



# NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

**SITE: 31 Third Avenue, Midway Point**

**PROPOSED DEVELOPMENT:**

**DWELLING (DEMOLITION OF EXISTING)**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at [www.sorell.tas.gov.au](http://www.sorell.tas.gov.au) until **Tuesday 28<sup>th</sup> January 2025**.

Any person may make representation in relation to the proposal by letter or electronic mail ([sorell.council@sorell.tas.gov.au](mailto:sorell.council@sorell.tas.gov.au)) addressed to the General Manager. Representations must be received no later than **Tuesday 28<sup>th</sup> January 2025**.

**APPLICANT: Another Perspective**

**APPLICATION NO: DA 2024 / 00310 - 1**

**DATE: 09 January 2025**

**Part B: Please note that Part B of this form is publicly exhibited.**

Full description of Proposal:	Use:
	Development:
	<i>Large or complex proposals should be described in a letter or planning report.</i>

Design and construction cost of proposal:	\$ .....
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Is all, or some the work already constructed:	No: <input type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address: .....
	Suburb: ..... Postcode: .....
	Certificate of Title(s) Volume: ..... Folio: .....

Current Use of Site	.....
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Current Owner/s:	Name(s).....
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Is the Property on the Tasmanian Heritage Register?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>

**If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form**  
<https://www.sorell.tas.gov.au/services/engineering/>



**Sorell Council**  
 Development Application: 5.2024.310.1 -  
 Development Application - 31 Third Avenue,  
 Midway Point - P1.pdf  
 Plans Reference:P1  
 Date Received: 22/11/2024

**Part B continued: Please note that Part B of this form is publicly exhibited**

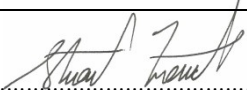
**Declarations and acknowledgements**

- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.
- I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council’s representatives to enter the land at any time during normal business hours.
- I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.
- I/we declare that, in accordance with s52(1) of the *Land Use Planning and Approvals Act 1993*, that I have notified the owner(s) of the intention to make this application.
- I/we declare that the information in this application is true and correct.

*Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council’s Privacy Policy available on the Council website.*

- I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

- Where the General Manager’s consent is also required under s.14 of the *Urban Drainage Act 2013*, by making this application I/we also apply for that consent.

<b>Applicant Signature:</b>	Signature:  Date: .....
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**Crown or General Manager Land Owner Consent**

If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the *Land Use Planning and Approvals Act 1993*).

Please note:

- If General Manager consent is required, please first complete the General Manager consent application form available on our website [www.sorell.tas.gov.au](http://www.sorell.tas.gov.au)
- If the application involves Crown land you will also need a letter of consent.
- Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.

I \_\_\_\_\_ being responsible for the administration of land at \_\_\_\_\_

declare that I have given permission for the making of this application for \_\_\_\_\_



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<b>Signature of General Manager, Minister or Delegate:</b>	Signature: ..... Date: .....
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# **DISPERSIVE SOIL ASSESSMENT**

**31 Third Avenue**

**Midway Point**

**December 2024**



**Sorell Council**

Development Application:5.2024.310.1 -  
Response to Request for Information - 31  
Third Avenue, Midway Point - P3.pdf  
Plan Reference:P3

Date received:17/12/2024



GEO-ENVIRONMENTAL  

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S O L U T I O N S

Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

## **Investigation Details**

<b>Client:</b>	Jakobovski Homes
<b>Site Address:</b>	31 Third Avenue, Midway Point
<b>Date of Inspection:</b>	15/10/2024
<b>Proposed Works:</b>	New house
<b>Investigation Method:</b>	Geoprobe 540UD - Direct Push
<b>Inspected by:</b>	C. Cooper

## **Site Details**

<b>Certificate of Title (CT):</b>	80985/66
<b>Title Area:</b>	Approx. 637.7 m <sup>2</sup>
<b>Applicable Planning Overlays:</b>	Airport obstacle limitation area, Waterway and Coastal Protection Areas
<b>Slope &amp; Aspect:</b>	5° E facing slope
<b>Vegetation:</b>	Grass & Weeds

## **Background Information**

<b>Geology Map:</b>	MRT
<b>Geological Unit:</b>	Triassic Sandstone
<b>Climate:</b>	Annual rainfall 400mm
<b>Water Connection:</b>	Mains
<b>Sewer Connection:</b>	Serviced-Mains
<b>Testing and Classification:</b>	AS2870:2011, AS1726:2017 & AS4055:2021

## Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

### **Soil Profile Summary**

<b>BH 1 Depth (m)</b>	<b>BH 2 Depth (m)</b>	<b>USCS</b>	<b>Description</b>
0.00-0.50	0.00-0.70	SW	<b>Silty SAND:</b> trace of clay, dark grey, slightly moist, medium dense
0.50-2.10	0.70-1.60	SW	<b>Silty SAND:</b> trace of clay, grey, brown, slightly moist, medium dense
2.10-3.00	1.60-2.00	SW	<b>Silty SAND:</b> trace of clay, brown, slightly moist, medium dense, no refusal

## Site Notes

The sand on site is forming from Triassic Sandstone and appears to be well drained and are non-reactive sands.

## Dispersive Soil Assessment

The dispersive soil assessment of the property considers the proposed construction area.

### **Potential for dispersive soils**

Tertiary sediments are known to produce soils with an excess of sodium on the soil exchange complex, which can cause soil dispersion. Under some circumstances the presence of dispersive soils can also lead to significant erosion, and in particular tunnel and/or gully erosion. Based upon field survey of the property and the surrounding area, no tunnel and gully erosion were identified at the site. A soil sampling program was undertaken to identify the presence of dispersive soils in the proposed development areas, with particular focus on the house site.

**Soil sampling and testing**

Two samples were taken at the site for assessment of dispersion. An Emerson (1968) Dispersion test was conducted to determine if these samples were dispersive.

The sampling and testing results indicate that the soil on site is non-dispersive. Based upon the test results there is a very low risk of soil dispersion and erosion on the site, and as such no dispersive soil management recommendations have been made.

**Conclusions**

There is a very low risk associated with dispersive soils and potential erosion on the site. It is recommended, however, that all excavation works on site should be monitored for signs of soil dispersion and remedial action taken as required if necessary.

It is recommended that during construction that GES be notified of any major variation to the soil conditions as predicted in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD  
*Environmental and Engineering Soil Scientist*

**Appendix 1– Soil test results**

# Laboratory Test Results

**Sample Submitted By:** A Plummer  
**Date Submitted:** 17/10/24  
**Sample Identification:** 2 samples – 31 Third Avenue  
**Soil to be tested:** Emerson soil dispersion test  
**Result:**

Sample	Texture	Emerson class	Description
BH1 – 0.2m	Silty SANDI	Class 8	slaking
BH2 – 0.8m	Silty SAND	Class 8	slaking

**Sample Tested by:** A Plummer



## **Disclaimer**

This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organizations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

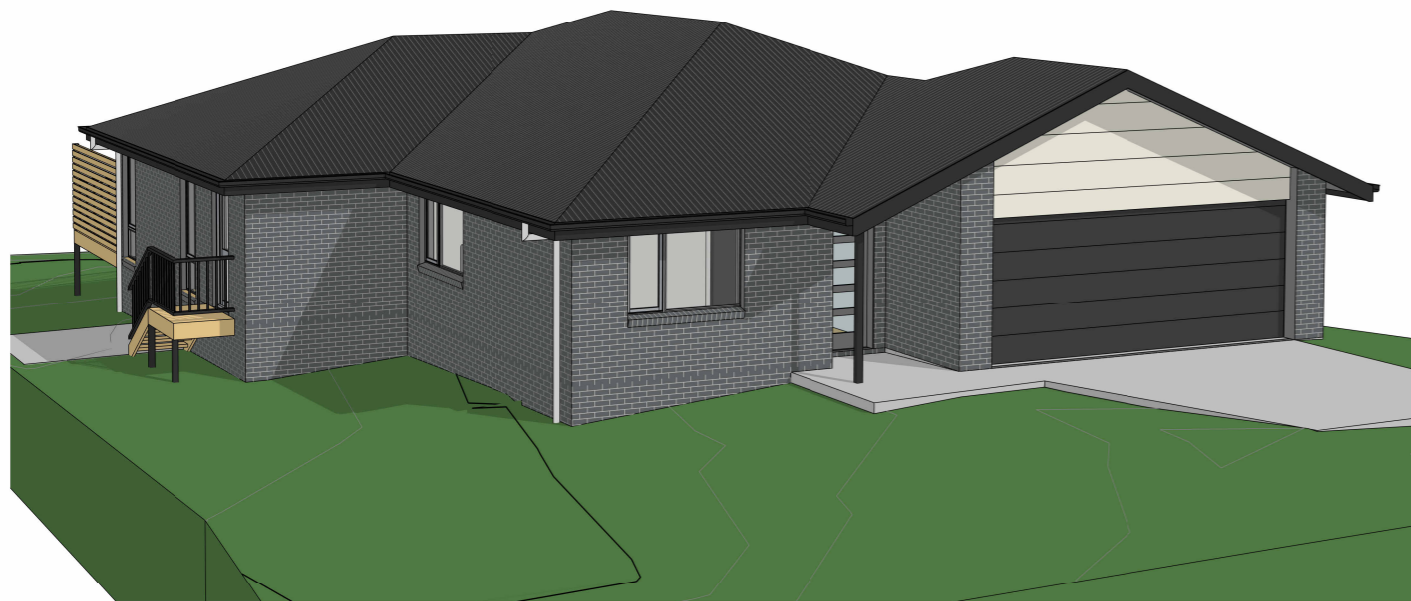
This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for the use of any part of this report in any other context or for any other purpose by third a party.



