PERFORMED SHOWER BASE

Sorell Council
 Development Application: 5.2024.343.1 - Updated Plans - 30 Federation Drive, Sorell - P2.pdf
 Plans Reference: P2
 Date received: 17/01/2025

FLOOR FINISHES PLAN

1 : 100

IMPORTANT:
 PLEASE REFER TO ENERGY ASSESSMENT REPORT FOR FULL DETAILS.
 ENERGY ASSESSMENT IS BASED ON FLOOR TYPES AS NOTED IN THE REPORT.

IF AN ALTERNATIVE FLOORING IS CHOSEN OR ANY OTHER ASPECT OF THE BUILDING IS MODIFIED, A NEW ENERGY ASSESSMENT WILL BE REQUIRED.

REFER TO ELECTRICAL PLAN AND REFLECTED CEILING PLAN FOR CEILING PENETRATIONS.

NOTE: ALL WATERPROOFING WORK MUST COMPLY WITH THE REQUIREMENTS OF THE ABCB HOUSING PROVISIONS PART 10.2.1-10.2.32 IN FULL AND MUST BE CARRIED OUT BY A LICENSED TRADESPERSON ONLY.

- IMPORTANT NOTE:**
- REFER TO WATERPROOFING DETAILS ON BDXX
 - NO ALLOWANCE GIVEN FOR HANDHELD SPRAY DEVICES ON SHOWERS, BATH OR W/C'S U.N.O.



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Client name:
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Drawing:
FLOOR FINISHES PLAN

Drafted by: **D.D.H.** Approved by: **Approver**

Date: **14.01.2025** Scale: **1 : 100**




Project/Drawing no: **PD24446 -15** Revision: **03**

Accredited building practitioner: Frank Geskus -No CC246A





ELECTRICAL INDEX

LIGHTING

-  FOUR LIGHT, 3 IN 1 BATHROOM LIGHT C/W DAMPER, EXHAUST TO OUTSIDE*
 -  L.E.D. - SEALED DOWN LIGHT *
 -  WALL LIGHT
- *INSTALL AS PER MANUFACTURERS SPECIFICATION

SWITCH TYPE

-  ONE-WAY SWITCH
-  TWO-WAY SWITCH


WALL OUTLETS

-  GENERAL PURPOSE OUTLET (DOUBLE)

NOTE:
POWER POINT TO BE 300mm AWAY FROM EDGE OF WATER SOURCE

-  HOTPLATE SAFETY CUT-OFF
-  T.V. OUTLET




CEILING

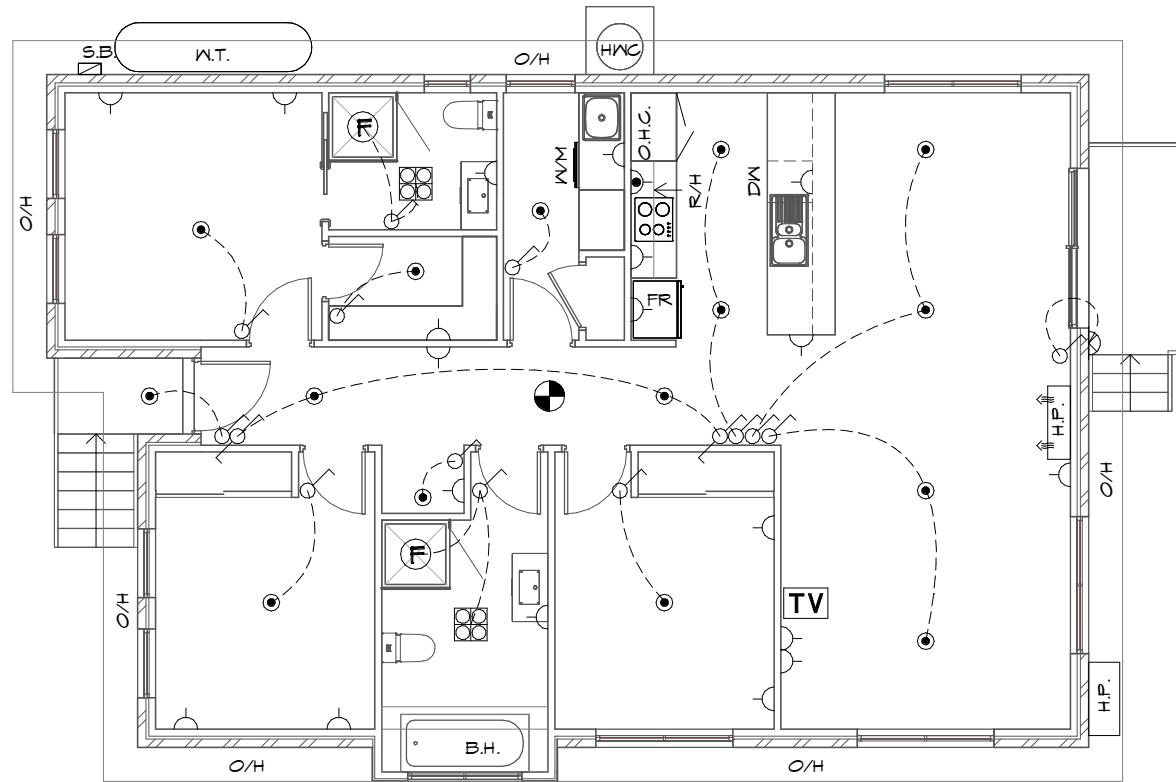
-  DENOTES CEILING HEIGHT
- H.P. HIGH POINT
- L.P. LOW POINT
- B.H. BULK HEAD
- O/H ROOF OVERHANG/EAVES
- O.H.C. OVERHEAD CUPBOARD

HEATING

-  HEAT PUMP
-  HEAT PUMP, OUTDOOR UNIT

OTHER

-  240V SMOKE ALARM
-  SWITCH BOX
-  EXHAUST FAN, VENT TO OUTSIDE AIR, PROVIDE POWER
- R/H RANGE HOOD, VENT TO OUTSIDE AIR, PROVIDE POWER



ELETRICAL/REFLECTED CEILING PLAN

1 : 100

IMPORTANT:

PLEASE REFER TO ENERGY ASSESSMENT REPORT FOR FULL DETAILS. ENERGY ASSESSMENT IS BASED ON THE ABOVE ELECTRICAL LAYOUT AND TYPES AS NOTED IN THE REPORT. IF MORE PENETRATIONS ARE INCLUDED OR ANY OTHER ASPECT OF THE BUILDING IS MODIFIED, A NEW ENERGY ASSESSMENT WILL BE REQUIRED.

SMOKE ALARMS

- ALL ALARMS TO BE INTERCONNECTED WHERE MORE THAN ONE ALARM IS INSTALLED.
- SMOKE ALARMS TO BE LOCATED ON ALL FLOORS IN ACCORDANCE WITH THE ABCB HOUSING PROVISIONS 9.5.1, 9.5.2 AND 9.5.4.

ARTIFICIAL LIGHTING

RESIDENCES TO BE IN COMPLIANCE WITH NCC 2019 PART 3.12.5.5.

ARTIFICIAL LIGHTING MUST NOT EXCEED:

- 5W/m² FOR CLASS 1 BUILDING
- 4W/m² FOR VERANDAHS & BALCONIES
- 3W/m² FOR CLASS 10A ASSOCIATED WITH CLASS 1 BUILDING

REFER TO LIGHTING CALCULATOR FOR FURTHER DETAILS.

ELECTRICAL

ALL ELECTRICAL WORKS TO BE CARRIED OUT BY A GRADE ELECTRICAL CONTRACTOR. ALL WORKS TO COMPLY WITH LOCAL AUTHORITIES AND AS3000

EXHAUST FANS

EXHAUST FANS TO ACHIEVE FLOW RATE TO COMPLY WITH HOUSING PROVISIONS 10.8.2



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**ELECTRICAL/REFLECTED
CEILING PLAN**

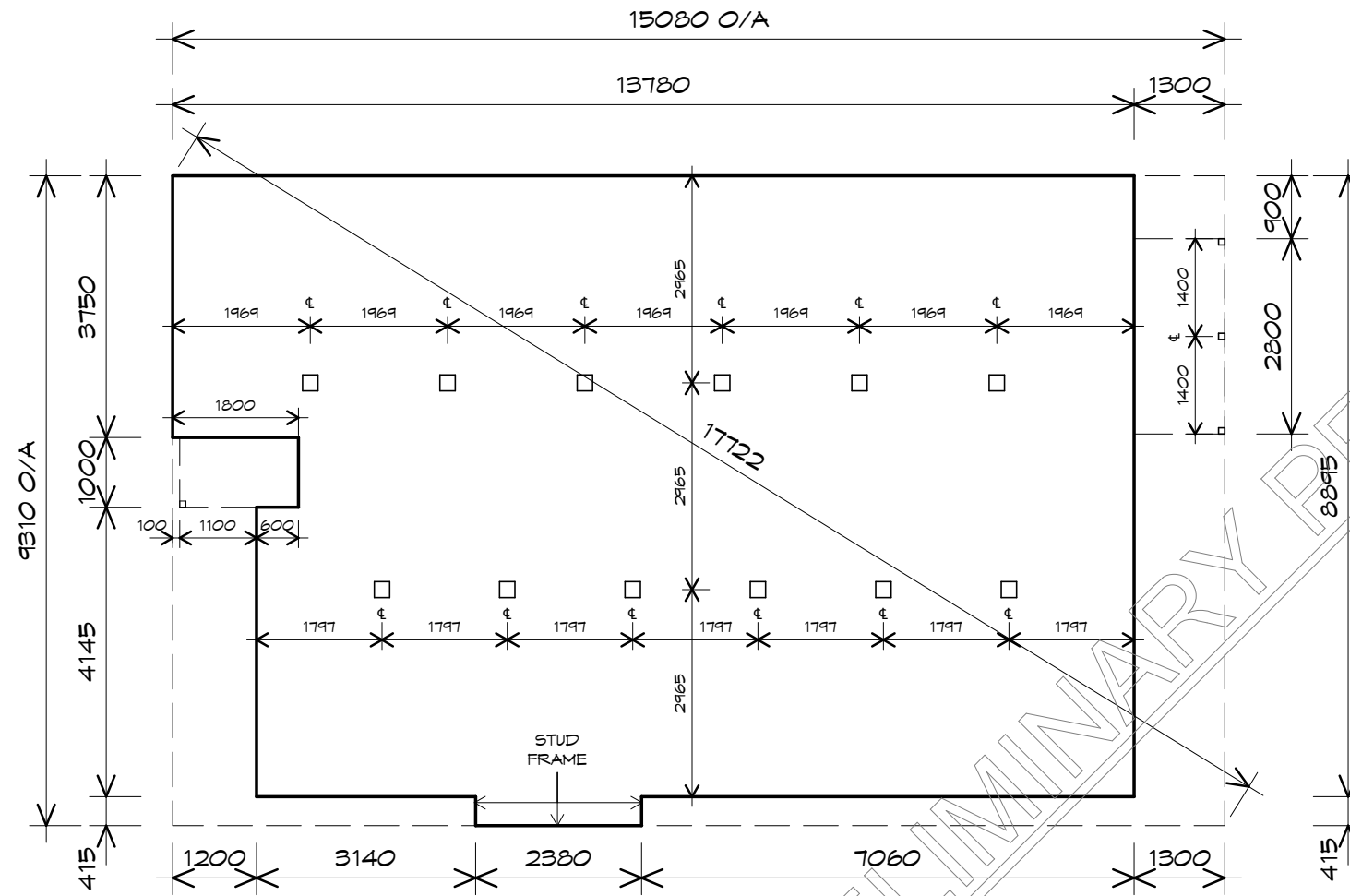
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Project/Drawing no: PD24446 -16 Revision: 03

Accredited building practitioner: Frank Geskus -No CC246A

BUILDING
NOTE: DO NOT SCALE OFF DRAWINGS



SETOUT PLAN

1 : 100

NOTE: SETOUT TO EXTERNAL FACE OF BRICK WORK U.N.O.

PRELIMINARY PRINT



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Drawing:
SETOUT PLAN

Drafted by: **D.D.H.** Approved by: **Approver**

Date: **14.01.2025** Scale: **1 : 100**

Project/Drawing no: **PD24446 -17** Revision: **03**

Accredited building practitioner: Frank Geskus -No CC246A



INSULATION SCHEDULE

ELEMENT	TYPE
METAL ROOF	CLASS 4 VAPOUR PERMEABLE SARKING (RBM R0.41)
CEILING	R5.0 BATTS
WALLS	CLASS 4 VAPOUR PERMEABLE MEMBRANE (RBM R0.45) + R2.5 BATTS = TOTAL R2.95 (R2.80 REQUIRED)
FLOOR ENCLOSED	R1.5 INSULATION (R1.5 REQUIRED)

ALL ENERGY EFFICIENCY MUST COMPLY WITH NCC 2019 PART 3.12.0

EXHAUST FANS
MUST BE FITTED WITH A SEALING DAMPER DEVICE
IN ACCORDANCE WITH THE NCC 2019 PART 3.12.3.4

INSULATION NOTE:
ENSURE PLASTER CEILING & BATTEN CONSTRUCTION
IS DESIGNED TO SUPPORT REQUIRED INSULATION

IMPORTANT:

PLEASE REFER TO ENERGY ASSESSMENT REPORT FOR FULL DETAILS.

ENERGY ASSESSMENT IS BASED ON WINDOW TYPES AS NOTED IN THE REPORT.
IF A LESSER PERFORMANCE WINDOW IS CHOSEN OR ANY OTHER ASPECT OF THE
BUILDING IS MODIFIED, A NEW ENERGY ASSESSMENT WILL BE REQUIRED.

REFER TO ELECTRICAL PLAN AND REFLECTED CEILING PLAN FOR CEILING
PENETRATIONS.

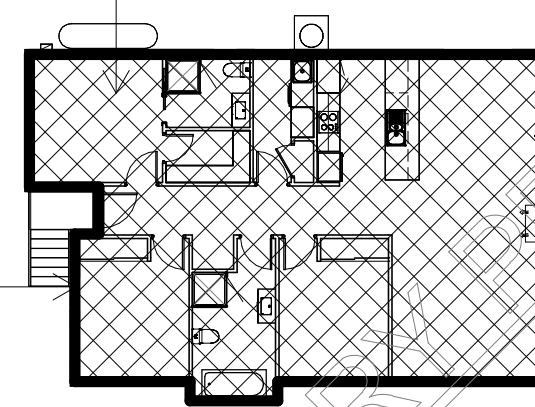
LEGEND

— EXTENT OF INSULATION
(REFER TO TABLE)

☒ EXTENT OF CEILING & FLOOR
INSULATION (REFER TO TABLE)

CEILING & FLOOR
INSULATION

WALL INSULATION



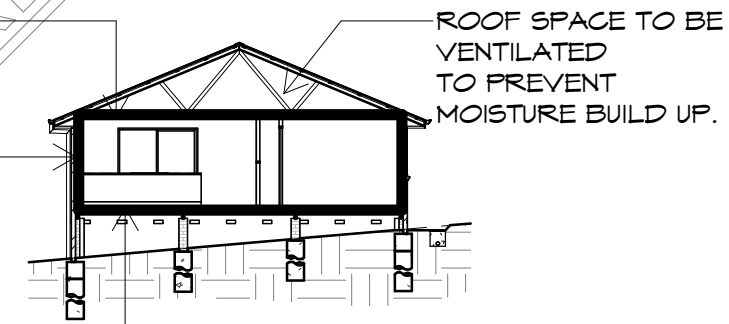
INSULATION PLAN

1 : 200

CEILING INSULATION

WALL INSULATION

FLOOR INSULATION



INSULATION SECTION

1 : 200

BUILDING
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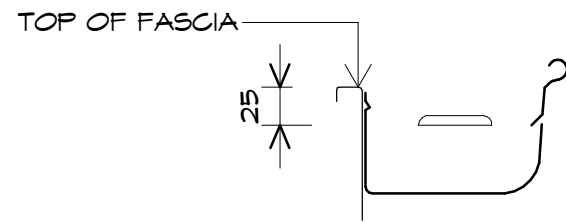
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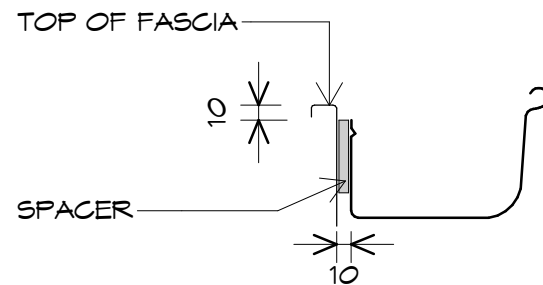
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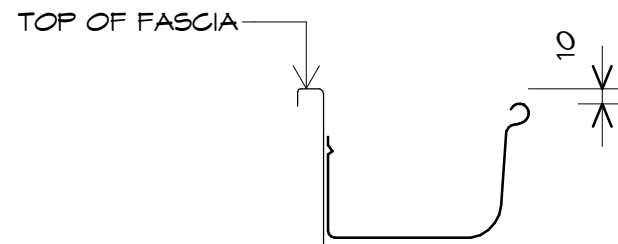
ACCEPTABLE OVERFLOW CAPACITY = 0.5 L/s/m

FIGURE 7.4.6a:
CONSTRUCTION OF FRONT FACE SLOTTED GUTTER



ACCEPTABLE OVERFLOW CAPACITY = 1.5 L/s/m

FIGURE 7.4.6b:
CONSTRUCTION OF CONTROLLED BACK GAP



NOTE:
FRONT BEAD OF GUTTER TO BE A MINIMUM OF 10MM BELOW THE TOP OF FASCIA

ACCEPTABLE OVERFLOW CAPACITY = 1.5 L/s/m

FIGURE 7.4.6b:
CONSTRUCTION OF CONTROLLED FRONT BEAD HEIGHT



NCC 2022 H2D5
ABCB HOUSING PROVISIONS PART 6.2. SUBFLOOR VENTILATION

FIGURE 6.2.1b
SUBFLOOR CLEARANCE REQUIREMENTS

NOTE: (1) 400mm CLEARANCE REQUIRED ONLY WHERE TERMITE MANAGEMENT SYSTEMS ARE INSTALLED THAT NEED TO BE INSPECTED (SEE PART 3.1.4)
(2) ON SLOPING SITES THE 400mm CLEARANCE REQUIRED BY (1) MAY BE REDUCED TO 150mm WITHIN 2m OF EXTERNAL WALLS IN ACCORDANCE WITH DIAGRAM b.

DIAGRAM b. SUB-FLOOR CLEARANCE REQUIREMENTS ON A SLOPING SITE

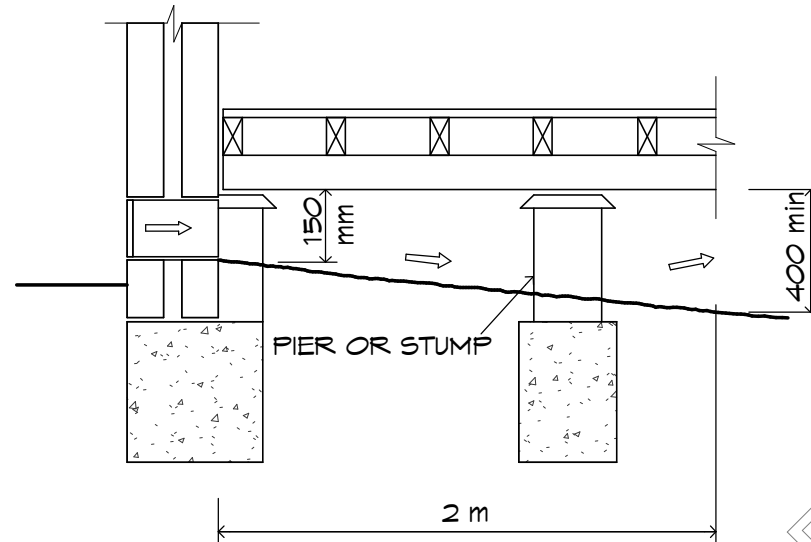
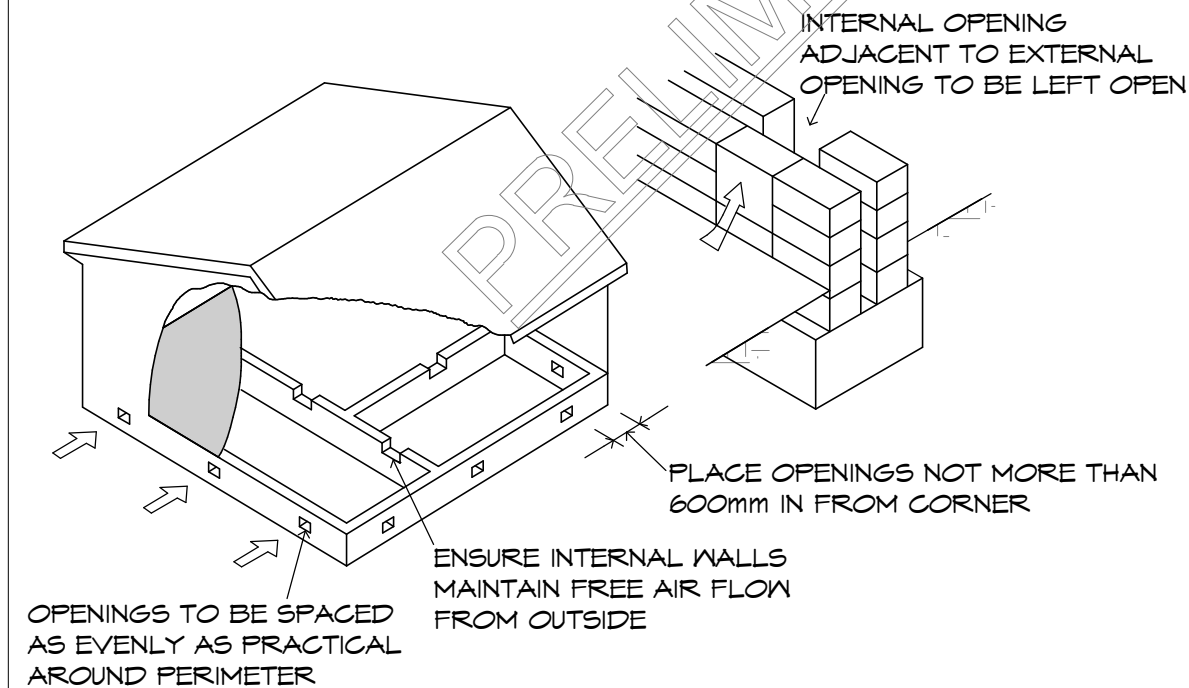


FIGURE 6.2.1d TYPICAL SUB-FLOOR VENTILATION DETAILS - TYPICAL CROSS VENTILATION OF SUBFLOOR AREA

DIAGRAM d. TYPICAL CROSS VENTILATION OF SUB-FLOOR AREA



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FIGURE 7.2.7d: PVC APRONS-
TYPICAL ROOF PENETRATION FLASHING DETAILS

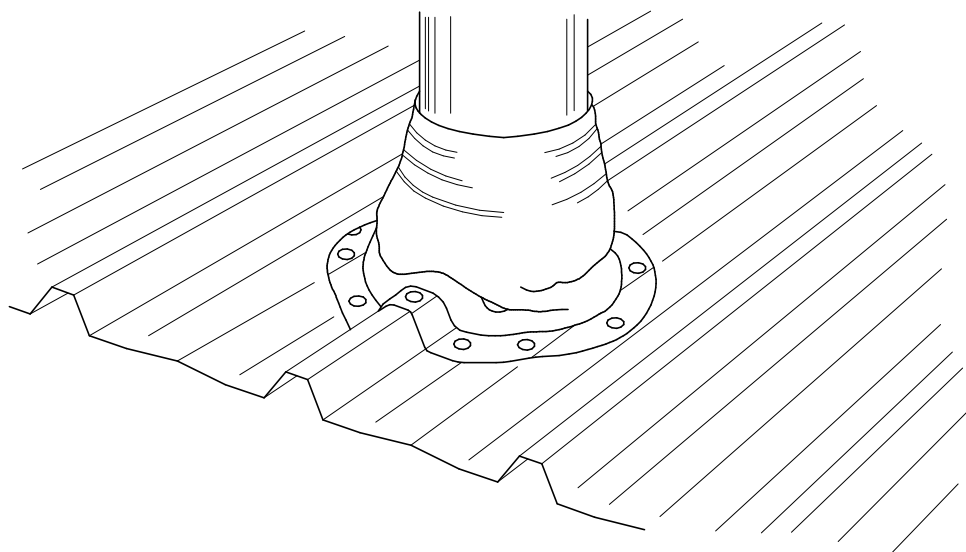


FIGURE 7.2.7e: COLLAR FLASHINGS
TYPICAL ROOF PENETRATION FLASHING DETAILS

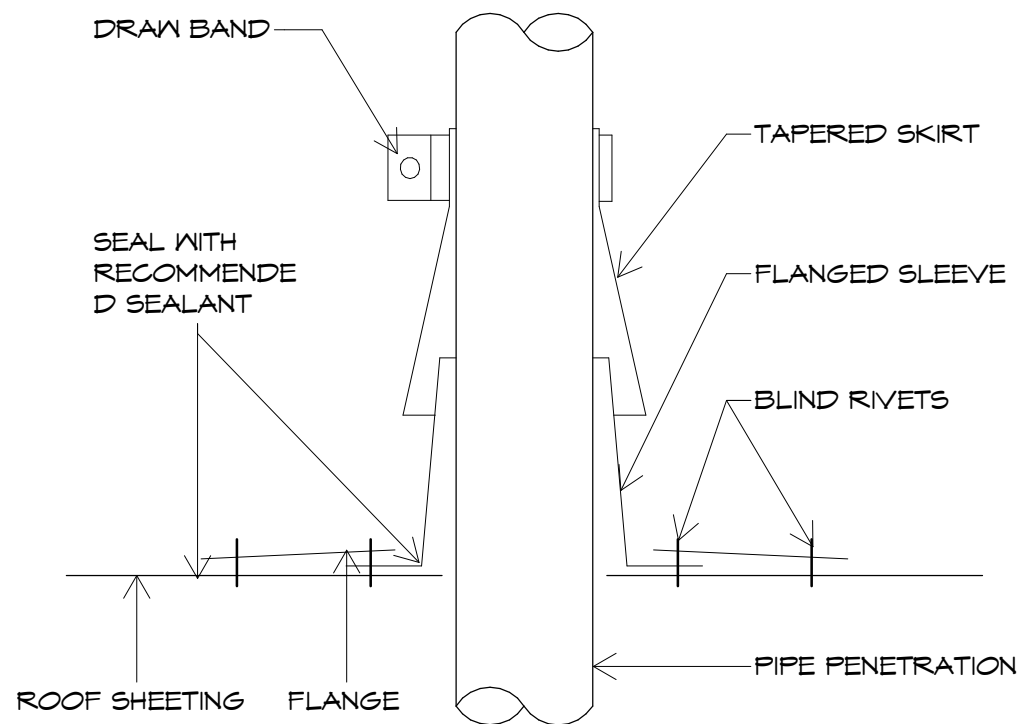
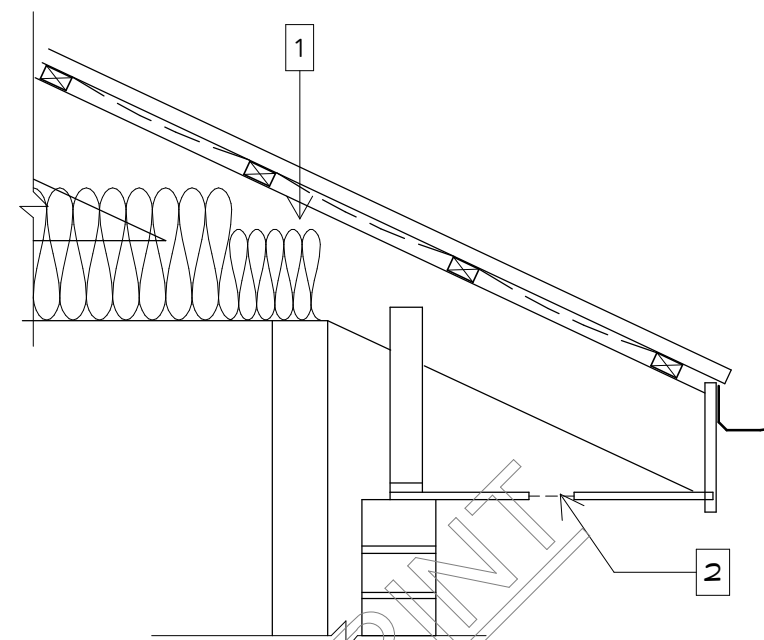
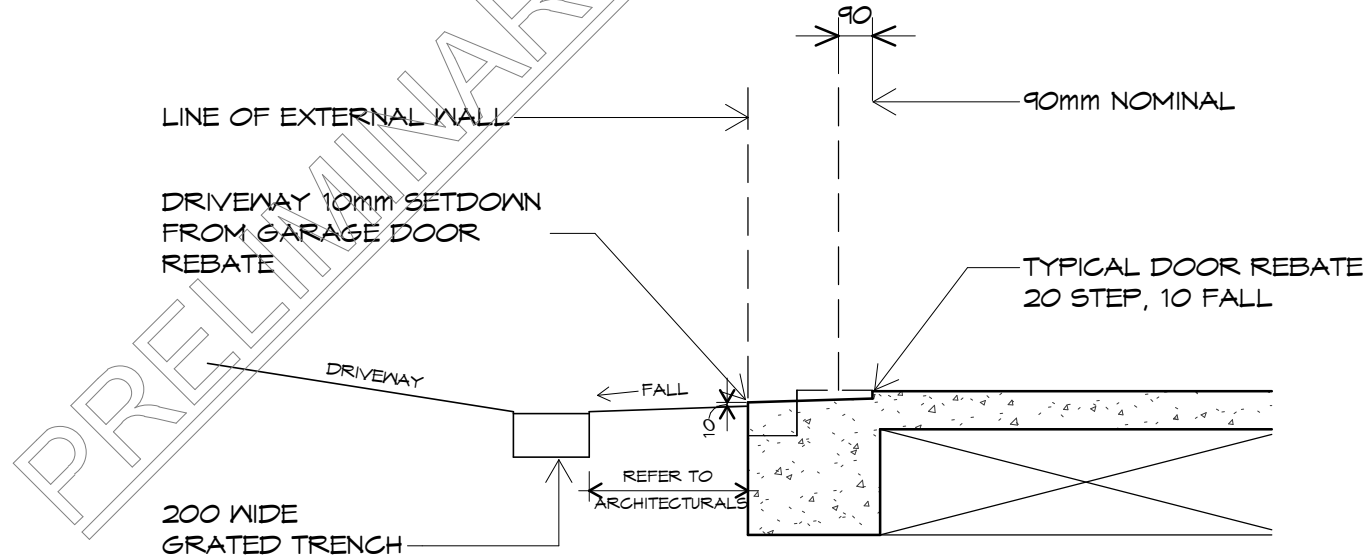


FIGURE 10.8.3 (EXPLANATORY): EXAMPLE OF ROOF SPACE WITH LOW LEVEL VENTILATION



- FIGURE NOTES
1. MINIMUM 20mm GAP MAINTAINED BETWEEN INSULATION AND SARKING
 2. EAVE VENTILATION OPENING IN ACCORDANCE WITH TABLE 10.8.3



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NGC 2022, H1D3
 ABCB HOUSING PROVISIONS TABLE 3.2.1 UN-RETAINED EMBANKMENT SLOPE RATIOS

SOIL CLASS (SEE PART 4.2.2 FOR MATERIAL DESCRIPTION)	SITE CUT (EXCAVATION) (MAXIMUM EMBANKMENT SLOPE RATIO, ANGLE OF SITE CUT H:L NOTE 1)	COMPACTED FILL (MAXIMUM EMBANKMENT SLOPE RATIO, ANGLE OF SITE CUT H:L NOTE 1)
STABLE ROCK (CLASS A)	8:1	3:3
SAND (CLASS A)	1:2	1:2
FIRM CLAY (CLASS M-E)	1:1	1:2
SOFT CLAY (CLASS M-E)	2:3	NOT SUITABLE

NOTES TO TABLE 3.2.1

- SEE FIGURE 3.2.1a & 3.2.1b FOR SOME EXAMPLES OF UN-RETAINED EMBANKMENT SLOPES.
- RETAINING WALLS MUST BE INSTALLED IN ACCORDANCE WITH H1D3(2) WHERE-
 - THE EMBANKMENT SLOPE IS STEEPER THAN DESCRIBED IN THIS TABLE; OR
 - THE SOIL TYPE IS NOT DESCRIBED IN THIS TABLE.