AP2024-2398 - PROPOSED HARVEY & BERGER RESIDENCE  
 31 Third Avenue,  
 MIDWAY POINT

SHEET	DRAWING TITLE
01	SITE PLAN
01a	DRAINAGE PLAN
02	FLOOR PLAN
03	ELEVATIONS SHEET 1
03a	ELEVATIONS SHEET 2
03b	PERSPECTIVE VIEWS

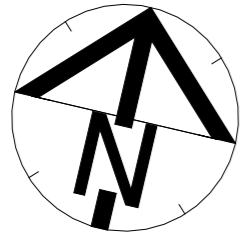


**Sorell Council**  
 Development Application: 5.2024.310.1 -  
 Response to Request for information - 31  
 Third Avenue, Midway Point - P2.pdf  
 Plans Reference: P2  
 Date received: 12/12/2024

SITE IS NOT BUSHFIRE PRONE AREA AS PER TASMANIAN PLANNING SCHEME OVERLAY - SORELL.  
 No additional restrictions for construction methods / materials apply.

Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	Client / Project info PROPOSED HARVEY & BERGER RESIDENCE 31 Third Avenue, MIDWAY POINT	Soil Classification: P Title Reference: CT80985/66 Floor Areas: 192.01m <sup>2</sup> Porch / Deck Areas: 30.04m <sup>2</sup> Wind Speed: N3 Climate Zone: 7 Alpine Zone: N/A Corrosion Environment: HIGH Certified BAL: N/A Designed BAL: N/A (Refer to Standard Notes for Explanation)	COVER SHEET	
			Date 19 November 2024 Sheet Scale AP2024-2398 <div style="font-size: 2em; font-weight: bold; text-align: right;">00/03</div>		

No.	Amendment	Date	Drawn	Checked	Sheet
		19 Nov 2024	ST	CK	01 - 03



Ground Floor FFL 22.60

"THIS PLAN AND ASSOCIATED DIGITAL MODEL IS PREPARED FOR JAKOBOVSKI HOMES FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

THE TITLE BOUNDARIES AS SHOWN ON THIS PLAN WERE NOT MARKED AT THE TIME OF THE SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD SURVEY. NO MEASUREMENTS OR OFFSETS ARE TO BE DERIVED BETWEEN THE FEATURES ON THIS PLAN AND THE BOUNDARY LAYER. THE RELATIONSHIP BETWEEN THE FEATURES IN THIS MODEL AND THE BOUNDARY LAYERS CANNOT BE USED FOR ANY SET OUT PURPOSES OR TO CONFIRM THE POSITION OF THE TITLE BOUNDARIES ON SITE.

SERVICES SHOWN HAVE BEEN LOCATED WHERE VISIBLE BY FIELD SURVEY. SERVICES DENOTED AS BEING "PER DBYD ONLY" ARE APPROXIMATE AND FOR ILLUSTRATIVE PURPOSES ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.

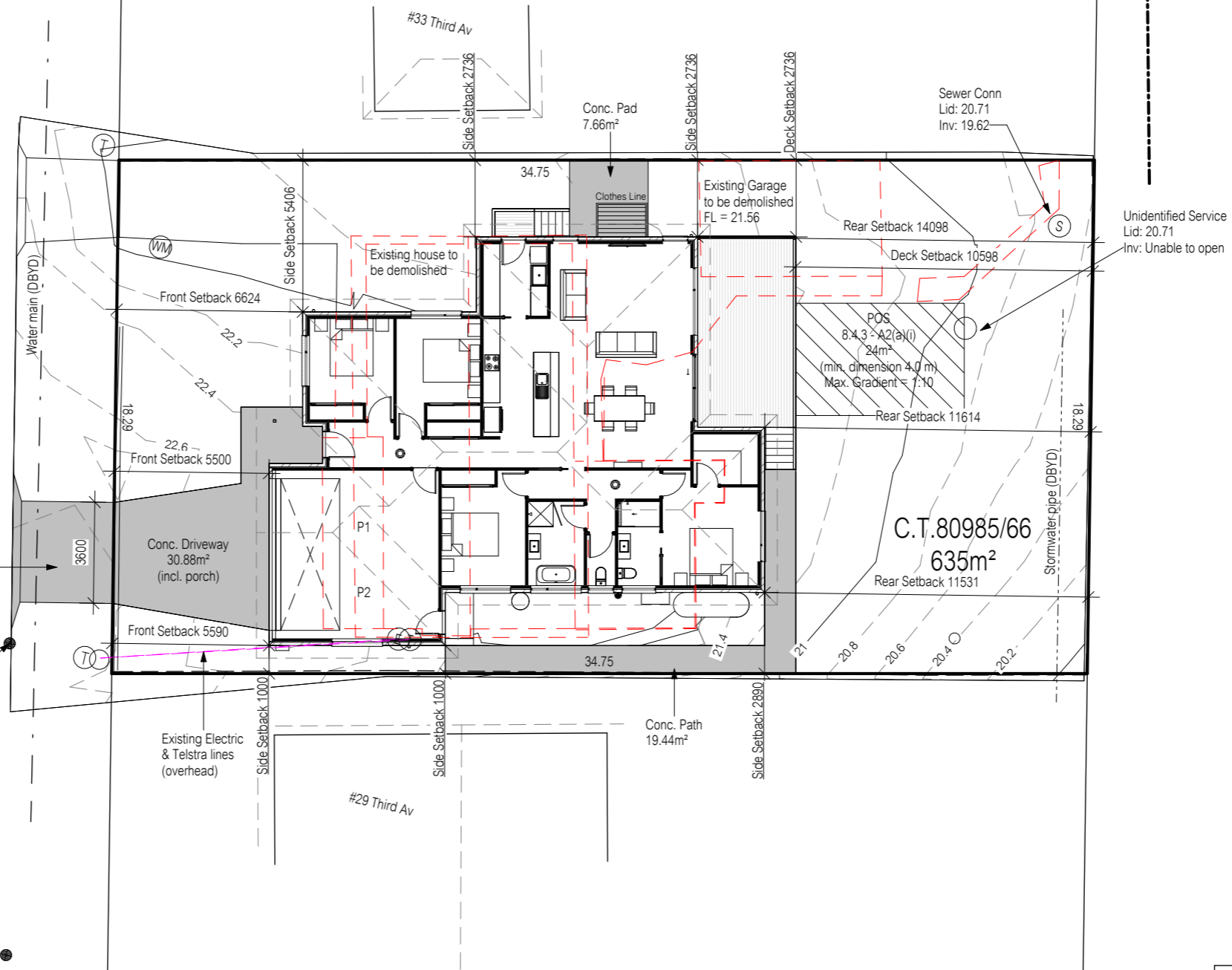
IF SUBSEQUENT DESIGN IS INTENDED FOR CONSTRUCTION SETOUT, FUTURE SURVEYING SETOUT COSTS ARE INCREASED IF THE DIGITAL DATA PROVIDED IS ROTATED, SCALED OR MOVED.

THIS NOTE FORMS AN INTEGRAL PART OF THE PLAN/DATA. ANY REPRODUCTION OF THIS PLAN/MODEL WITHOUT THIS NOTE ATTACHED WILL RENDER THE INFORMATION SHOWN INVALID.

THIRD AVENUE

Proposed apron & crossover to be installed in accordance with the LGAT Tasmanian Standard Drawings (TSD-R09 & TSD-E02).

TBM R/S Nail in Kerb RL = 22.92



Sorell Council

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Date received: 12/12/2024



EXPLANATORY NOTES:	
TASMANIAN PLANNING SCHEME - SORELL	
8.4.3 - Site coverage and private open space for all dwellings	
A1	(a) Site Coverage: Max. 50% of site = 317.50m <sup>2</sup> Proposed site coverage (excl. eaves up to 0.6m): 196.25m <sup>2</sup> (30.91%)

No.	Date	Int.
		Amendment changes as per cover sheet

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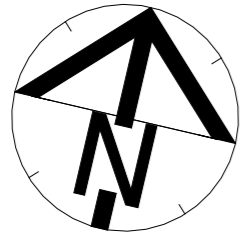
Client / Project info  
PROPOSED HARVEY & BERGER RESIDENCE  
31 Third Avenue,  
MIDWAY POINT



SITE PLAN

Drawn	ST	AP2024-2398
Date	19 November 2024	Sheet
Scale	1:200	

01/03



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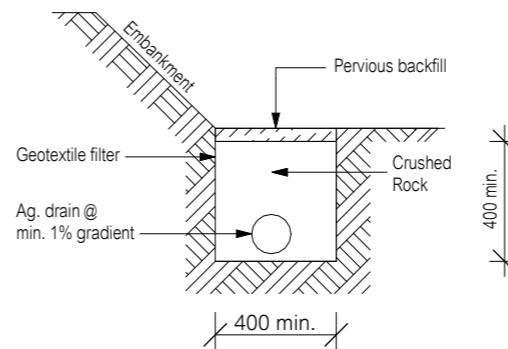
THIS NOTE FORMS AN INTEGRAL PART OF THE PLAN/DATA. ANY REPRODUCTION OF THIS PLAN/MODEL WITHOUT THIS NOTE ATTACHED WILL RENDER THE INFORMATION SHOWN INVALID.