FIGURE 3.2.1A SITE CUT AND FILL USING UN-RETAINED EMBANKMENTS - SITE CUT COMMENCING AT THE ALLOTMENT BOUNDARY OR AFFECTING AN ADJOINING PROPERTY

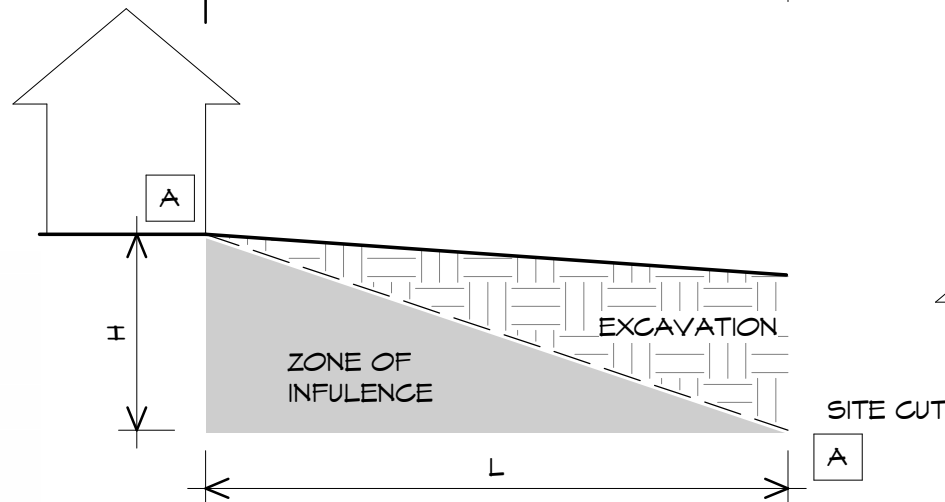
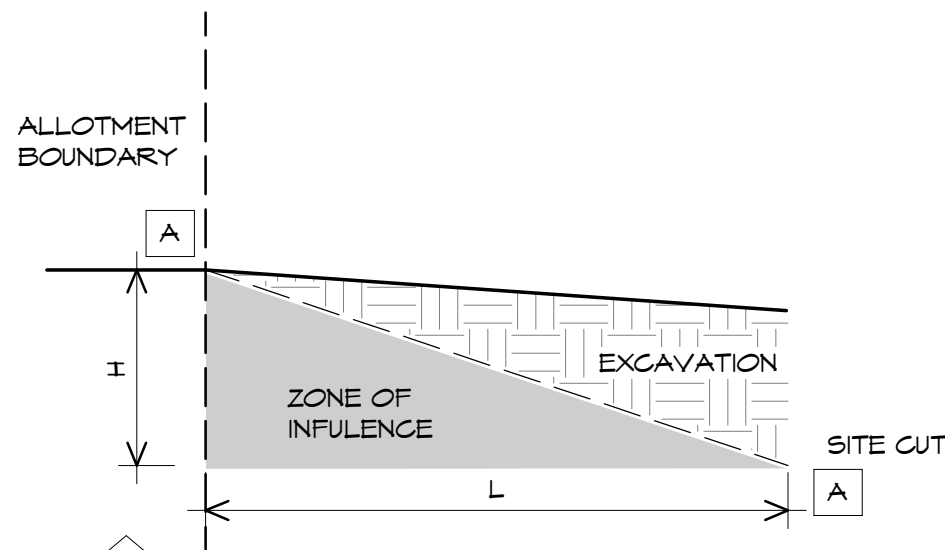
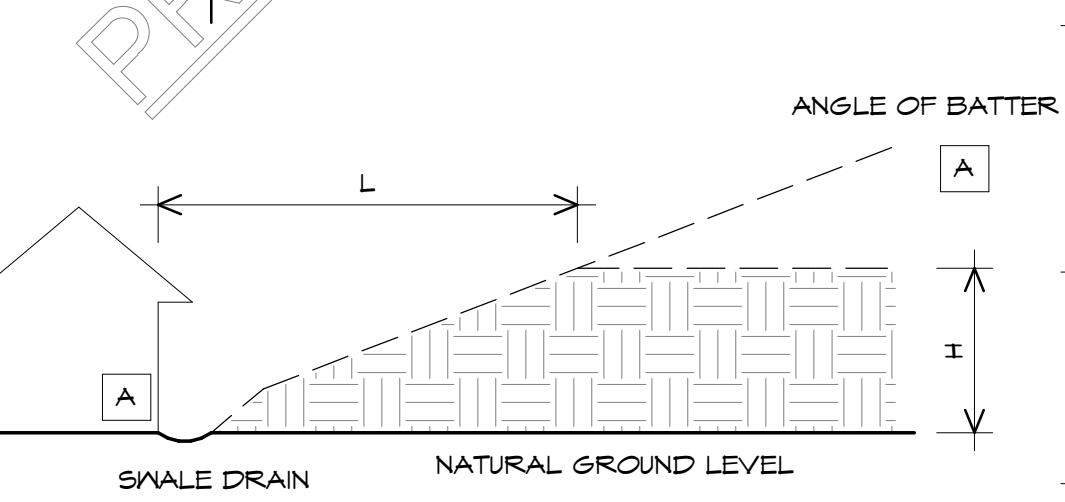
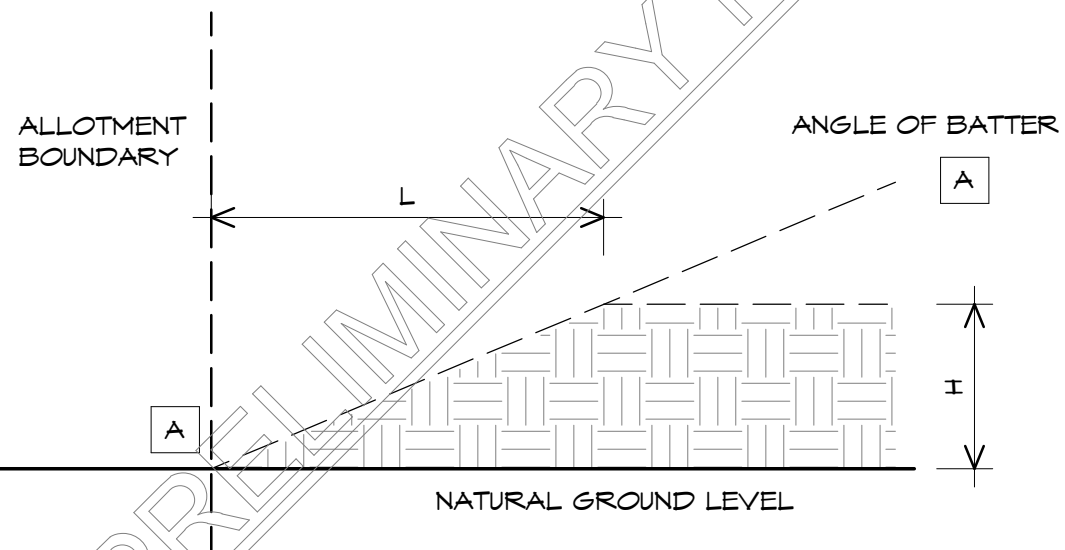


FIGURE 3.2.1B SITE CUT AND FILL USING UN-RETAINED EMBANKMENTS - FILL COMMENCING AT THE ALLOTMENT BOUNDARY OR AFFECTING AN ADJOINING PROPERTY



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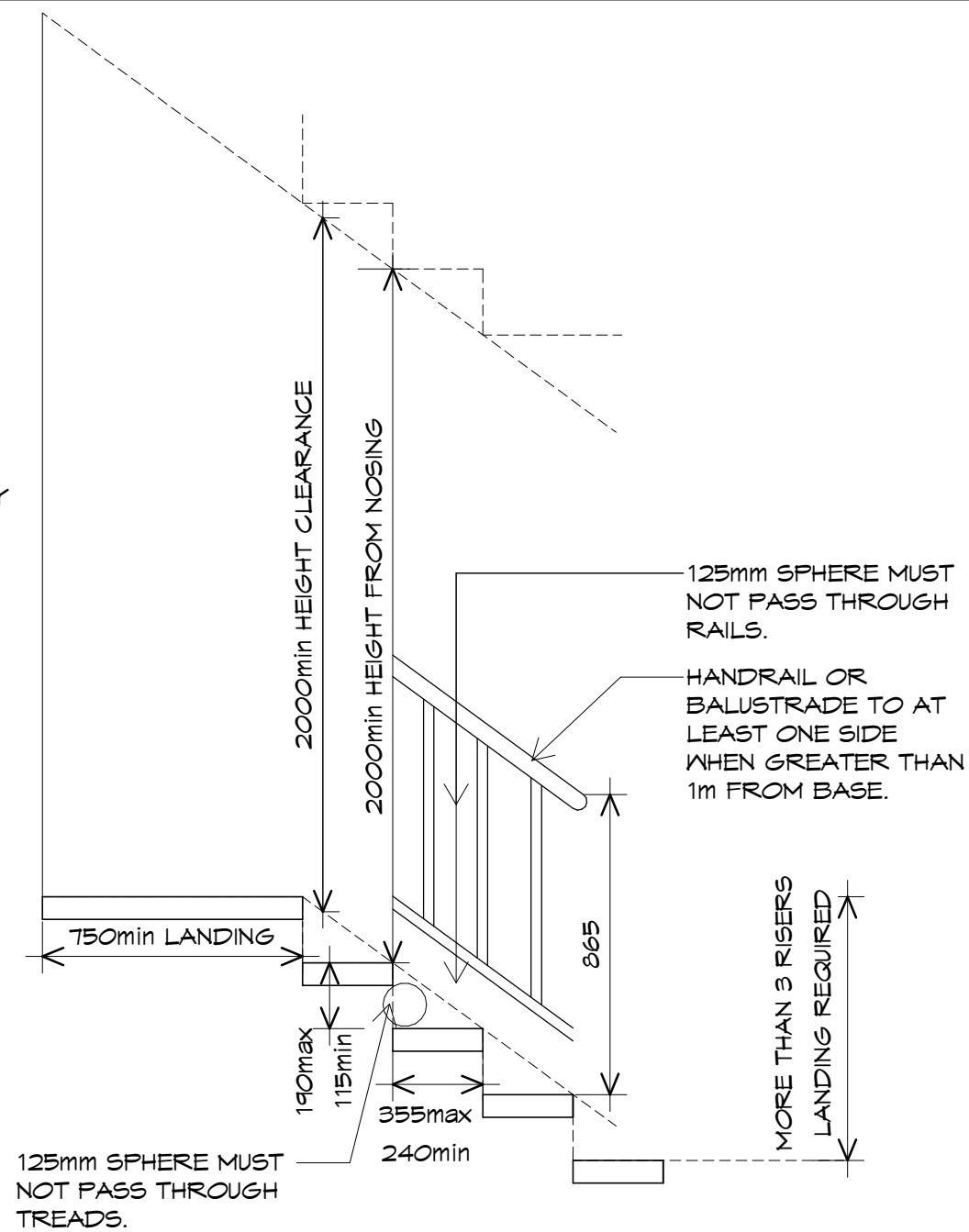
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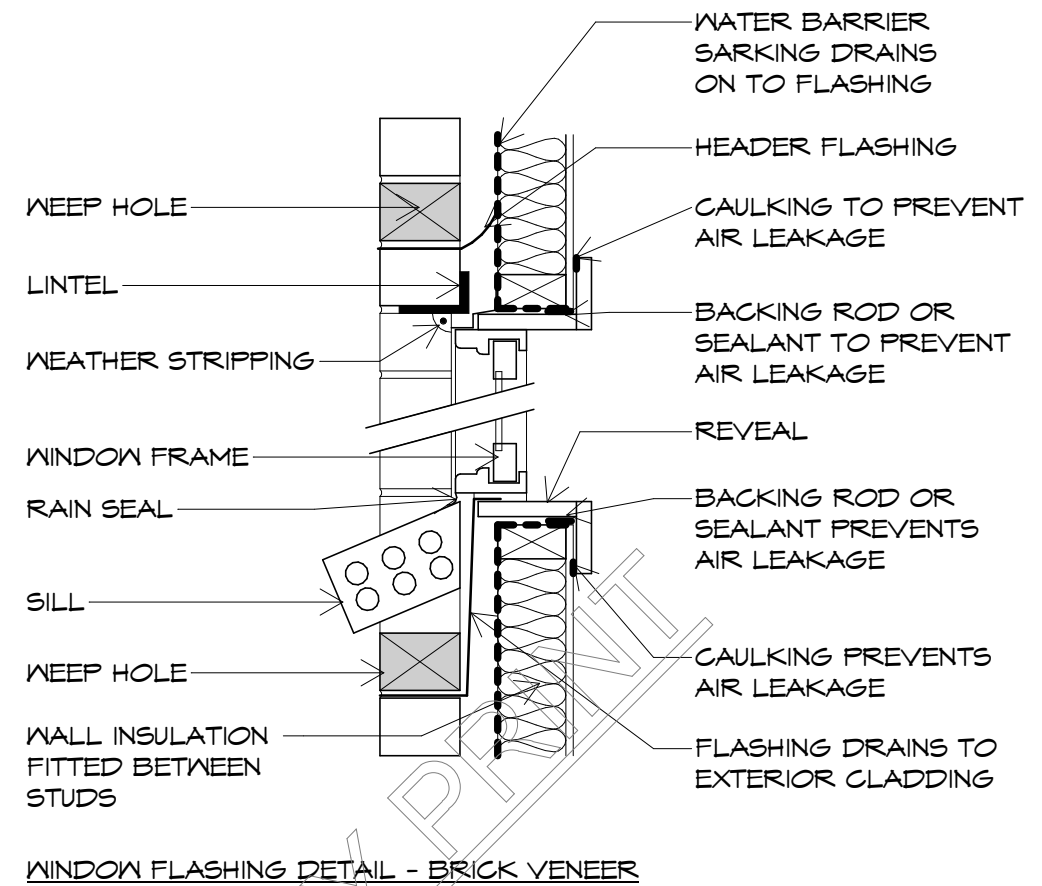
DOORWAY



125mm SPHERE MUST NOT PASS THROUGH TREADS.

STAIR CONSTRUCTION (REFER TO ABCB HOUSING PROVISIONS PART 11.2&11.3)

- EACH FLIGHT TO NOT BE MORE THAN 18 RISERS OR LESS THAN 2 RISERS.
- A FLIGHT OF STAIRS TO NOT HAVE MORE THAN 3 WINDERS IN LIEU OF EACH QUARTER LANDING OR 6 WINDERS IN LIEU OF EACH HALF LANDING.
- THE RISER OPENING MUST NOT ALLOW A 125mm SPHERE TO PASS THROUGH BETWEEN THE TREADS.
- TREADS MUST HAVE A SLIP-RESISTANT FINISH
- LANDINGS MUST BE NOT LESS THAN 750mm LONG AND GRADIENT NOT GREATER THAN 1:50 AND BE PROVIDED AT DOORWAYS WHERE A CHANGE IN LEVEL OR GREATER THAN 3 RISERS (OR MORE THAN 570mm).
- CONTAINS A REQUIRED CEILING HEIGHT, MEASURED VERTICALLY FROM THE NOSING TO BE MINIMUM OF 2m.
- HANDRAIL REQUIRED TO AT LEAST ONE SIDE OF RAMP OR STAIRWAY IF HEIGHT MORE THAN 1m TO COMPLY ABCB HOUSING PROVISIONS PART 11.3



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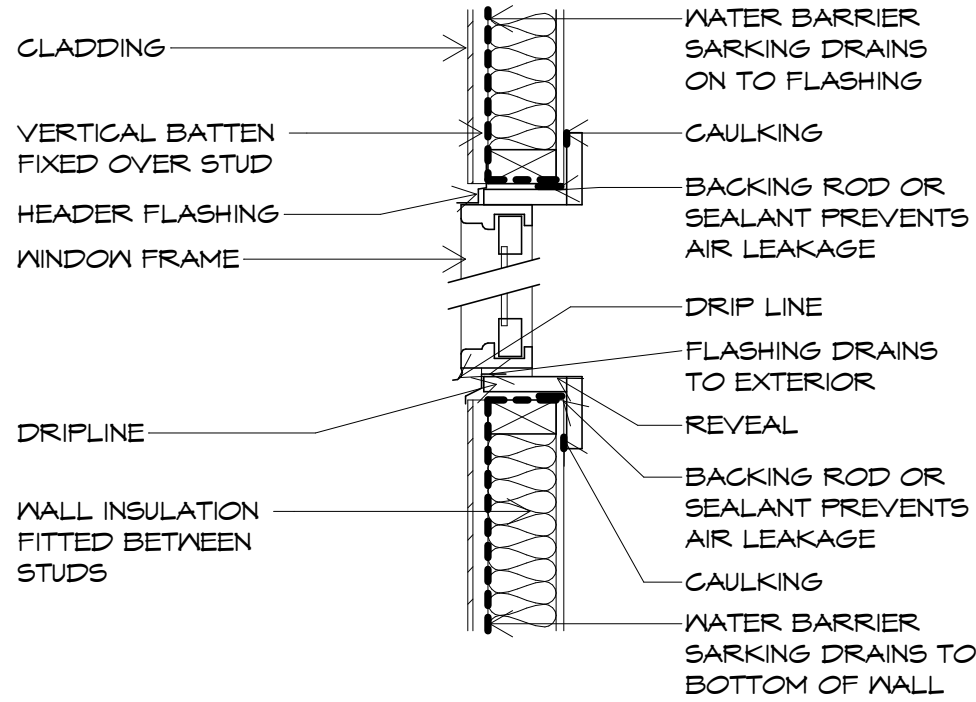
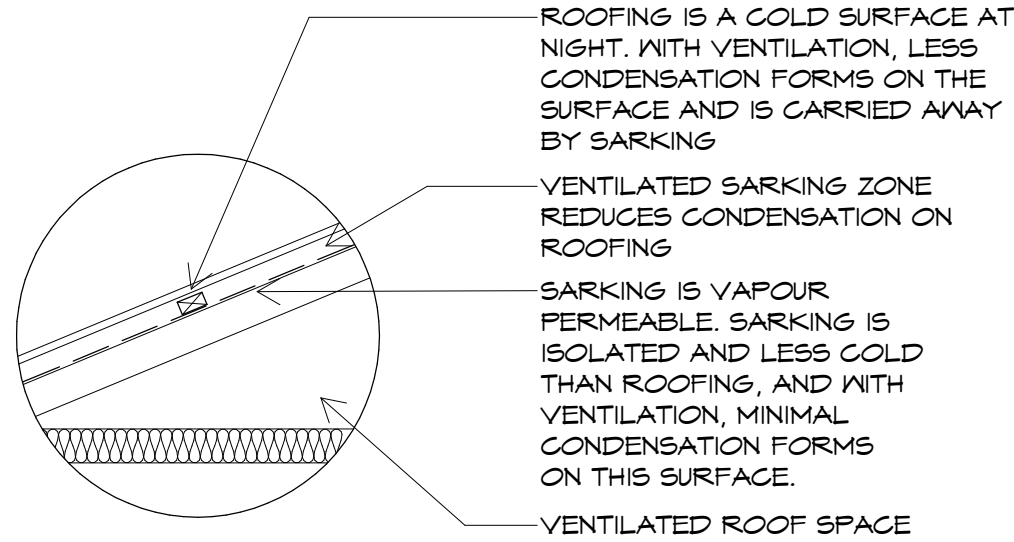
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FIGURE 11: SARKING UNDER BATTENS & VENTILATION

SARKING UNDER BATTENS AND VENTILATION

INSTALL SARKING UNDERNEATH BATTENS TO MINIMISE THERMAL BRIDGING. ENSURE VENTILATION IN BOTH SARKING ZONE AND ROOF SPACE. THESE STEPS COMBINED WILL MINIMISE CONDENSATION IN THE ROOF SPACE.