THIRD AVENUE

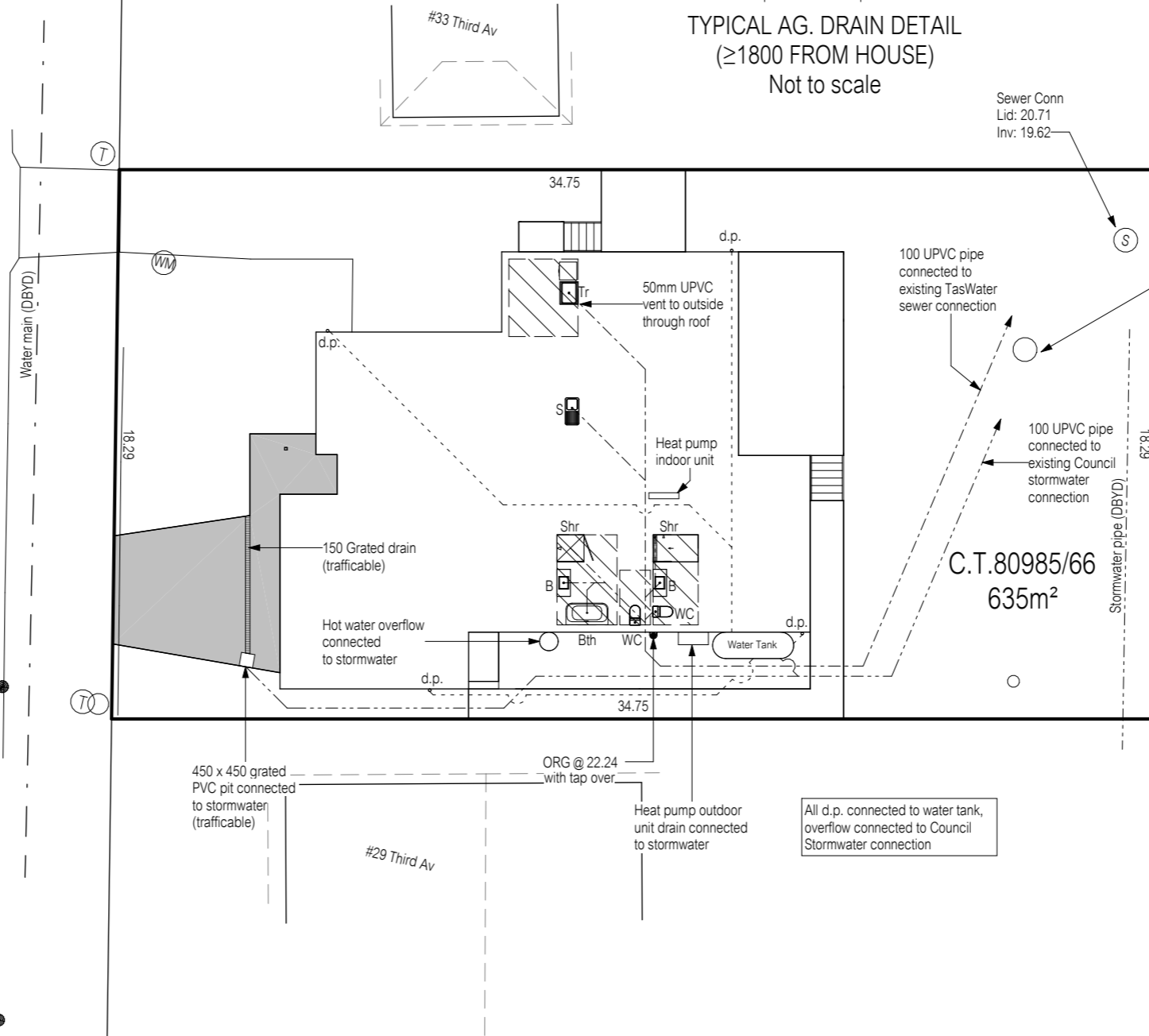
TBM R/S Nail in Kerb RL = 22.92



Development Application: 5.2024.310.1 - Response to Request for information - 31 Third Avenue, Midway Point - P2.pdf Plans Reference: P2 Date received: 12/12/2024



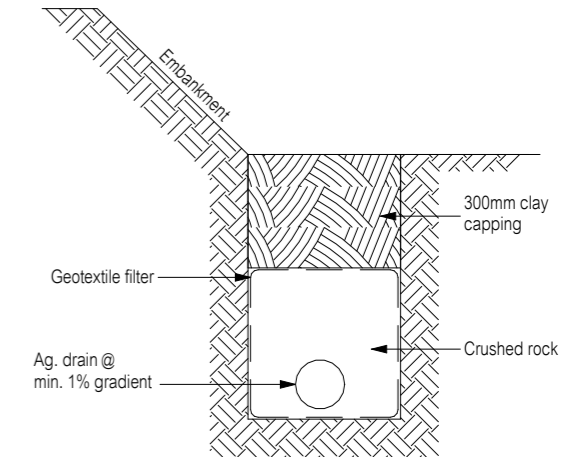
TYPICAL AG. DRAIN DETAIL (>=1800 FROM HOUSE) Not to scale



Unidentified Service Lid: 20.71 Inv: Unable to open

Where ag drain is < 1.5m from footing, the following engineering principles are required:

1. Ag drain to be capped with 300mm of clay to prevent ingress of surface run-off unless it is under a paving slab etc (ag drains are designed for removal of ground water, surface water should be dealt with separately).
2. Ag drain to have a minimum 1% fall to a grated pit which drains to the stormwater system.
3. Install a geotextile filter sock to the slotted drain, and enclose the whole drain in geofabric (to the underside of clay capping).
4. Provide additional grated pits / or inspection openings along the length of the ag drain and at the high point to make the effect of a blockage visible and enable a blockage to be cleared.



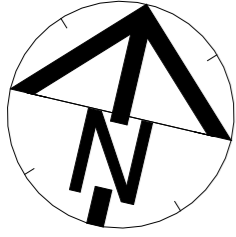
TYPICAL AG. DRAIN DETAIL (<1800 FROM HOUSE) Not to scale

Refer to Roof Plan for downpipe calculations

All works are to be in accordance with the Water Supply Code of Australia WSA 03-2011-3.1 Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02-2014-3.1 MRWA Version 2.0 and TasWater's supplements to these codes.

0 2 4 6 8m 1:200

Soil classification: P Refer to Soil Report for nominated founding depth and description of founding material. All Materials and construction to comply with AS/NZ3500 Part 2 & Part 3		Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.		Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au		Client / Project info PROPOSED HARVEY & BERGER RESIDENCE 31 Third Avenue, MIDWAY POINT				DRAINAGE PLAN	
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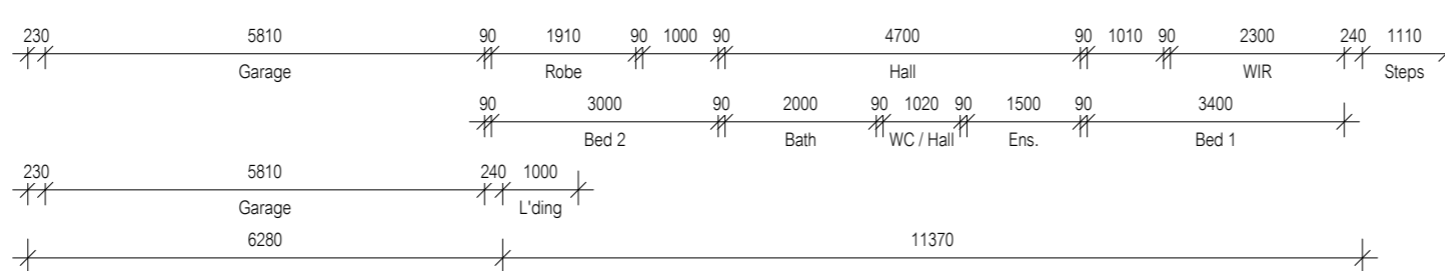
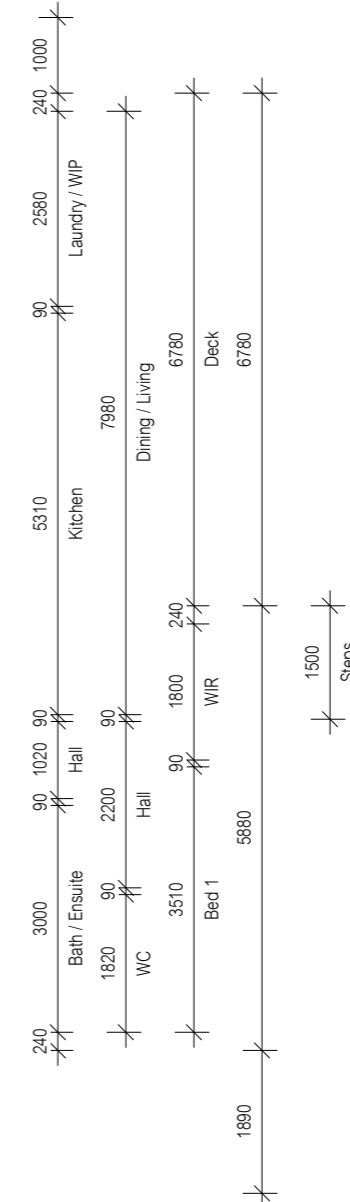
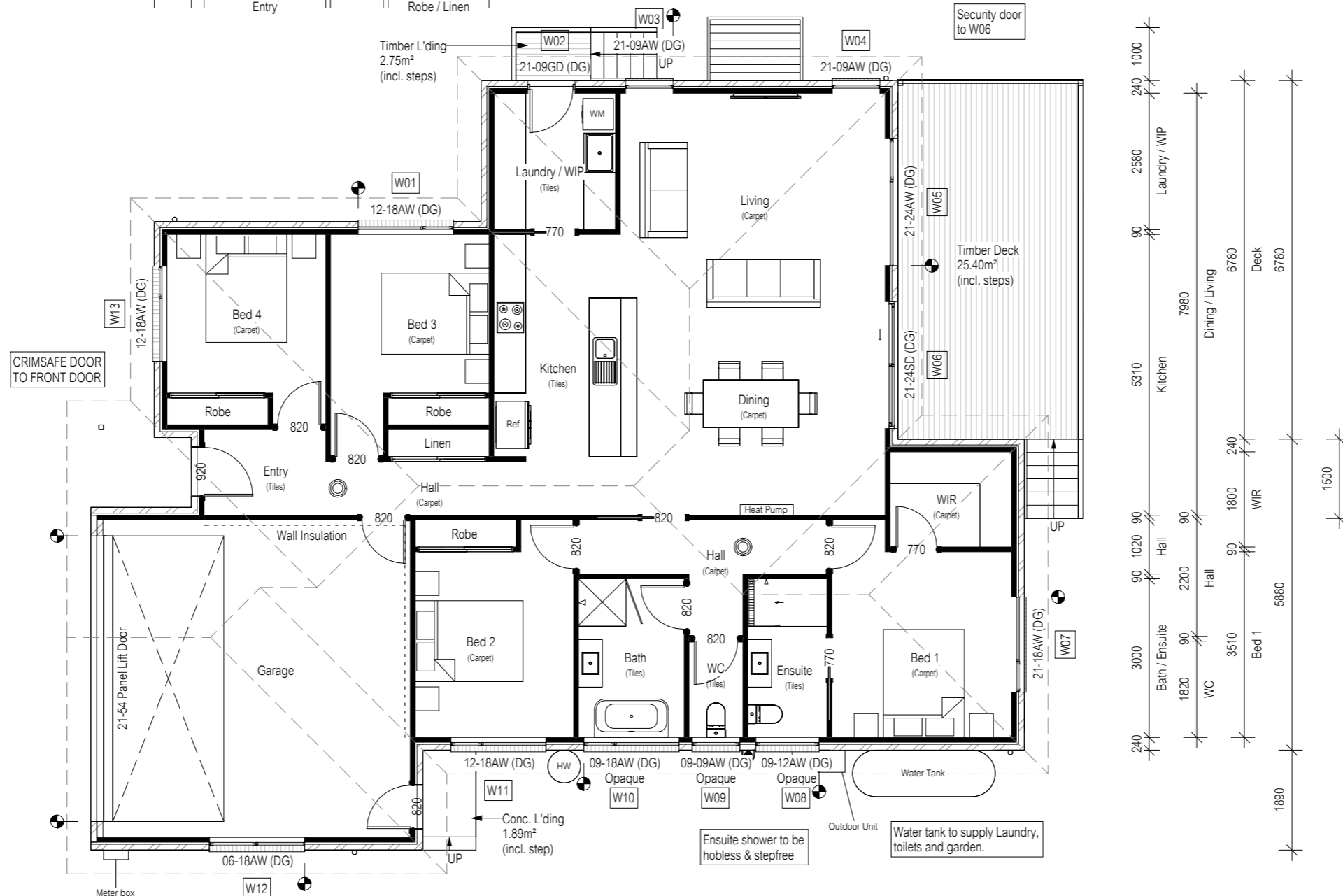
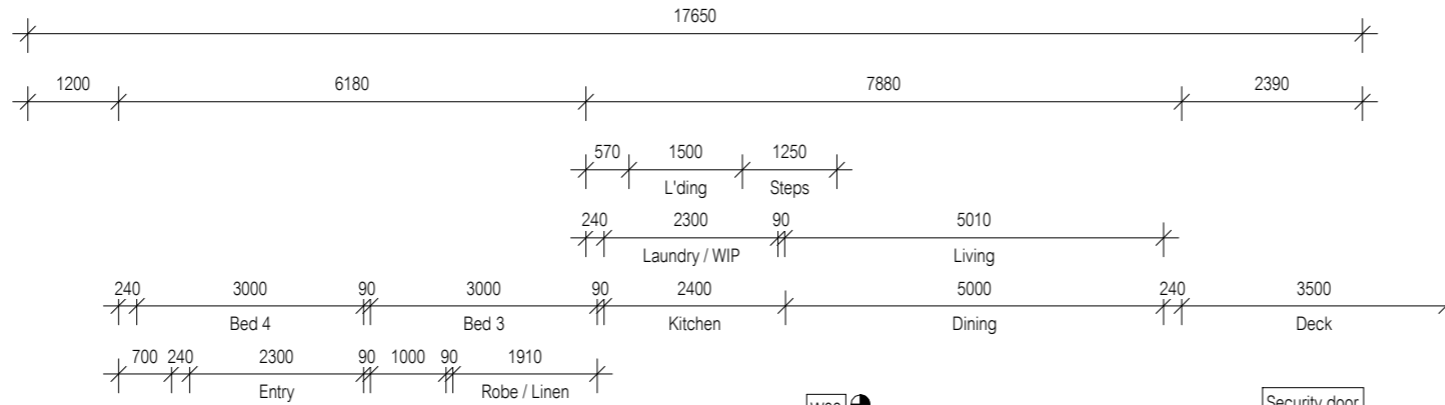
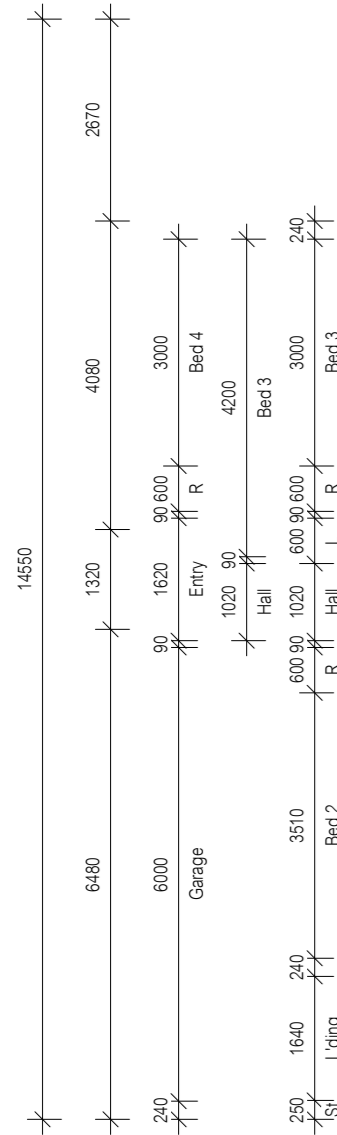


All window sizes to be checked and/or confirmed on site prior to ordering glazing units

Floor Area = 192.01m<sup>2</sup>

Articulation joints

Smoke Alarm (interconnected where more than 1)



No.	Date	Int.
Amendment changes as per cover sheet		

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**FLOOR PLAN**

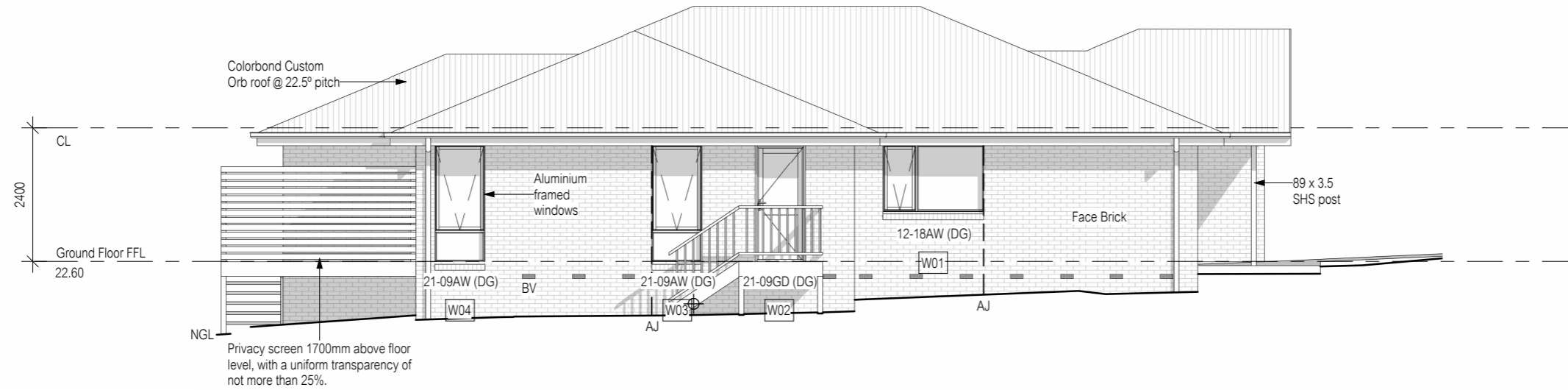
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Date	19 November 2024	Sheet
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Copyright ©		02/03