WINDOW FLASHING DETAIL - LIGHTWEIGHT CLADDING

FIGURE 37: SUSPENDED TIMBER FLOOR WITH HORIZONTAL BATTENS

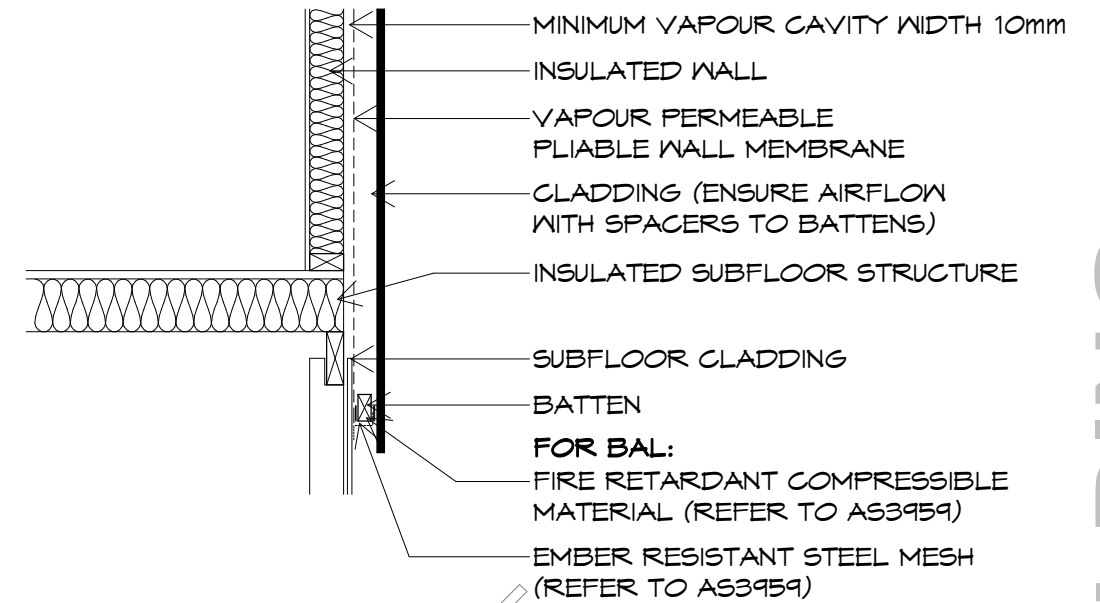
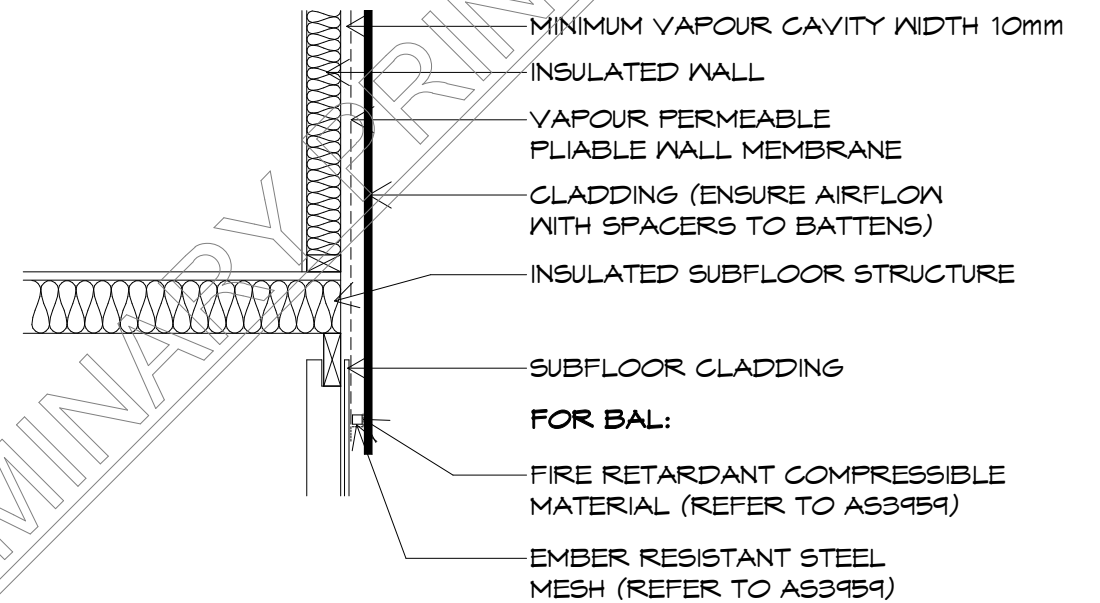


FIGURE 38: SUSPENDED TIMBER FLOOR WITH VERTICAL BATTENS



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FIGURE 19: TYPICAL EAVED ROOF

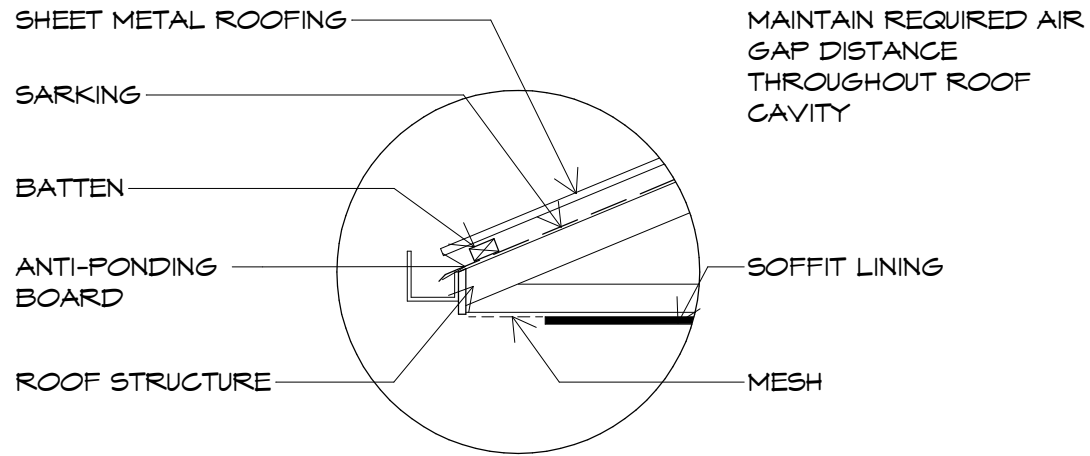


FIGURE 20: EAVED ROOF WITH BUSHFIRE CONSIDERATIONS SHOWN

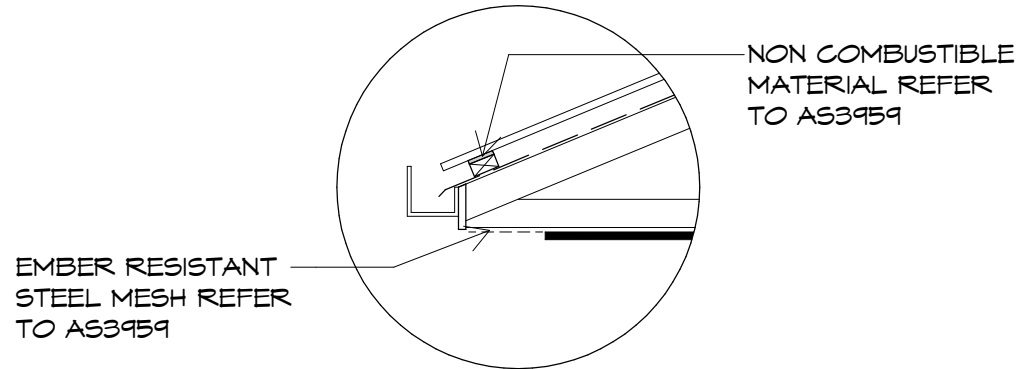


FIGURE 23: EAVED ROOF WITH EAVE VENT

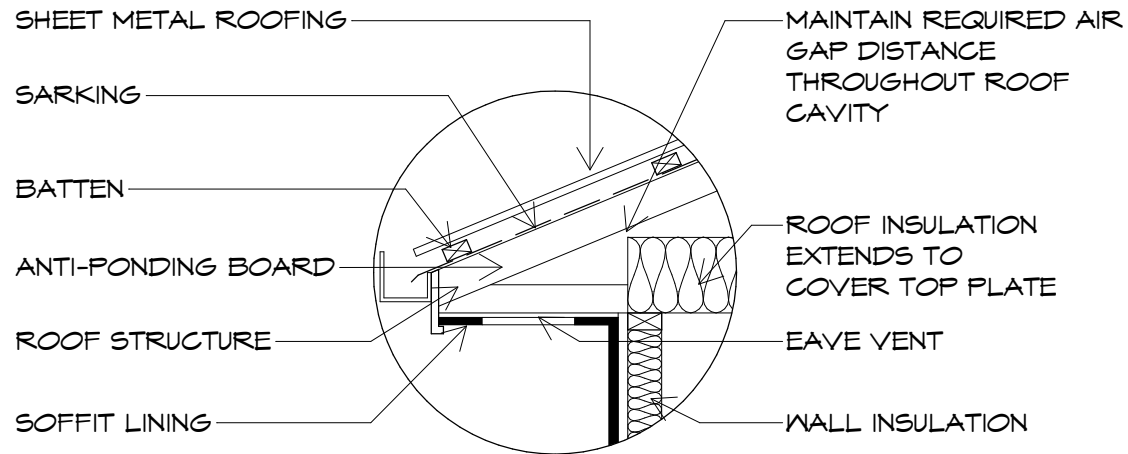


FIGURE 24: EAVED ROOF WITH EAVE VENT WITH BUSHFIRE CONSIDERATIONS SHOWN

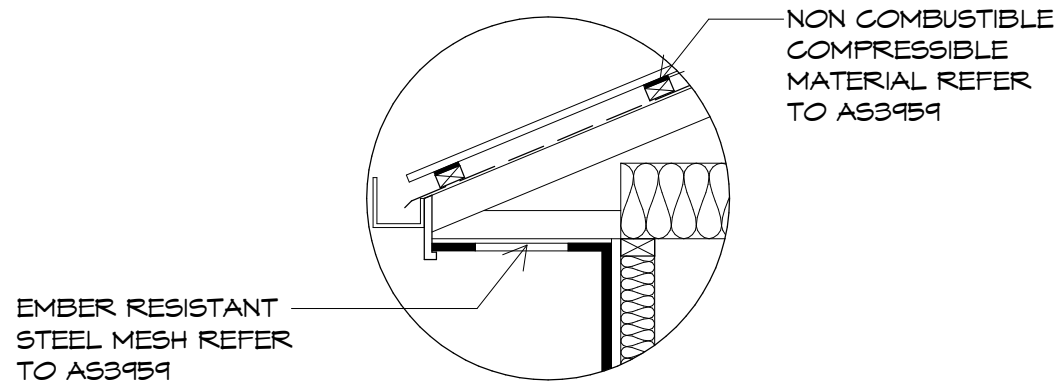


FIGURE 27: RIDGE CAP CONTINUOUS GAP

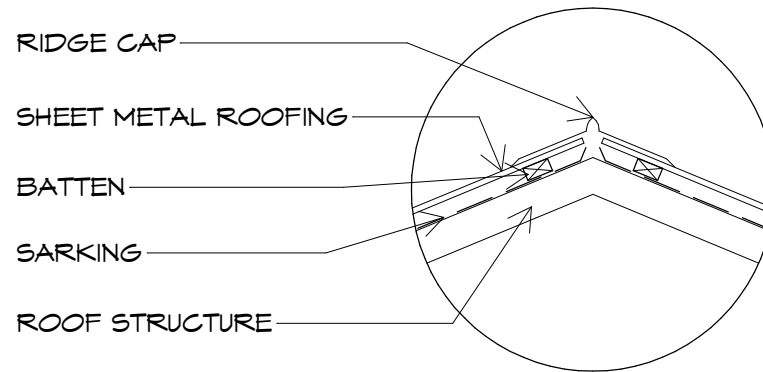
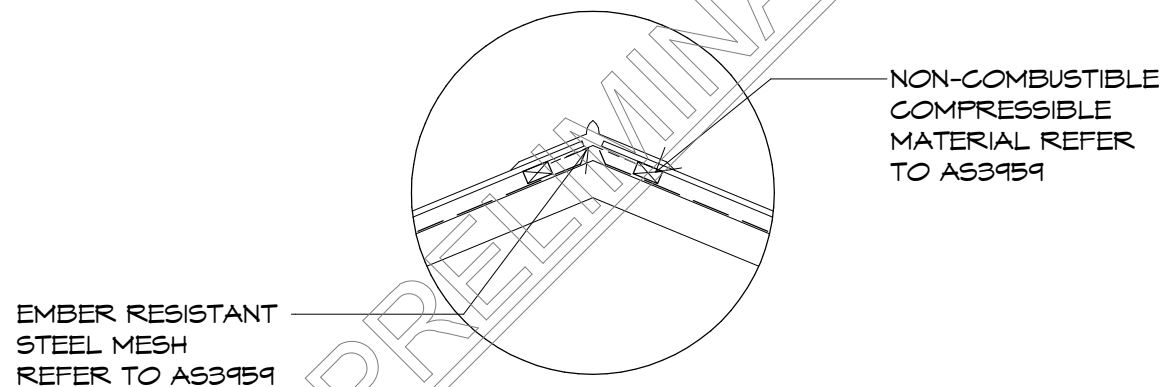


FIGURE 28: RIDGE CAP CONTINUOUS GAP WITH SOME BUSHFIRE CONSIDERATIONS SHOWN



CONDENSATION IN BUILDINGS

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WET AREAS TO COMPLY WITH NCC VOL2 PART H4D2 & ABCB HOUSING PROVISIONS PART 10.2

ALL WET AREA CONSTRUCTION TO COMPLY WITH NCC 2022 VOL 2, H4D2 & ABCB HOUSING PROVISIONS PART 10.2

WET AREA WATERPROOFING / SHOWERS UNENCLOSED&ENCLOSED

- FLOOR: WATERPROOF ENTIRE FLOOR IF NO PREFORMED SHOWER BASE PROVIDED
- WALLS: WATERPROOF TO NOT LESS THAN 1800mmH FROM FLOOR SUBSTRATE. IF CEILING MOUNTED ROSE, WATERPROOF TO CEILING.
- PENETRATIONS: WATERPROOF ALL PENETRATIONS
- WALL/FLOOR JUNCTIONS AND JOINTS: WATERPROOF ALL INTERNAL AND EXTERNAL CORNERS AND HORIZONTAL JOINTS WITHIN A HEIGHT OF 1800mm ABOVE THE FLOOR LEVEL WITH NOT LESS THAN 40mm WIDTH EITHER SIDE OF THE JUNCTION

AREAS OUTSIDE THE SHOWER ON CONCRETE SLAB OR FC FLOORING

- FLOORS: ENTIRE FLOOR TO BE WATER RESISTANT
- WALLS/JUNCTIONS: WATERPROOF ALL WALL/FLOOR JUNCTIONS AND WHERE A FLASHING IS USED, THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm