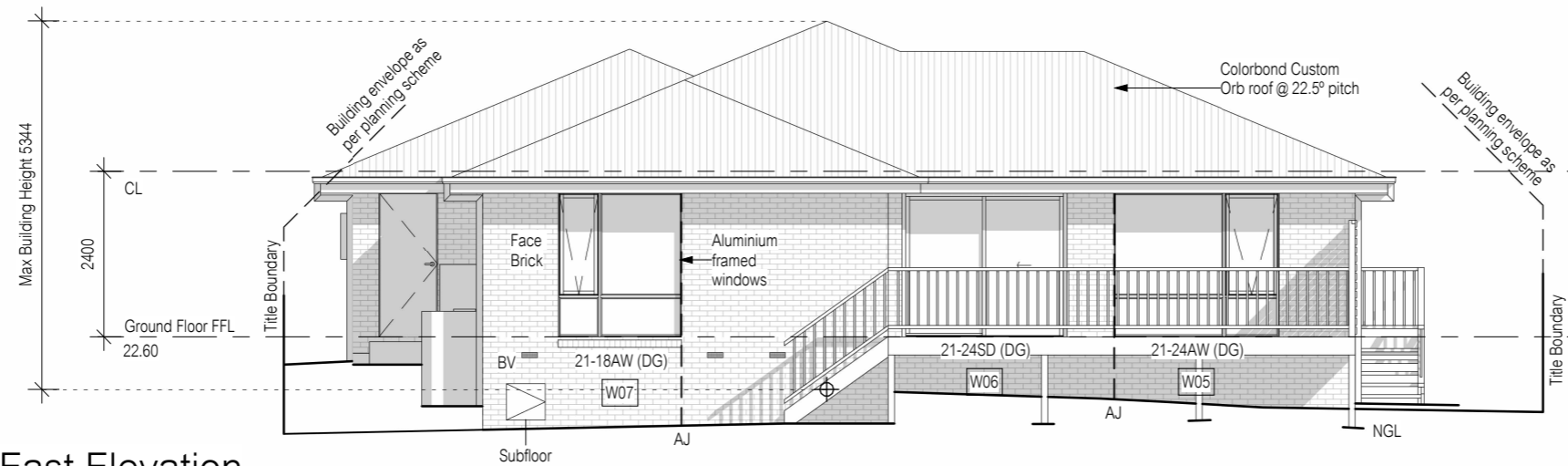
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Material	Colour
Colorbond Roof	tbc
Face Brick	tbc
FC Sheet	tbc

All lightweight cladding to be installed to manufacturer's guidelines. Refer to manufacturer's documentation.



North Elevation



East Elevation

**Sorell Council**  
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**SUB-FLOOR VENTILATION CALCULATIONS (as per N.C.C. 6.2.1)**

- Minimum Sub-floor Ventilation 6000mm<sup>2</sup> per metre of subfloor perimeter (for Climatic Zone C where ground isn't sealed with impervious membrane)
- Vents to be evenly spaced around perimeter of dwelling.
- Vents to be located within 600mm of corners.
- If located within a bushfire prone area, vents to be BAL compliant as per AS3959. e.g. Pryda 230 x 75 metal vent spaced every 1048mm around subfloor perimeter.

All window sizes to be checked and/or confirmed on site prior to ordering glazing units

LEGEND:  
 AJ - Articulation Joint  
 BV - Brick Vent

- Notes
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ELEVATIONS SHEET 1

Drawn ST AP2024-2398

Date 19 November 2024 Sheet

Scale 1:100

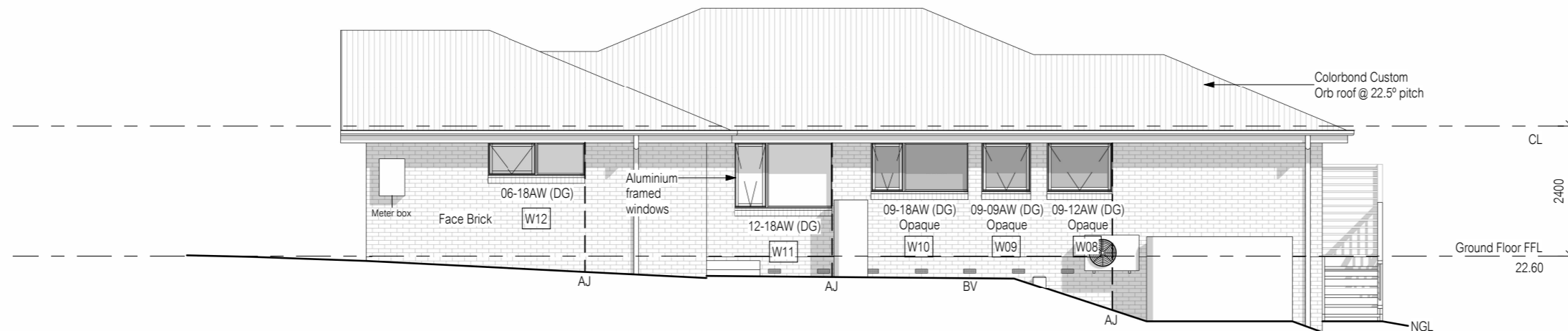
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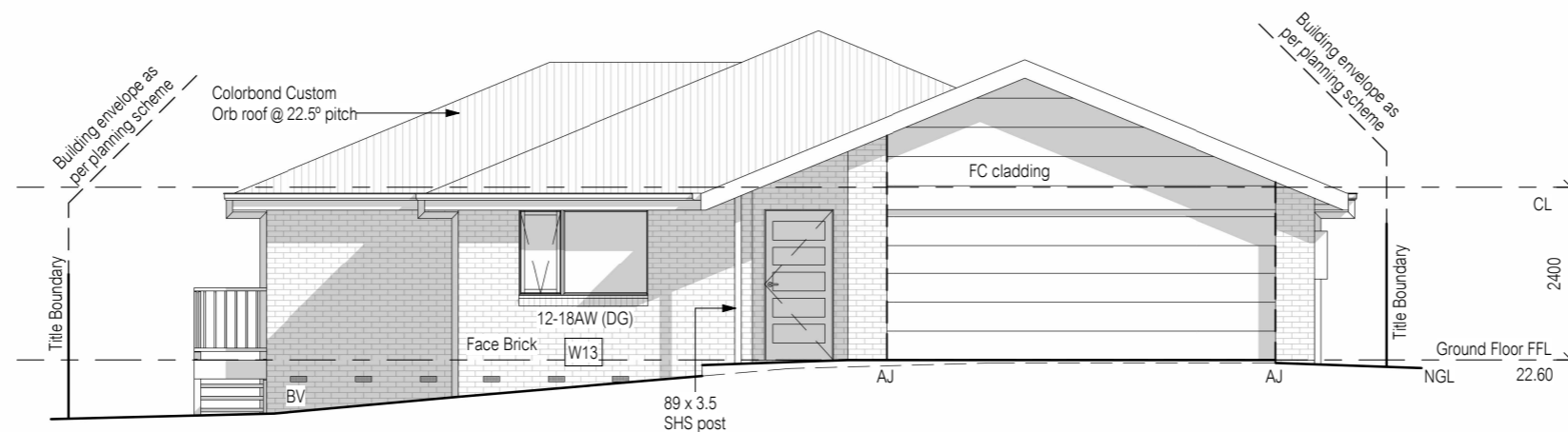
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Material	Colour
Colorbond Roof	tbc
Face Brick	tbc
FC Sheet	tbc

All lightweight cladding to be installed to manufacturer's guidelines. Refer to manufacturer's documentation.



South Elevation



West Elevation

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SUB-FLOOR VENTILATION CALCULATIONS (as per N.C.C. 6.2.1)	
-	Minimum Sub-floor Ventilation 6000mm <sup>2</sup> per metre of subfloor perimeter (for Climatic Zone C where ground isn't sealed with impervious membrane)
-	Vents to be evenly spaced around perimeter of dwelling.
-	Vents to be located within 600mm of corners.
-	If located within a bushfire prone area, vents to be BAL compliant as per AS3959. e.g. Pryda 230 x 75 metal vent spaced every 1048mm around subfloor perimeter.

All window sizes to be checked and/or confirmed on site prior to ordering glazing units

LEGEND:  
 AJ - Articulation Joint  
 BV - Brick Vent

Shadows shown for stylisation purposes only

- Notes
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  - All work to be carried out in accordance with the current National Construction Code.
  - All materials to be installed according to manufacturers specifications.
  - Do not scale from these drawings.
  - No changes permitted without consultation with designer.

Designer:  
 ANOTHER PERSPECTIVE PTY LTD  
 PO BOX 21  
 NEW TOWN  
 LIC. NO. 685230609 (S. Turvey)  
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 info@anotherperspective.com.au

Client / Project info  
 PROPOSED HARVEY & BERGER RESIDENCE  
 31 Third Avenue,  
 MIDWAY POINT



ELEVATIONS SHEET 2

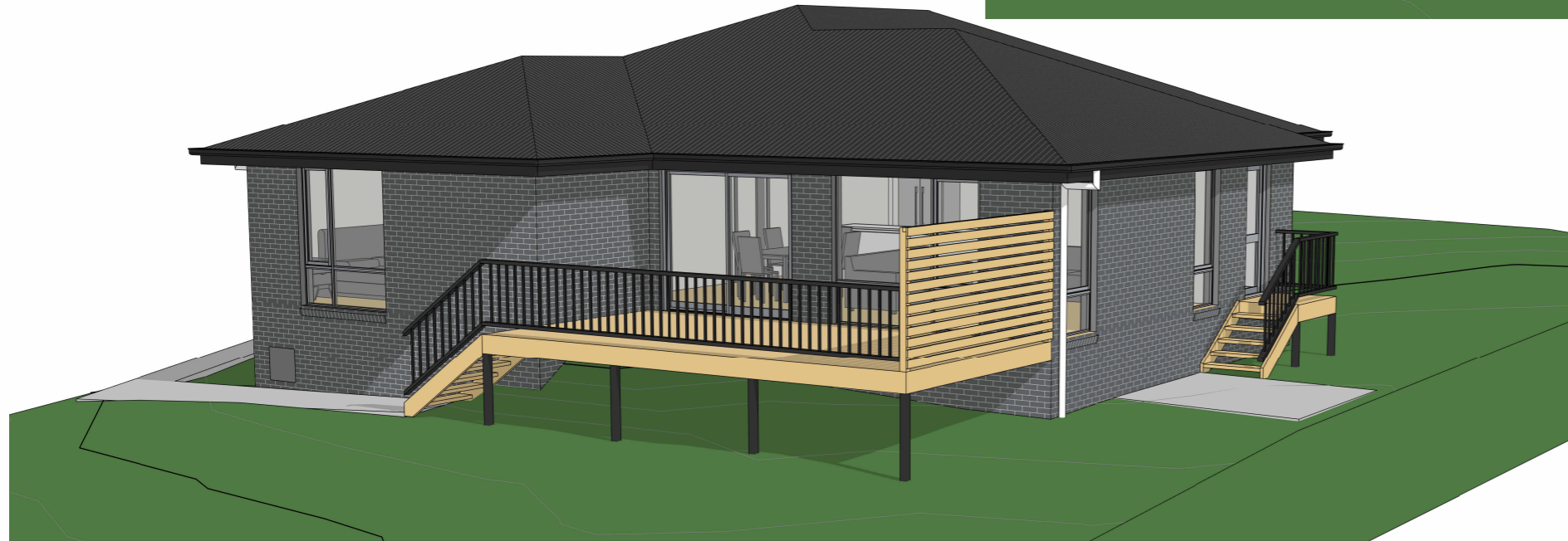
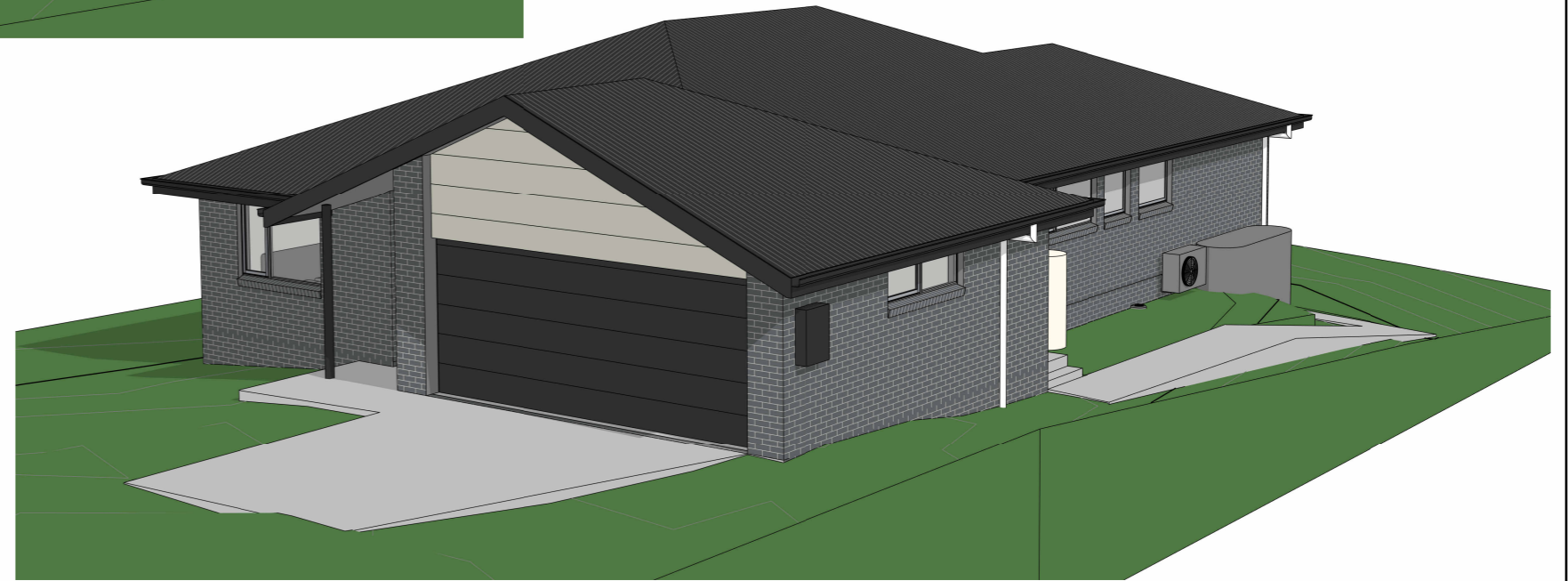
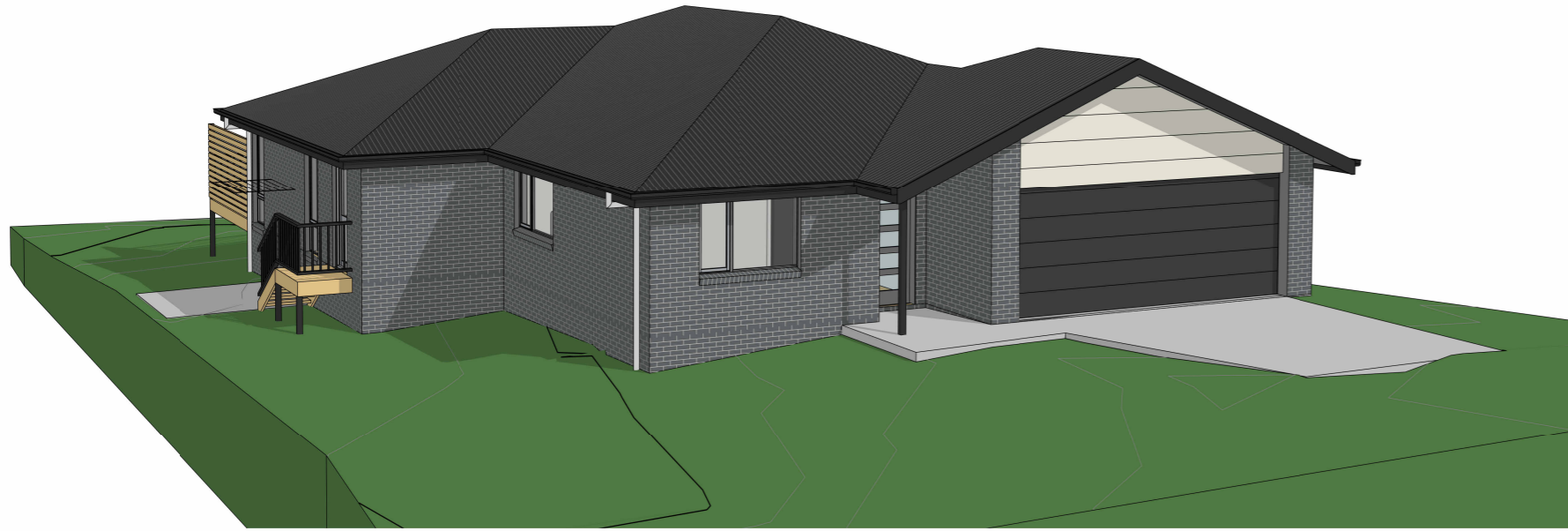
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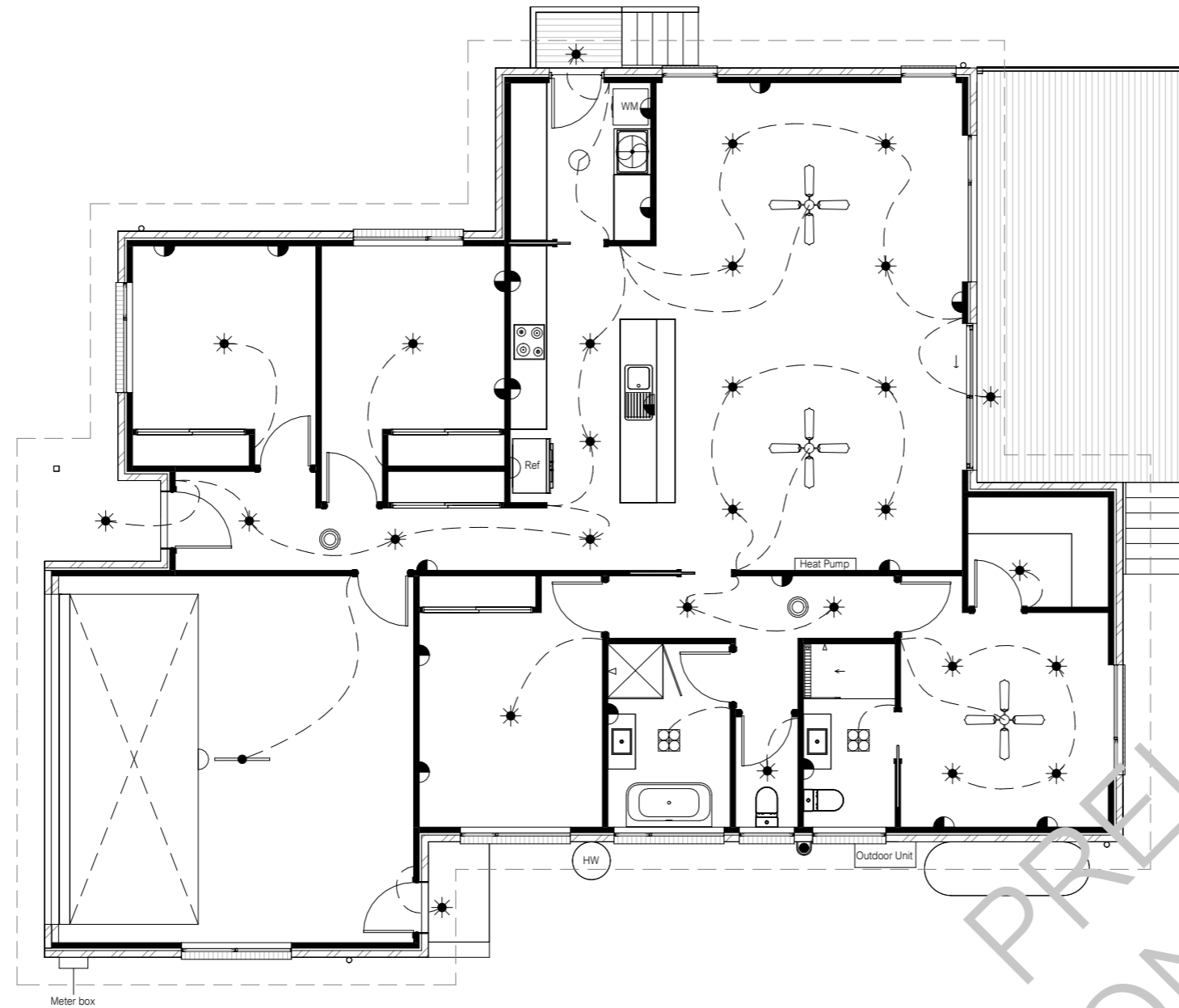
No.	Date	Int.	Amendment changes as per cover sheet	Shadows shown for stylisations purpose only	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	Client / Project info PROPOSED HARVEY & BERGER RESIDENCE 31 Third Avenue, MIDWAY POINT		PERSPECTIVE VIEWS Drawn _____ ST AP2024-2398 Date 19 November 2024 Sheet Scale _____ Copyright © 03b/03
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LEGEND (W = Wattage e.g. 35W = 35 Watts.)