AREAS OUTSIDE THE SHOWER ON PARTICLEBOARD/PLYWOOD FLOORING

- FLOORS: ENTIRE FLOOR TO BE WATERPROOF
- WALLS/JUNCTIONS: WATERPROOF ALL WALL/FLOOR JUNCTIONS AND WHERE A FLASHING IS USED, THE HORIZONTAL LEG MUST BE NOT LESS THAN 40mm

AREAS ADJACENT TO BATHS AND SPAS WITHOUT SHOWERS

- FLOORS: WATER RESISTANT TO CONCRETE OR FIBRE CEMENT SHEET FLOORING; OR WATERPROOF TO ENTIRE FLOOR ON TIMBER FLOOR
- WALLS: WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL FOR THE EXTENT OF THE VESSEL WHERE THE VESSEL IS WITHIN 75mm OF A WALL.
- HORIZONTAL SURFACES
- WALLS/JUNCTIONS & JOINTS: MUST BE WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL FOR THE EXTENT OF THE VESSEL TO A WIDTH OF 40mm EITHER SIDE OF THE JUNCTION. MIN.
- WALL/FLOOR JUNCTION: WATERPROOF FOR THE EXTENT OF THE VESSEL. (REFER FIGURE 10.2.4.(A) & 10.2.4.(B)) TO A HEIGHT OF NOT LESS THAN 25mm ABOVE FINISHED FLOOR LEVEL
- FOR INSERT BATHS & SPAS; FLOORS AND HORIZONTAL SURFACES, ANY SHELF AREA ADJOINING THE BATH OR SPA MUST BE WATERPROOF AND INCLUDE A WATERSTOP UNDER THE VESSEL LIP
- PENETRATIONS: WATERPROOF PENETRATIONS IN HORIZONTAL SURFACES,

OTHER AREAS - WC'S (WITH BIDET SPRAYS)

- FLOORS: THE FLOOR OF THE ROOM MUST BE WATERPROOF, THE WALLS MUST BE WATERPROOF WITHIN 900mmR OF THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE TO A HEIGHT OF NOT LESS THAN 150MM ABOVE THE FLOOR.
- WALLS: WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150MM ABOVE THE VESSEL FOR THE EXTENT OF THE VESSEL. WHERE THE VESSEL IS WITHIN 75MM OF A WALL.
- WALL JUNCTIONS: WITHIN THE WC AREA WITHIN 900 MM RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE MUST BE WATERPROOF.
- WALL/FLOOR JUNCTIONS: MUST BE WATERPROOF WITHIN 1000MM FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE .
- PENETRATIONS: WATERPROOF PENETRATIONS

OTHER AREAS - LAUNDRIES/WC'S (WITHOUT BIDET SPRAYS)

- FLOORS: MUST BE WATER RESISTANT
- WALL/FLOOR JUNCTIONS: MUST BE WATER RESISTANT. WHERE A FLASHING IS USED, THE HORIZONTAL LEG MUST NOT BE LESS THAN 40mm.
- WALLS: MUST BE WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150 MM ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75 MM OF A WALL.
- WALL JUNCTIONS WHERE A VESSEL IS FIXED TO A WALL.: THE JUNCTION MUST BE WATERPROOF
- PENETRATIONS: MUST BE WATERPROOF IN SURFACES REQUIRED TO BE WATERPROOF OR WATER RESISTANT TO COMPLY ABCB HOUSING PROVISIONS PART 10.2.5.

MEMBRANE INSTALLATION FOR SCREED

- WHERE A SCREED IS USED, THE WATERPROOF MEMBRANE MAY BE INSTALLED EITHER ABOVE OR BELOW THE SCREED OR TILE BED

WATERPROOFING SYSTEMS

- WATERPROOFING SYSTEMS MUST BE IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 10.2.6.

FALL TO WET AREA FLOORS

- WHERE A FLOOR WASTE IS INSTALLED, THE CONTINUOUS FALL OF THE FLOOR PLANE TO THE WASTE MUST BE NO LESS THAN 1:80 AND NO MORE THAN 1:50.

STEP DOWN SHOWERS

- WHERE STEP DOWN SHOWERS ARE USED, THE HIGHEST FINISHED FLOOR LEVEL OF THE SHOWER AREA MUST BE STEPPED DOWN A MINIMUM OF 25mm LOWER THAN THE FINISHED FLOOR LEVEL OUTSIDE THE SHOWER. REFER ABCB HOUSING PROVISIONS PART 10.2.15 & RELEVANT FIGURES.

HOB CONSTRUCTION

- ALL SHOWER HOBBS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 10.2.16.
- TIMBER **MUST NOT** BE USED FOR HOB.

ENCLOSED LEVEL THRESHOLD SHOWERS

- ENCLOSED HOBLESS/LEVEL THRESHOLD SHOWERS MUST BE PROVIDED WITH A WATERSTOP IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 10.2.17.

UNENCLOSED SHOWERS

- UNENCLOSED SHOWERS ARE TO HAVE A WATERSTOP MIN.1500mm FROM THE SHOWER ROSE WITH THE VERTICAL LEG FINISHING FLUSH WITH THE TOP SURFACE OF THE FLOOR. WATERPROOF ALL WALL AND FLOOR JUNCTIONS WHERE THE WATERSTOP INTERSECTS OR IS JOINED. WATERPROOF ENTIRE WET AREA WHERE UNENCLOSED SHOWERS ARE INSTALLED AND ENSURE DRAINS TO FLOOR WASTE. REFER TO ABCB HOUSING PROVISIONS PART 10.2.18 FOR DETAILS.

PENETRATIONS

- ALL PENETRATIONS IN SHOWERS AND WET AREAS MUST BE WATERPROOFED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 10.2.23.
- THE SPINDLE HOUSING OF THE TAP BODY MUST BE ABLE TO BE REMOVED TO ENABLE REPLACEMENT OF THE WASHER WITHOUT DAMAGING THE SEAL.

FLASHINGS/JUNCTIONS

- ALL FLASHINGS AND JUNCTIONS MUST BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 10.2.2 / 10.2.5 AND PART 10.2.24.

SHOWERS ABOVE BATHS OR SPAS.

- USE REQUIREMENTS FOR SHOWER

PREFORMED SHOWER BASES, BATHS & SPAS (EXCEPT FREESTANDING)

- MUST HAVE AN UPTURN LIP
- BE RECESSED INTO THE WALL AND HAVE THE WATER RESISTANT SURFACE MATERIAL PASS DOWN INTO THE PERIMETER LIP C/W WATERPROOF SEALANT

BOND BREAKERS

- MUST BE COMPATIBLE WITH THE FLEXIBILITY CLASS OF THE WATERPROOFING MEMBRANE
- BE INSTALLED AT ALL WALL/WALL, WALL/FLOOR, HOB/WALL JUNCTIONS & MOVEMENT JOINTS WHERE THE MEMBRANE IS BONDED TO SUBSTRATE

SHOWER SCREENS

- MUST BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 10.2.32 AND COMPLY WITH ABCB HOUSING PROVISIONS PART 8.4.6.

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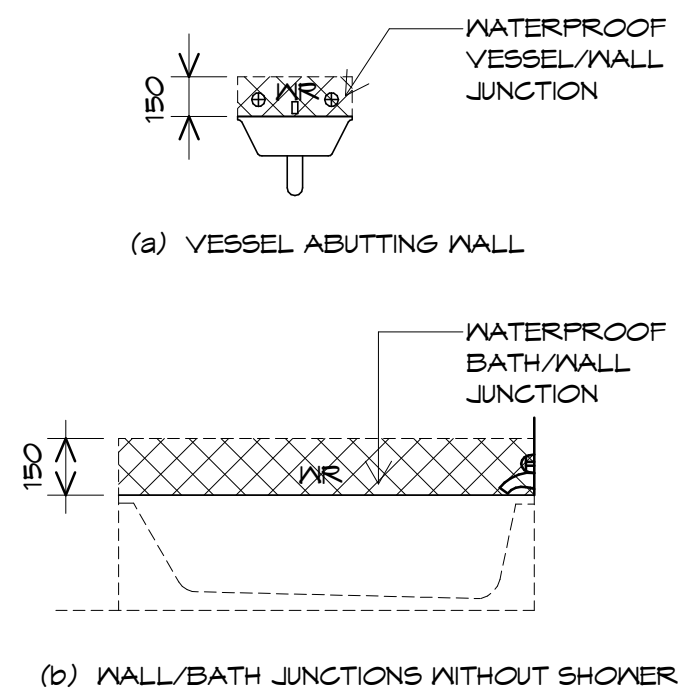
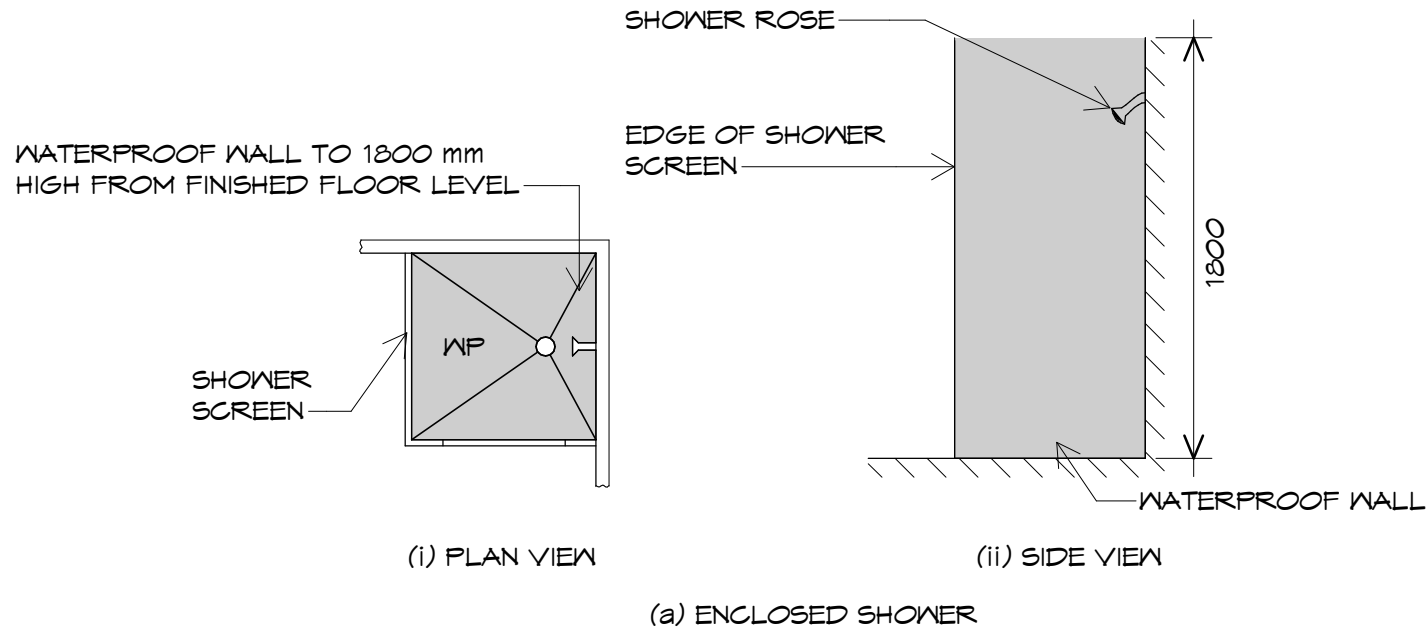


Drawing:
WATERPROOFING NOTES

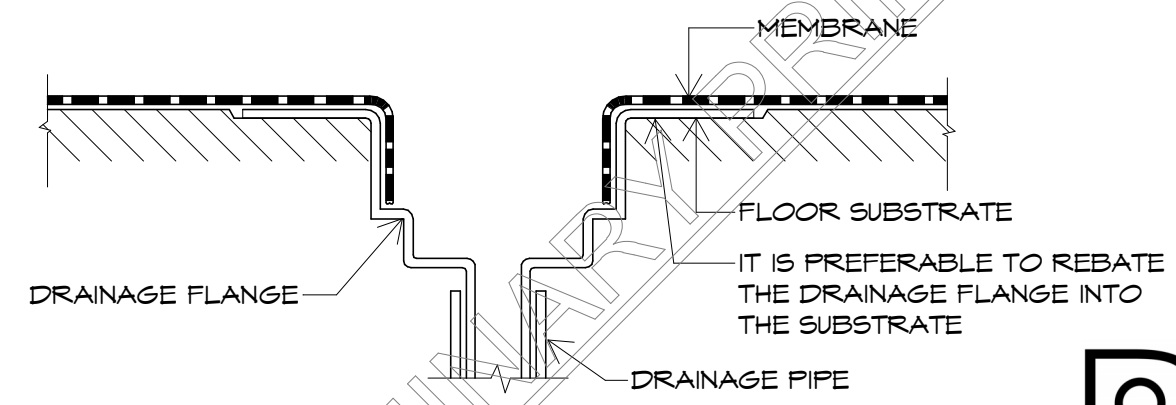
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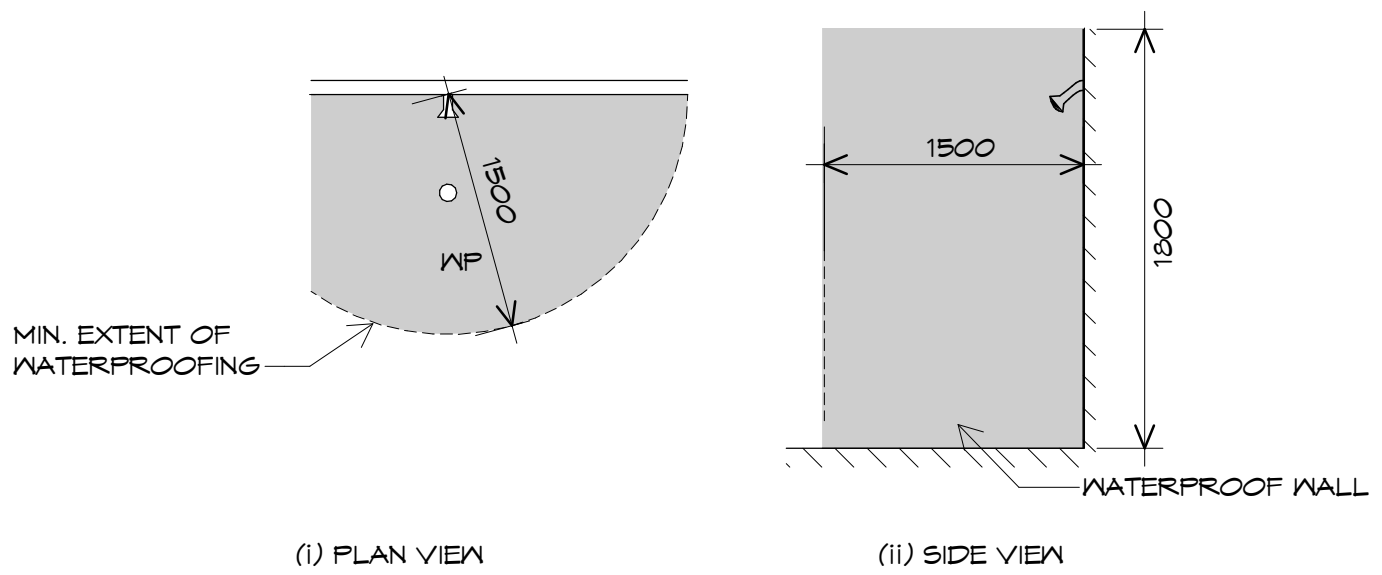
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ABCB HOUSING PROVISIONS PART 10.2: WATERPROOFING OF WET AREAS
FIG 10.2.5 BATH AND VESSEL ABUTTING WALL - AREAS TO BE PROTECTED



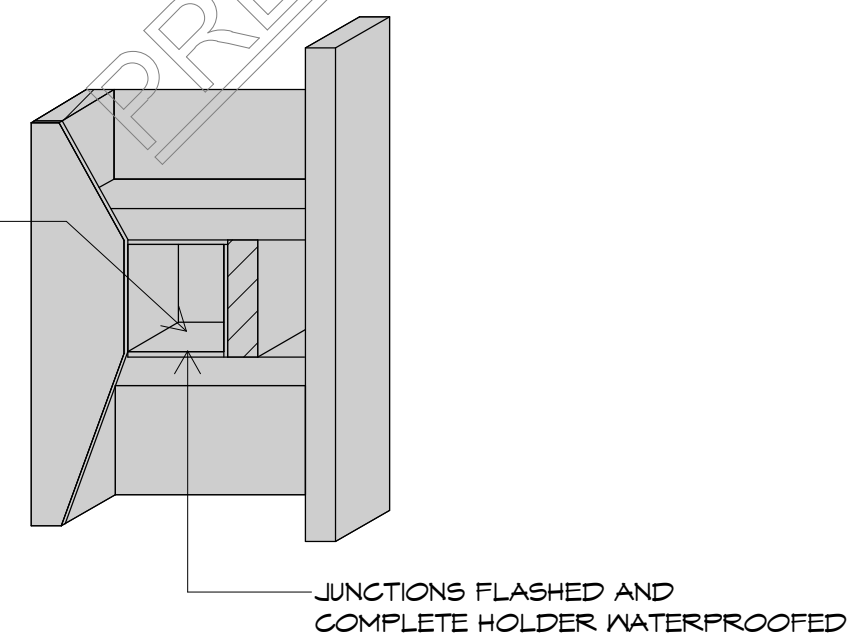
ABCB HOUSING PROVISIONS PART 10.2: WATERPROOFING OF WET AREAS
FIGURE 10.2.29 TYPICAL MEMBRANE TERMINATION AT DRAINAGE FLANGE