- STANDARD CEILING LIGHT POINT (30W)
- DOWNLIGHT POINT (UNVENTED) (35W)
- ★ LED DOWNLIGHT POINT (10W) SUITABLE FOR & FITTED WITH INSULATION OVER. (IC RATED)
- PENDANT LIGHT (30W)
- WALL LIGHT POINT (30W)
- 2 x 900mm FLUORESCENT LIGHT POINT (36W)
- 2 x SLIM T5 900mm FLUORESCENT LIGHT POINT (28W)
- △ SINGLE POWER POINT
- ◐ DOUBLE POWER POINT
- ◑ DOUBLE POWER POINT WITH USB
- ◒ WATER PROOF POWER POINT
- ⊙ MAINS POWERED SMOKE ALARM (INTERCONNECTED WHERE MORE THAN 1)
- ⊞ FAN / HEATER / LIGHT (8W) (VENT IN ACCORDANCE WITH N.C.C. 10.8.2)
- ⊟ TV CONNECTION POINT
- ▽ NBN/TELEPHONE CONNECTION POINT
- ⊠ SENSOR LIGHT
- ⊡ EXHAUST FAN (VENT IN ACCORDANCE WITH N.C.C. 10.8.2)
- ⊢ FLOOD LIGHT
- ⊣ CAT 6 CONNECTION POINT
- ⊤ TREAD LIGHTS (2W)
- ⊥ DUCTED VACUUM POINT
- ⊦ SECURITY SYSTEM KEYPAD
- ⊧ SECURITY SYSTEM SENSOR
- ⊨ CEILING FAN

ALL EXHAUST FANS:  
25 L/s for a bathroom or sanitary compartment, 40 L/s for a kitchen or laundry. Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment, or laundry must be discharged directly or via a shaft or duct to outdoor air.



PRELIMINARY ONLY

**Sorell Council**  
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Date received: 12/12/2024

			<p>Notes</p> <ul style="list-style-type: none"> <li>Builder to verify all dimensions and levels on site prior to commencement of work</li> <li>All work to be carried out in accordance with the current National Construction Code.</li> <li>All materials to be installed according to manufacturers specifications.</li> <li>Do not scale from these drawings.</li> <li>No changes permitted without consultation with designer.</li> </ul>	<p>Designer:</p> <p>ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au</p>	<p>Client / Project info</p> <p>PROPOSED HARVEY &amp; BERGER RESIDENCE 31 Third Avenue, MIDWAY POINT</p>		<p><b>ELECTRICAL PLAN</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>Drawn</td> <td style="text-align: right;">ST</td> <td>AP2024-2398</td> </tr> <tr> <td>Date</td> <td style="text-align: right;">19 November 2024</td> <td>Sheet</td> </tr> <tr> <td>Scale</td> <td style="text-align: right;">1:100</td> <td></td> </tr> </table> <p style="font-size: 24px; font-weight: bold; text-align: right;">09/03</p>	Drawn	ST	AP2024-2398	Date	19 November 2024	Sheet	Scale	1:100	
Drawn	ST	AP2024-2398														
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# Lighting

## Class 1 & 10a buildings



Calculator

Building name/description	
AP2024-2398 - PROPOSED HARVEY & BERGER RESIDENCE, 31 THIRD AVENUE, MIDWAY POINT	
Number of rows preferred in table below	16 (as currently displayed)

Classification
Class 1

Separate aggregate allowances are calculated for Class 1 cases; for a verandah or balcony; or for a Class 10 building. The % of allowance used' outcomes refer to these aggregate allowances.

ID	Description	Type of space	Floor area of the space	Design lamp or illumination power load	Location	Adjustment factor			SATISFIES PART 13.7.6			
						Adjustment factors	Dimming % area	Dimming % of full power	Design lumen depreciation factor	Lamp or illumination power density	System share of % of aggregate allowance used	System design
1	ENTRY	Corridor	3.7 m <sup>2</sup>	10 W	Class 1 building					5.0 W/m <sup>2</sup>	2.7 W/m <sup>2</sup>	7% of 42%
2	HALL	Corridor	5.0 m <sup>2</sup>	10 W	Class 1 building					5.0 W/m <sup>2</sup>	2.0 W/m <sup>2</sup>	5% of 42%
3	BED 4	Bedroom	10.8 m <sup>2</sup>	10 W	Class 1 building					5.0 W/m <sup>2</sup>	0.9 W/m <sup>2</sup>	2% of 42%
4	BED 3	Bedroom	11.4 m <sup>2</sup>	10 W	Class 1 building					5.0 W/m <sup>2</sup>	0.9 W/m <sup>2</sup>	2% of 42%
5	KITCHEN	Kitchen	15.6 m <sup>2</sup>	30 W	Class 1 building					5.0 W/m <sup>2</sup>	1.9 W/m <sup>2</sup>	5% of 42%
6	LAUNDRY / PANTRY	Laundry	5.9 m <sup>2</sup>	30 W	Class 1 building					5.0 W/m <sup>2</sup>	5.1 W/m <sup>2</sup>	14% of 42%
7	LIVING	Living room	22.8 m <sup>2</sup>	40 W	Class 1 building					5.0 W/m <sup>2</sup>	1.8 W/m <sup>2</sup>	5% of 42%
8	DINING	Lounge room	13.7 m <sup>2</sup>	40 W	Class 1 building					5.0 W/m <sup>2</sup>	2.9 W/m <sup>2</sup>	8% of 42%
9	HALL	Corridor	6.0 m <sup>2</sup>	20 W	Class 1 building					5.0 W/m <sup>2</sup>	3.3 W/m <sup>2</sup>	9% of 42%
10	WIR	Other	4.1 m <sup>2</sup>	10 W	Class 1 building					5.0 W/m <sup>2</sup>	2.4 W/m <sup>2</sup>	7% of 42%
11	BED 1	Bedroom	12.5 m <sup>2</sup>	40 W	Class 1 building					5.0 W/m <sup>2</sup>	3.2 W/m <sup>2</sup>	9% of 42%
12	ENSUITE	Bathroom	4.5 m <sup>2</sup>	8 W	Class 1 building					5.0 W/m <sup>2</sup>	1.8 W/m <sup>2</sup>	5% of 42%
13	WC	Toilet	1.9 m <sup>2</sup>	10 W	Class 1 building					5.0 W/m <sup>2</sup>	5.4 W/m <sup>2</sup>	15% of 42%
14	BATH	Bathroom	6.0 m <sup>2</sup>	8 W	Class 1 building					5.0 W/m <sup>2</sup>	1.3 W/m <sup>2</sup>	4% of 42%
15	BED 2	Bedroom	12.3 m <sup>2</sup>	10 W	Class 1 building					5.0 W/m <sup>2</sup>	0.8 W/m <sup>2</sup>	2% of 42%
16	GARAGE	Other	34.8 m <sup>2</sup>	28 W	Class 10a building					3.0 W/m <sup>2</sup>	0.8 W/m <sup>2</sup>	100% of 27%

170.9 m <sup>2</sup>	314 W		
		<b>Class 1 building</b>	5.0 W/m <sup>2</sup> / 2.1 W/m <sup>2</sup>
		<b>Class 10a building (associated with a Class 1 building)</b>	3.0 W/m <sup>2</sup> / 0.8 W/m <sup>2</sup>

if inputs are valid



### IMPORTANT NOTICE AND DISCLAIMER IN RESPECT OF THIS LIGHTING CALCULATOR

By accessing or using this calculator, you agree to the following: While care has been taken in the preparation of this calculator, it may not be complete or up-to-date. You can ensure that you are using a complete and up-to-date version by checking the Australian Building Codes Board website ([abcb.gov.au](http://abcb.gov.au)). The Australian Building Codes Board, the Commonwealth of Australia and States and Territories of Australia do not accept any liability, including liability for negligence, for any loss (howsoever caused), damage, injury, expense or cost incurred by any person as a result of accessing, using or relying upon this publication, to the maximum extent permitted by law. No representation or warranty is made or given as to the currency, accuracy, reliability, merchantability, fitness for any purpose or completeness of this publication or any information which may appear on any linked websites, or in other linked information sources, and all such representations and warranties are excluded to the extent permitted by law. This calculator is not legal or professional advice. Persons rely upon this calculator entirely at their own risk and must take responsibility for assessing the relevance and accuracy of the information in relation to their particular circumstances.