NOTE: ALL FLOOR WATERPROOFING TO TERMINATE AT A WATERSTOP.
(b) UNENCLOSED SHOWERS-CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORS
DIMENSIONS IN MILLIMETRES

ABCB HOUSING PROVISIONS PART 10.2: WATERPROOFING OF WET AREAS
FIGURE 10.2.2 EXTENT OF TREATMENT FOR SHOWER AREAS-CONCRETE AND COMPRESSED FIBRE CEMENT SHEET FLOORS

FALL IN BASE OF SOAP HOLDER TO DRAIN IN SHOWER RECESS



ABCB HOUSING PROVISIONS PART 10.2: WATERPROOFING OF DOMESTIC WET AREAS
CLAUSE 10.2.23 TYPICAL DETAIL FOR RECESSED SOAP HOLDERS



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Drawing:
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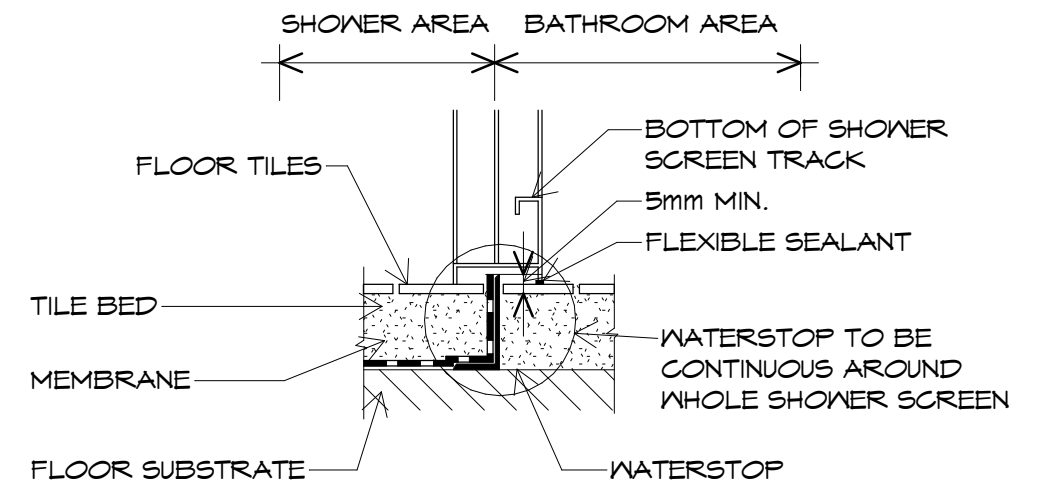
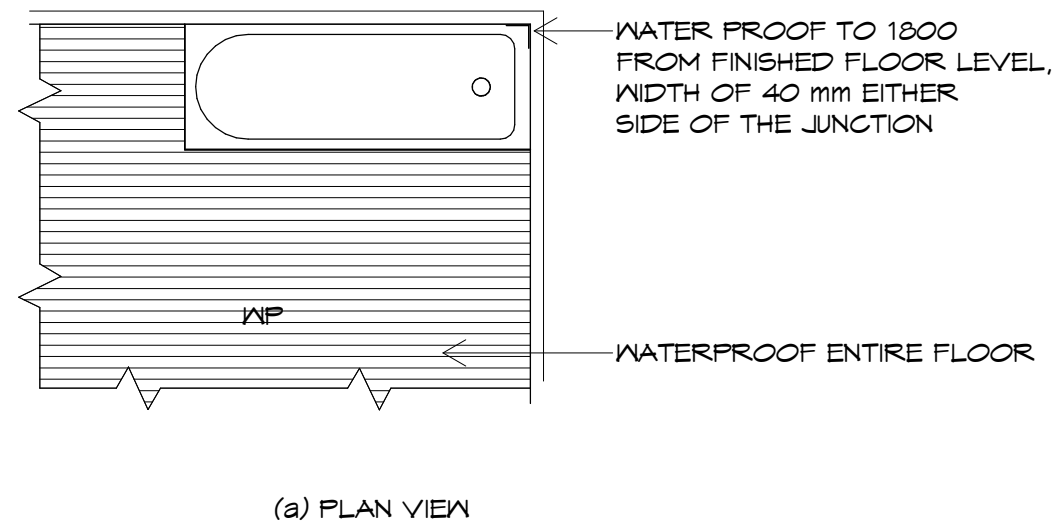
Drafted by: **D.D.H.** Approved by: **Approver**
Date: **14.01.2025** Scale: **1 : 20**

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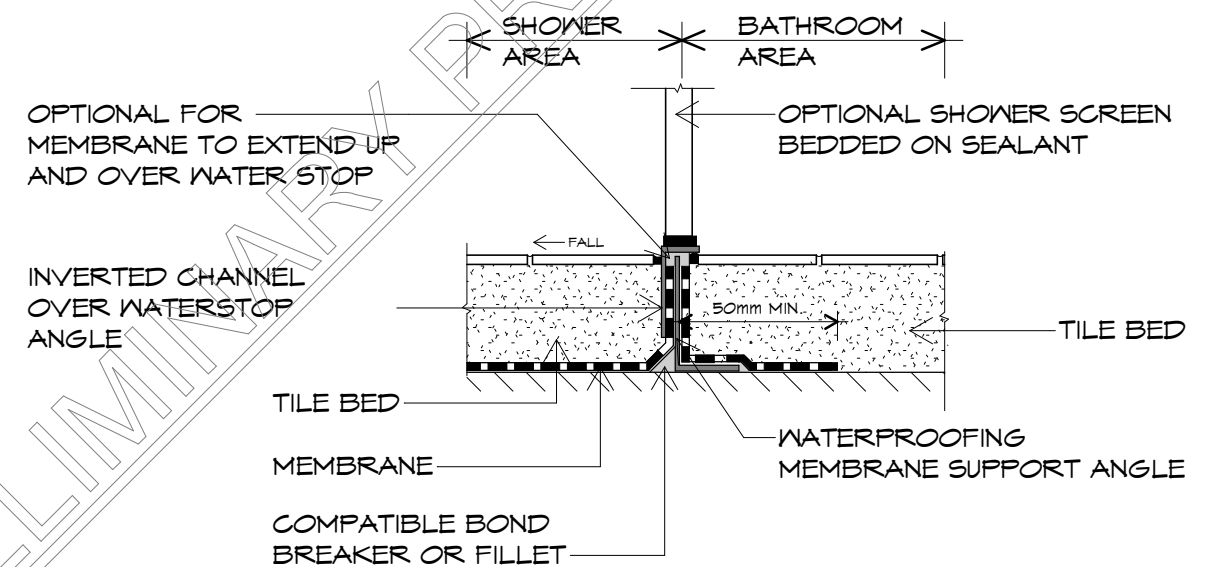
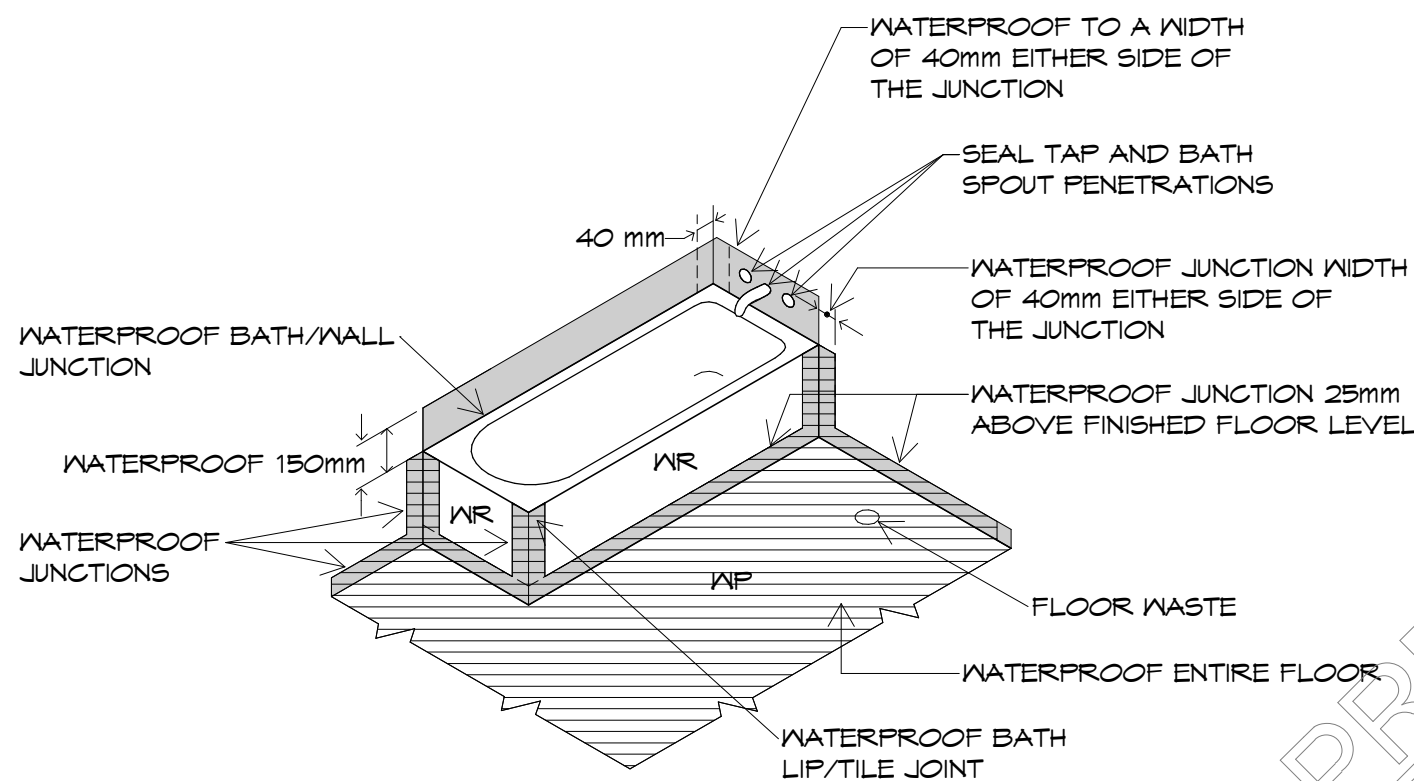


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ABCB HOUSING PROVISIONS PART 10.2: WATERPROOFING OF WET AREAS
FIGURE 10.2.17 TYPICAL HOBLESS CONSTRUCTION



ABCB HOUSING PROVISIONS PART 10.2: WATERPROOFING OF WET AREAS
FIGURE 10.2.32 SHOWER SCREEN

(b) ISOMETRIC VIEW
DIMENSIONS IN MILLIMETRES

ABCB - 2022: WET AREA WATERPROOFING
FIG 10.2.4a AREAS ADJACENT TO BATHS AND
SPAS WITHOUT SHOWERS FOR TIMBER FLOORS
INCLUDING PARTICLEBOARD, PLYWOOD AND
OTHER FLOOR MATERIALS

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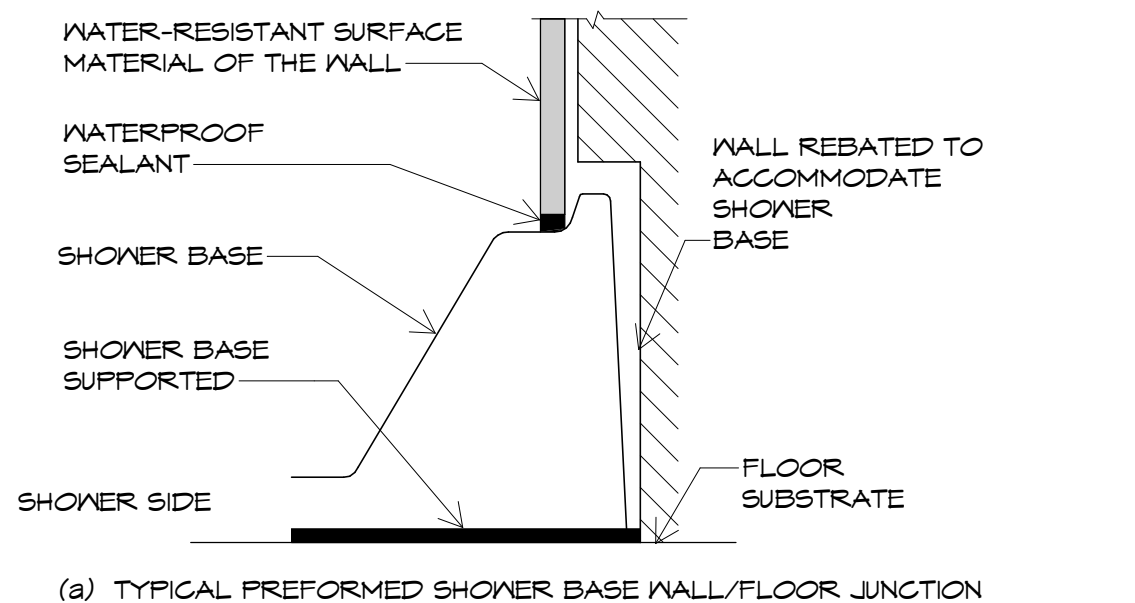
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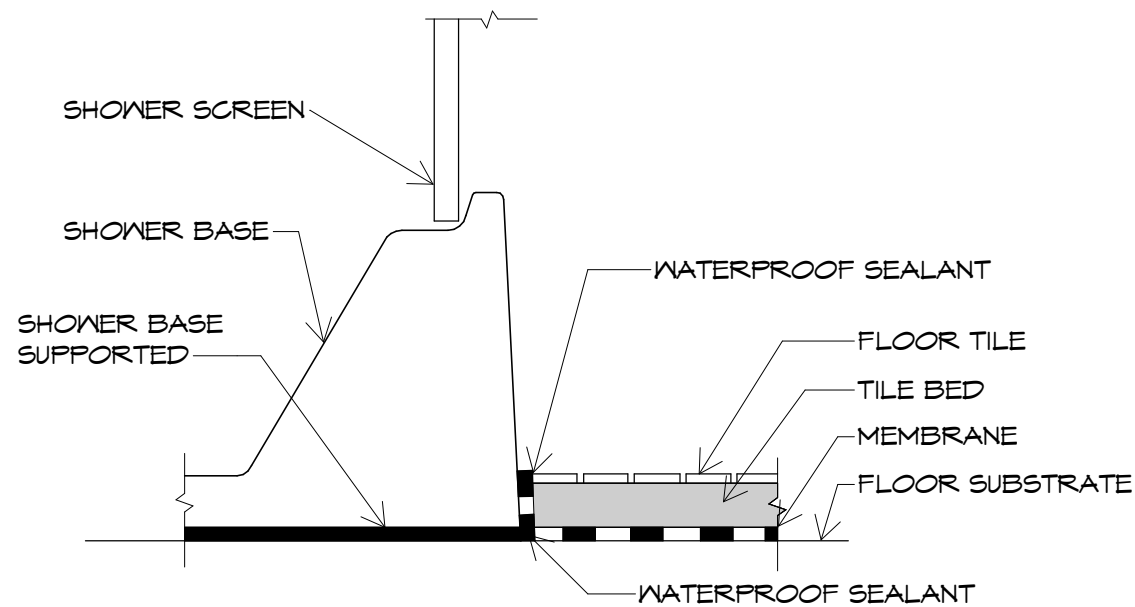
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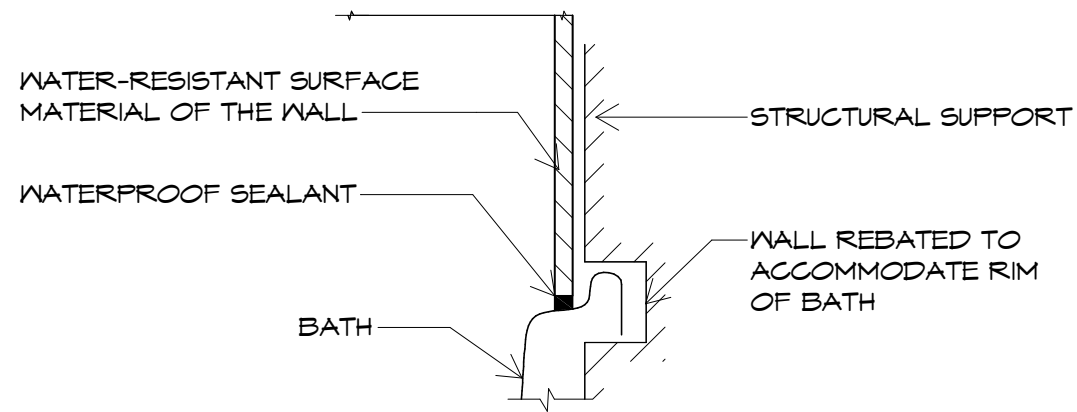


(a) TYPICAL PREFORMED SHOWER BASE WALL/FLOOR JUNCTION

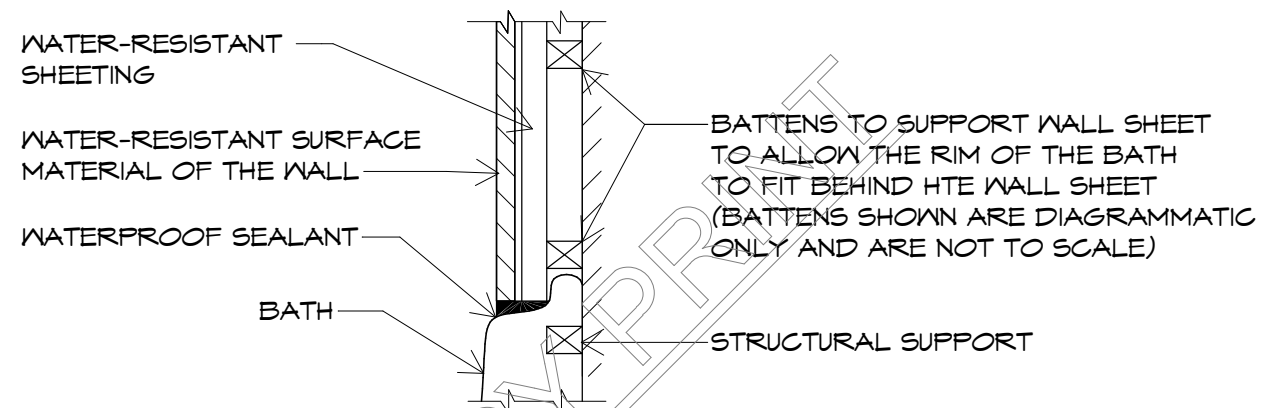


(b) TYPICAL PREFORMED SHOWER BASE/FLOOR JUNCTION

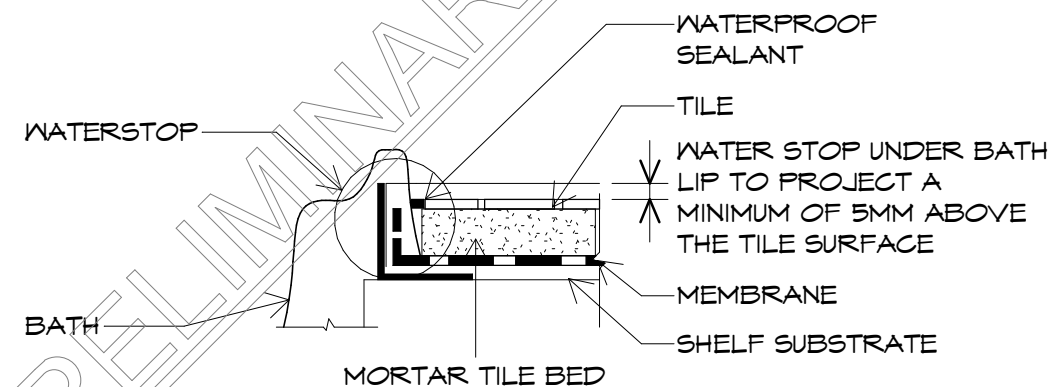
ABCB HOUSING PROVISIONS PART 10.2: WATERPROOFING OF WET AREAS
FIGURE 10.2.19 TYPICAL PREFORMED SHOWER BASE JUNCTIONS



(a) BATH/SHELF JUNCTION-RECESSED



(b) BATH/SHELF JUNCTION-BATTENED



(c) BATH/SHELF JUNCTION

ABCB HOUSING PROVISIONS PART 10.2: WATERPROOFING OF WET AREAS
FIGURE 10.2.20 TYPICAL BATH JUNCTION



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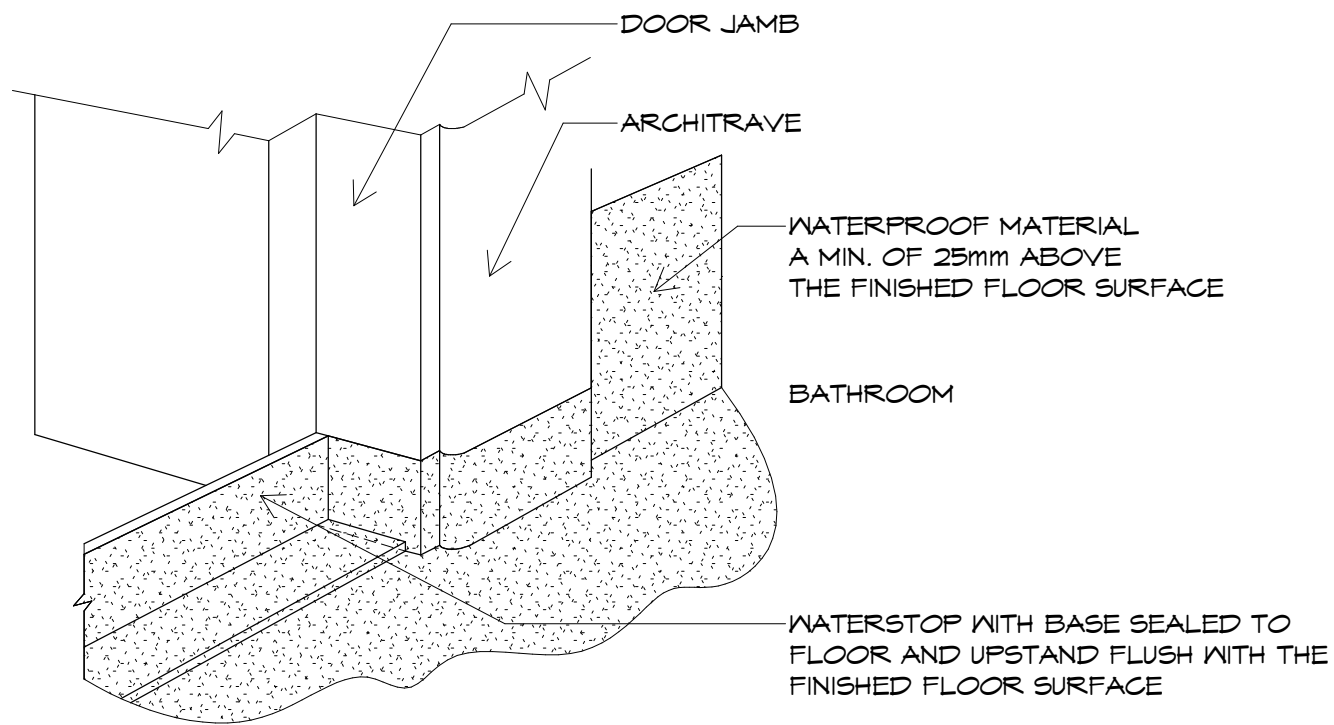


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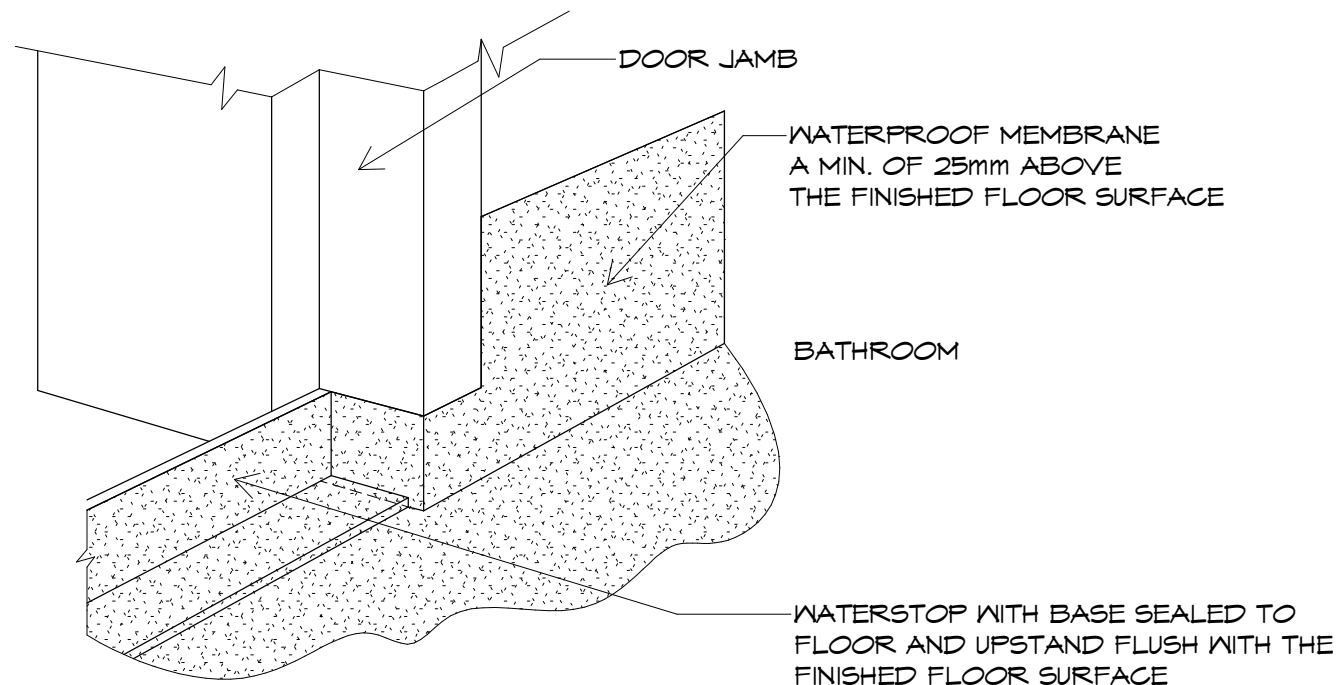
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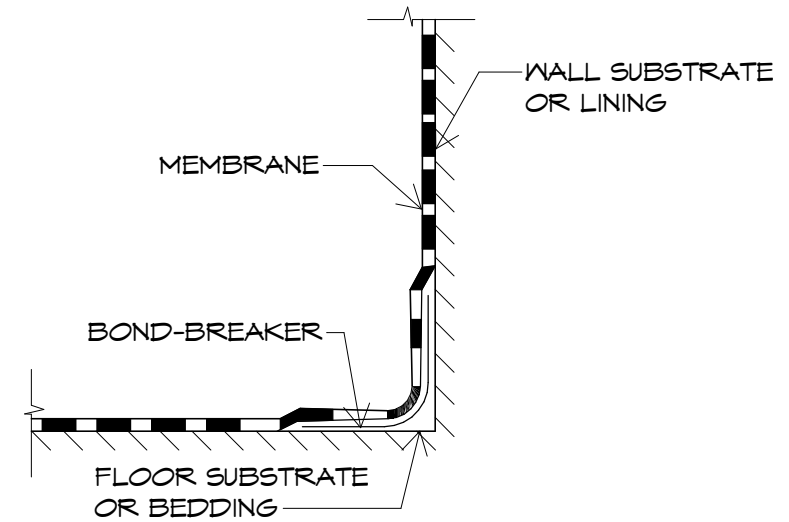


(A) AFTER INSTALLATION OF ARCHITRAVE

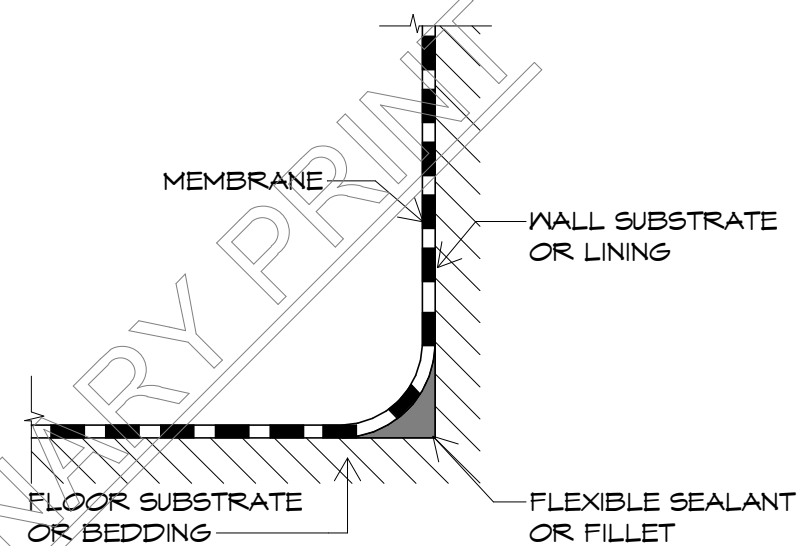


(B) PRIOR TO INSTALLATION OF ARCHITRAVE

ABCB HOUSING PROVISIONS PART 10.2: WATERPROOFING OF WET AREAS
24 TYPICAL BATHROOM DOOR DETAIL FOR WHOLE
BATHROOM WATERPROOFING



(a) CLASS I OR II MEMBRANE



(b) CLASS III MEMBRANE

ABCB HOUSING PROVISIONS PART 10.2 : WATERPROOFING OF WET AREAS
FIGURE 10.2.27 (EXPLANATORY) TYPICAL BOND BREAKER DETAILS

FIGURE NOTES:

1. BOND BREAKERS FOR CLASS I MEMBRANES (LOW EXTENSIBILITY) ALLOW THE MEMBRANE TO FLEX RATHER THAN STRETCH.
2. BOND BREAKERS FOR CLASS II MEMBRANES (MEDIUM EXTENSIBILITY) ALLOW THE MEMBRANE TO STRETCH. IF A TAPE IS USED AS A BOND BREAKER, EITHER THE MEMBRANE MUST NOT BOND TO THE TAPE OR THE TAPE MUST HAVE ELASTIC PROPERTIES SIMILAR TO THE MEMBRANE.
3. BOND BREAKERS FOR CLASS III MEMBRANES (HIGH EXTENSIBILITY) ALLOW THE MEMBRANE TO HAVE AN EVEN THICKNESS

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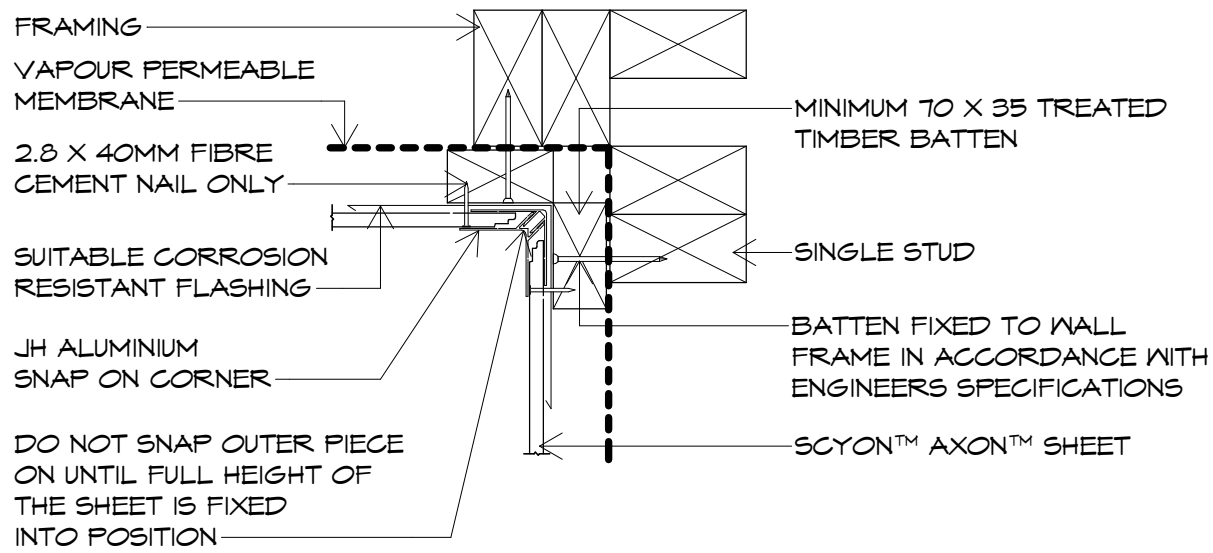