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WINDOW MANUFACTURER: (?????WINDOW TYPE CHANGE????)

LEGEND:  
 SW = Sliding Window, AW = Awning Window, SD = Sliding door, FD = French Door,  
 BRPG = Bushfire Rated Privacy Glass  
 NOTE: Window tags including (DG) are to be Double Glazed, otherwise they are to be single glazed.

NOTE:  
 Windows supplied MUST HAVE Uw better and or equal to stated figures and SHGC within +/- 5% of stated figures.  
 Windows labelled YES in "Restricted/protected" column to comply with N.C.C. 11.3.7 & 11.3.8  
 \* - Glass specification changed to comply with Bushfire requirements (Refer to Sheet ---)

WINDOW NUMBER	SIZE / TYPE	ID	Uw	SHGC	RESTRICTED
W01	12-18AW (DG)				
W02	21-09GD (DG)				
W03	21-09AW (DG)				
W04	21-09AW (DG)				
W05	21-24AW (DG)				
W06	21-24SD (DG)				
W07	21-18AW (DG)				
W08	09-12AW (DG) Opaque				
W09	09-09AW (DG) Opaque				
W10	09-18AW (DG) Opaque				
W11	12-18AW (DG)				
W12	06-18AW (DG)				
W13	12-18AW (DG)				

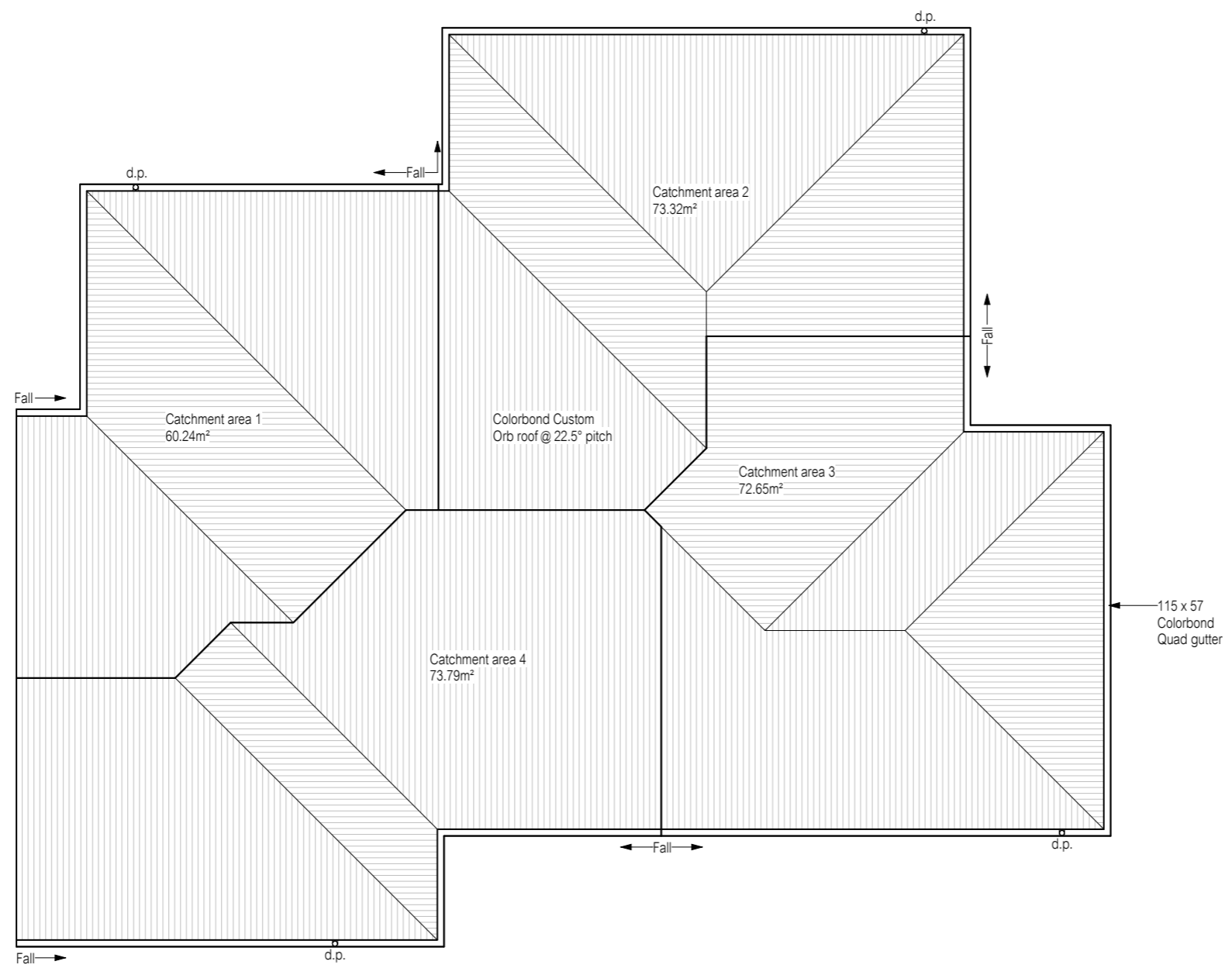


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INSULATION SCHEDULE	
Area	Insulation Details
Roof	Sarking (vapour permeable) OR R1.3 Anticon Sarking
Ceiling	R?? bulk insulation (or equivalent) excluding GARAGE
Walls (external)	R?? bulk insulation (or equivalent) with 1 layer sisalation (vapour permeable). Sisalation only to GARAGE
Walls (Internal)	N/A or R?? bulk insulation (or equivalent) to internal walls adjacent to GARAGE / SUBFLOOR / ROOFSPACE
Floors	R?? bulk insulation (or equivalent) to all timber floors

NOTE:  
 Clearance is required for uncompressed installation of bulk insulation and timbers should be sized accordingly.  
 Bulk insulation thicknesses vary depending on manufacturer and should be selected accordingly, and installed to manufacturer's specification.  
 Min. 20mm clearance required between roofing and vapour permeable sarking (i.e. batten over sarking OR sarking over batten + vented batten)  
 Min. 25mm air gap above bulk insulation into roof space.  
 Where solar tubes are located, diffusers are to be installed.  
 Where skylights are located, ceiling insulation is to be installed to length of shaft.

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**GUTTER OVERFLOW REQUIREMENTS** as per N.C.C. Figure 7.4.6a:  
 Minimum slot opening area of 1200 mm<sup>2</sup> per metre of gutter and the lower edge of the slots installed a minimum of 25 mm below the top of the fascia.  
 The acceptable overflow capacity must be 0.5 L/s/m.

**Batten fixings:**  
 100mm type 17, 14g bugle screws to comply with AS1684, or refer to AS1684 for alternatives.

**Batten spacing:**  
 75 x 38 F8 @ 900 Centre

**Colorbond fixings:**  
 50mm M6 11 x 50 EPDM seal to comply with AS3566 or refer to AS3566 for alternatives.

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115 x 57 Colorbond Quad gutter

Position and quantity of downpipes are not to be altered without consultation with designer

Area's shown are surface areas / catchment areas, not plan areas.

DOWNPIPE AND ROOF CATCHMENT AREA CALCULATIONS (as per AS/NZS 3500.3)		
Ah <sup>1</sup>	224.59	Area of Roof (excluding 115mm Quad gutter) (m <sup>2</sup> )
Ah <sup>2</sup>	231.41	Area of Roof (including 115mm Quad gutter) (m <sup>2</sup> )
Ac	280.01	Ah <sup>2</sup> x Slope factor (Table 3.2 from AS/NZS 3500.3) (m <sup>2</sup> )
Ae	6555	Cross sectional area of assumed 57 x 115 Quad Gutter. (mm <sup>2</sup> )
DRI	86.90	Design Rainfall Intensity (determined from Appendix D from AS/NZS 3500.3)
ACDP	74	Catchment area per Downpipe (determined from Figure 3.5.4(A) from AS/NZS 3500.3) (m <sup>2</sup> )
Required Downpipes	3.78	Ac ÷ Acdp
Downpipes Provided	4	

**ROOF VENTILATION GUIDE:**  
 Ventilation calculations must be read in conjunction with CBOS - Condensation in Buildings - Tasmanian Designers' Guide - Version 2 (published April 2019).

Continuous gap:	
Supply	Exhaust
Continuous gap at eaves is: 25mm for <16° pitch 10mm for >16° pitch	Continuous gap at ridge is at least 5mm for all roof pitches

OR

**Roof vents:**  
 The minimum vent area should be:  
 a) Ceiling area/150 for <16° pitch, or  
 b) Ceiling area/300 for >16° pitch

Supply	Exhaust
75% of ventilation should be supply	25% of ventilation should be exhaust

Vent at gable should be within 900mm of ridge.

**ROOF VENTILATION CALCULATION**

<b>Roof vents:</b>	
Ceiling Area:	176.44m <sup>2</sup>
Roof Pitch:	22.5°
Supply area required (75%):	0.44m <sup>2</sup>
Exhaust area required (25%):	0.15m <sup>2</sup>
<b>Example</b>	
Vent Width	200mm
Vent Length	400mm
Vent area	0.08m <sup>2</sup>
Opening	50%
Supply number required	11 evenly spaced
Exhaust number required	Continuous 5mm gap to ridge
AS3959 compliant ember mesh and compressible blanket to ridge vents on jobs in BAL zones.	

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					Drawn Date Scale	ST 19 November 2024 1:100		AP2024-2398 Sheet 11/03	