FIGURE 1 - VERTICAL JOINT - INTERNAL CORNER ON BATTENS
NTS

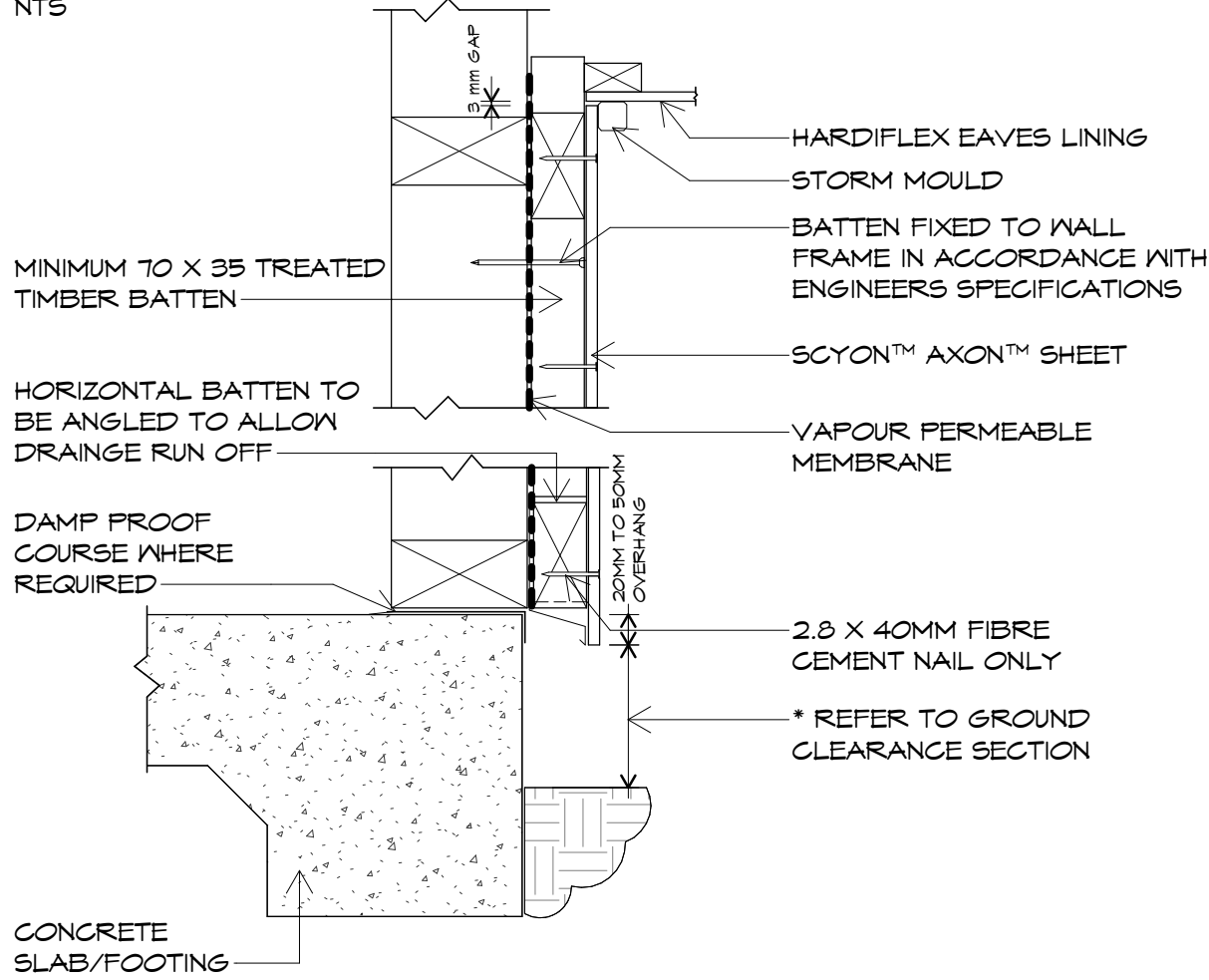


FIGURE 2 - SLAB AND EAVE JUNCTION DETAIL ON BATTENS
NTS

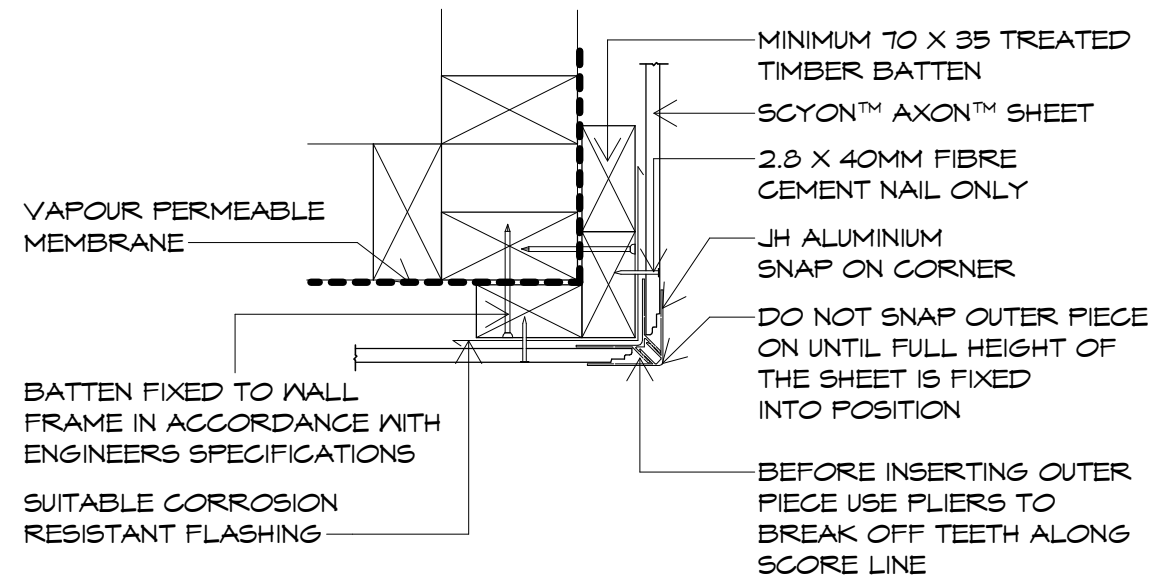


FIGURE 3 - VERTICAL JOINT - EXTERNAL CORNER ON BATTENS
NTS

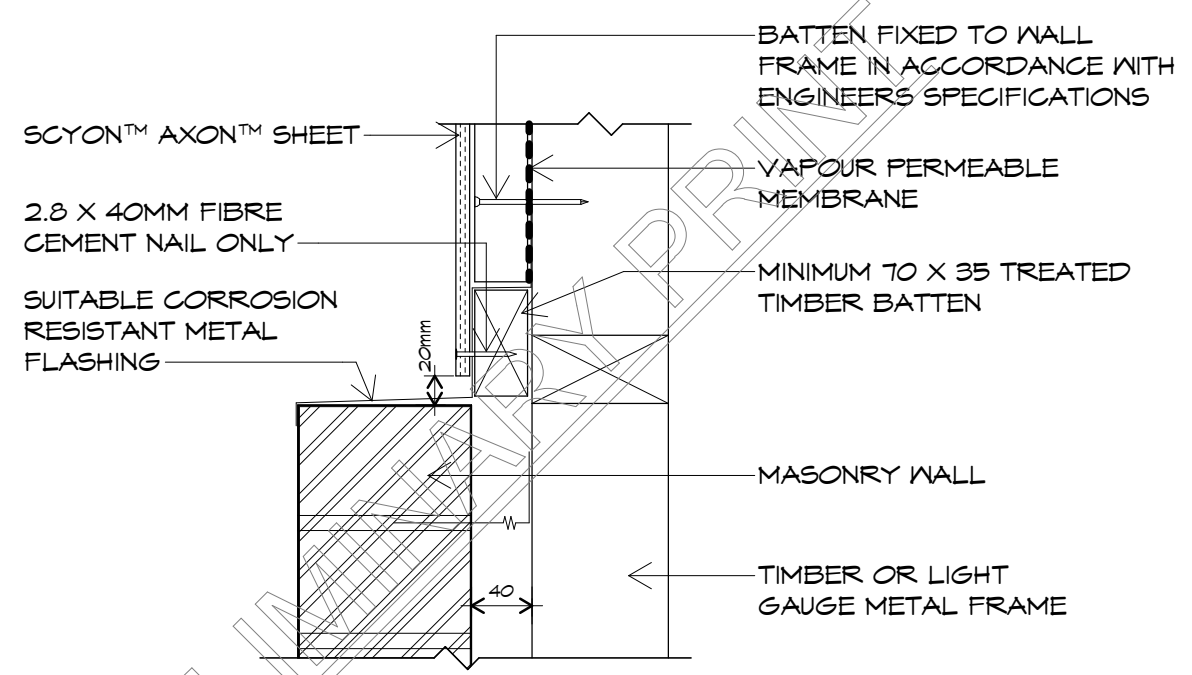


FIGURE 4 - HORIZONTAL JOINT ON BATTENS
NTS

SCYON AXON CAVITY CONSTRUCTION DETAILS PAGE 1 OF 2

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CLADDING DETAILS

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PRESSED METAL CAPPING BY OTHERS WITH SEALED JOINTS CORRESPONDING WITH JOINT IN THE FACADE

METAL HOLD DOWN CLIPS SCREW THROUGH CLEARANCE HOLE IN AXON™ BASE SHEET

2.8 X 40MM FIBRE CEMENT NAIL ONLY

SCYON™ AXON™ SHEET

BATTEN FIXED TO WALL FRAME IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS

MINIMUM 70 X 35 TREATED TIMBER BATTEN

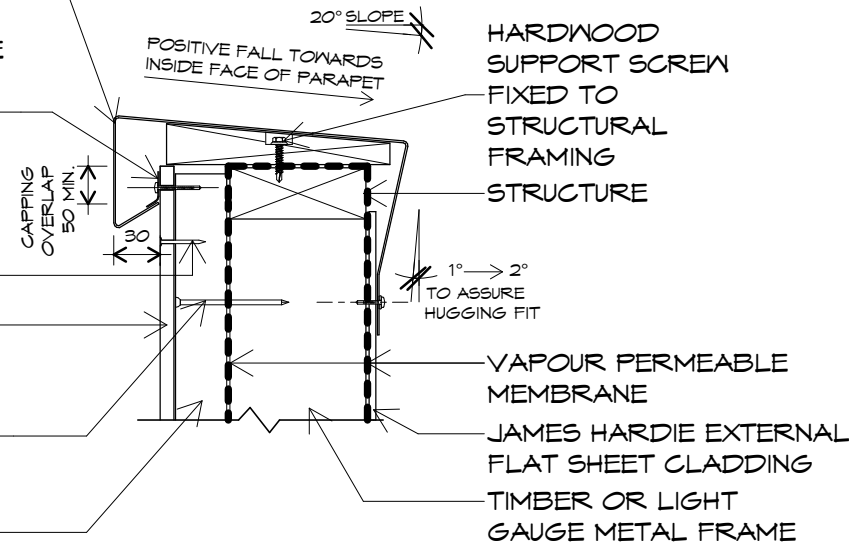


FIGURE 5 - EXTERNAL VERTICAL CLADDING - PARAPET CAPPING ON BATTENS NTS

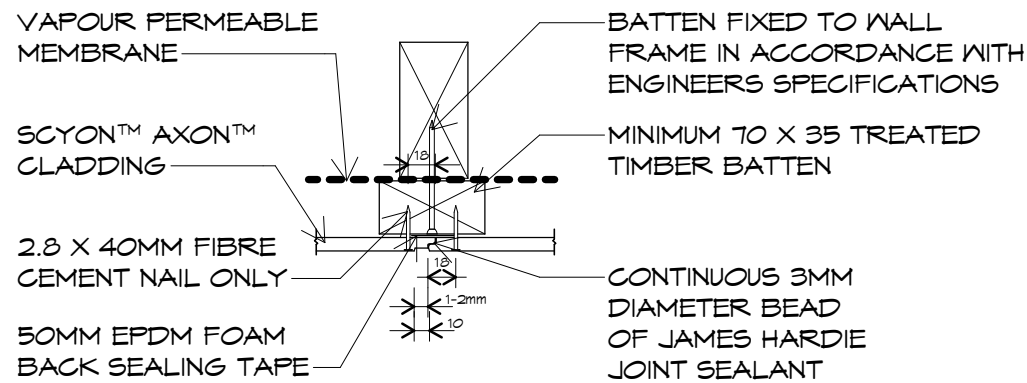


FIGURE 6 - VERTICAL JOINT ON BATTENS NTS

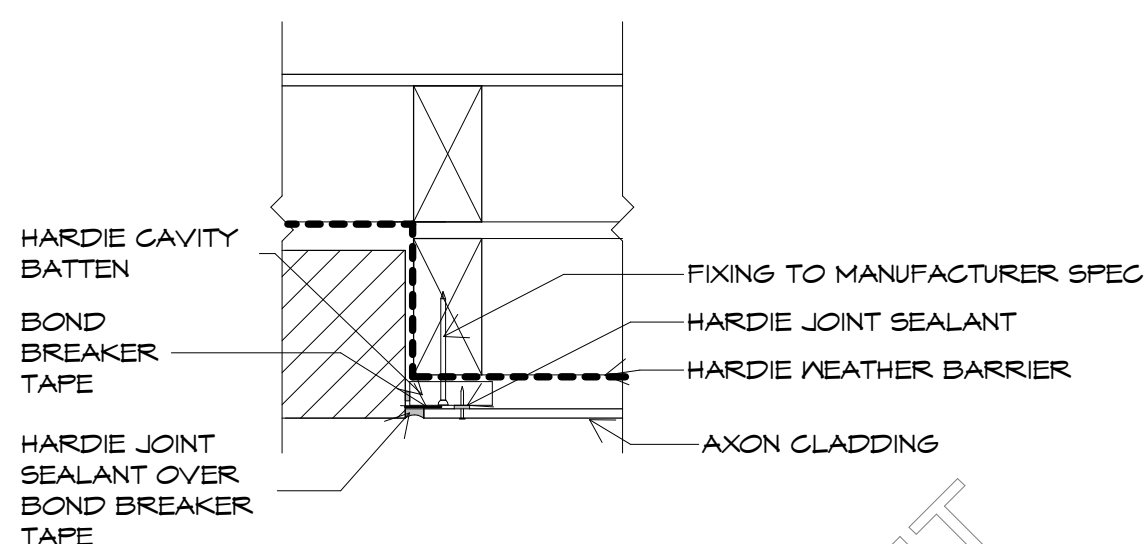


FIGURE 19 - ABUTMENT DETAIL NTS

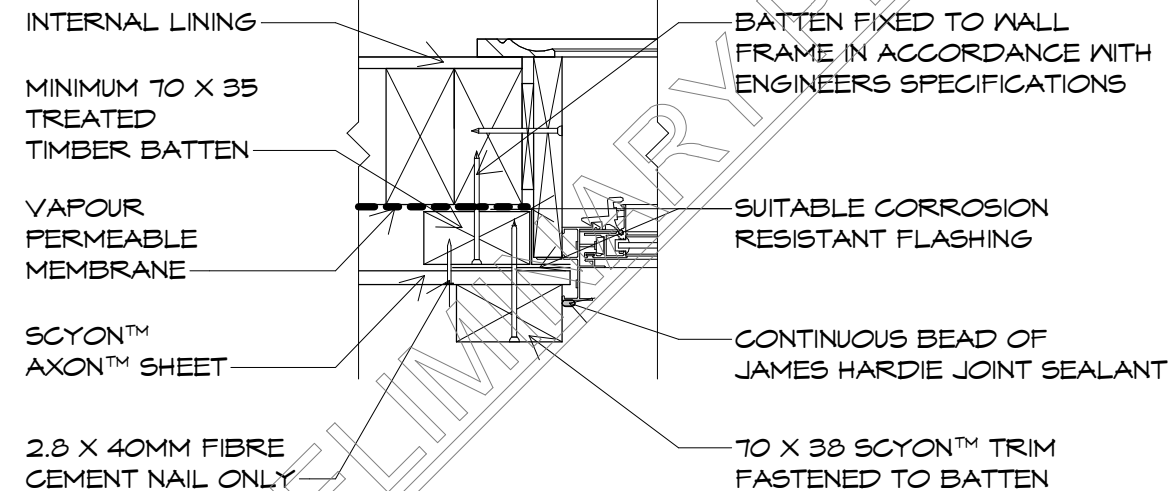
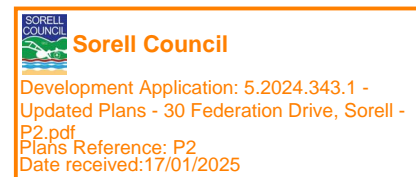


FIGURE 8 - WINDOW JAMB TRIM ON BATTENS NTS

SCYON AXON CAVITY CONSTRUCTION DETAILS PAGE 2 OF 2

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SECTION 4 BUSHFIRE ATTACK LEVEL LOW (BAL- LOW)

This standard does not provide construction requirements for buildings assessed in bushfire-prone areas in accordance with Section 2 as being BAL-LOW.

The Bushfire Attack Level BAL-LOW is based on insufficient risk to warrant specific bushfire construction requirements. It is predicated on low threat vegetation and non-vegetated areas (see Clause 2.2.3.2).

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