

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: 3 Pendell Drive, Forcett

PROPOSED DEVELOPMENT:

OUTBUILDING

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Tuesday 28th January 2025**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Tuesday 28th January 2025**.

APPLICANT: A M Weldon, A Wylie

APPLICATION NO: DA 2024 / 278 - 1

DATE: 09 January 2025

Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use: <i>Storage/workshop area</i>
	Development: <i>Shed 6m width 12m Length</i>
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal:	\$ <i>10,000</i>

Is all, or some the work already constructed:	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address: <i>3 Pendell drive</i>
	Suburb: <i>Forcett</i> Postcode: <i>7173</i>
	Certificate of Title(s) Volume: Folio:

Current Use of Site	<i>Residential land with dwelling</i>
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Current Owner/s:	Name(s) <i>Alicia Wylie and Andrew Weldon</i>
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Is the Property on the Tasmanian Heritage Register?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>

If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form

<https://www.sorell.tas.gov.au/services/engineering/>



Sorell Council
 Development Application: 5.2024.278.1 -
 Development Application - 3 Pendell Dr, Forcett -
 P1.pdf
 Plans Reference: P1
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Part B continued: Please note that Part B of this form is publicly exhibited

Declarations and acknowledgements

- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.
- I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours.
- I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.
- I/we declare that, in accordance with s52(1) of the *Land Use Planning and Approvals Act 1993*, that I have notified the owner(s) of the intention to make this application.
- I/we declare that the information in this application is true and correct.

Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.

- I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.
- Where the General Manager's consent is also required under s.14 of the *Urban Drainage Act 2013*, by making this application I/we also apply for that consent.

Applicant Signature:

Signature

Date:

1/11/24

Crown or General Manager Land Owner Consent

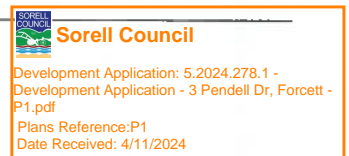
If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the *Land Use Planning and Approvals Act 1993*).

Please note:

- If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au
- If the application involves Crown land you will also need a letter of consent.
- Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.

I _____ being responsible for the administration of land at _____

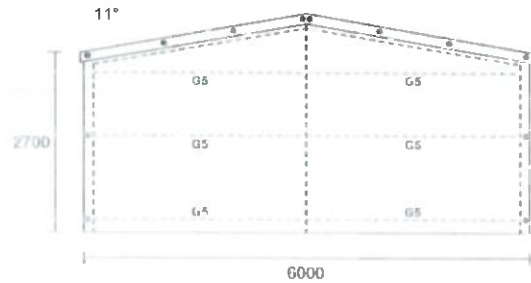
declare that I have given permission for the making of this application for _____



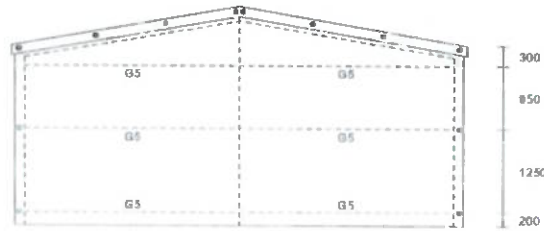
Signature of General Manager,
Minister or Delegate:

Signature:

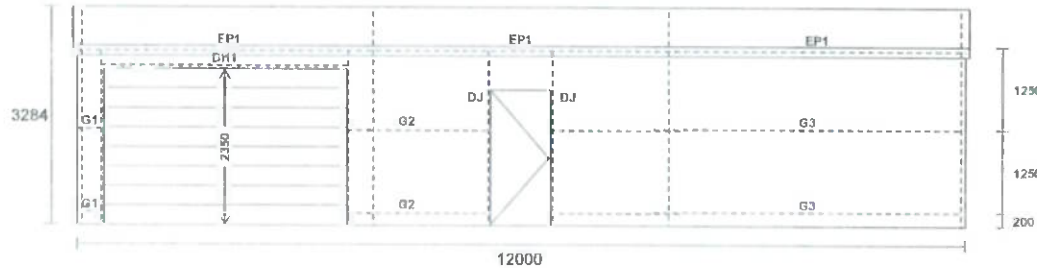
Date:



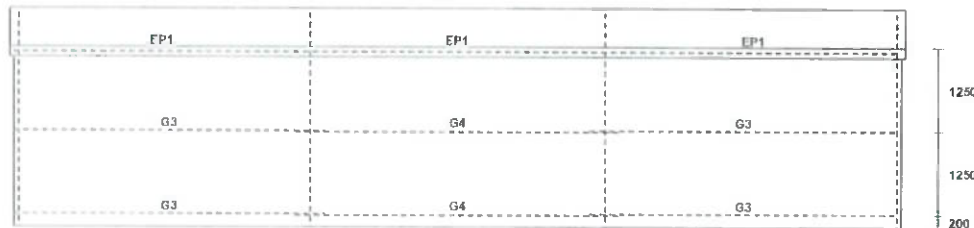
LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



REAR ELEVATION

GENERAL NOTES

ALL DIMENSIONS ARE IN MILLIMETRES UNO.

THIS BUILDING DESIGN IS SUITABLE FOR A DESIGN CLASS OF 10a. THIS BUILDING IS NOT DESIGNED FOR, AND CANNOT BE USED FOR, HUMAN HABITATION (CLASS 1).

THIS SITE SPECIFIC DETAIL REFERS TO THE STRUCTURAL SUITABILITY OF THE STRUCTURAL DESIGN ONLY. THE ENGINEER AND THE SUPPLIER TAKE NO RESPONSIBILITY FOR ANY COMPLIANCE WITH ANY LOCAL GOVERNMENT BY-LAWS, TOWN PLANNING REQUIREMENTS OR INDIVIDUAL SITE CIRCUMSTANCES THAT MAY AFFECT THE SUITABILITY OF THE INSTALLATION OF THE STRUCTURE AT THE ACTUAL SITE.

THESE DESIGNS WHEN CONSTRUCTED IN ACCORDANCE WITH THIS ENGINEERING COMPLIES WITH THE FOLLOWING STANDARDS AND REGULATIONS -

- AS1170.0 TO AS1170.4-2006, AS3600-2009
- AS4055-2011, AS4100-1998 & AS4600-2005
- NCC 2018

THE FRAMING MEMBERS, ROOF FURFUR MEMBERS AND CLADDING WITHIN THESE DESIGNS ARE BASED ON THE SECTIONAL DESIGN PROPERTIES OF THE ROLLFORMED PRODUCTS MANUFACTURED BY LYSAGHT BUILDING PRODUCTS.

ALL SCREWFIX FASTENERS TO COMPLY WITH AS3566. ALL CONNECTION BOLTS TO COMPLY WITH AS1252 IN ACCORDANCE AS4100. ALL SCREWFIX FASTENERS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTIONS. FRAMING BOLTS TO BE TIGHTENED TO A SHANK TENSION OF 90KN.

REFER TO PAGE 2 FOR FLOOR PLAN & MEMBER TABLE & WALL CLADDING DETAILS, PAGE 3 FOR SLAB AND FOUNDATION DETAILS, PAGE 4 FOR ROOF PLAN AND ROOF CLADDING DETAILS AND PAGE 5 FOR FRAME AND MEMBER CONNECTION DETAILS.

THIS BUILDING IS TO BE CONSTRUCTED IN ACCORDANCE WITH GOOD PRACTICE. DURING CONSTRUCTION THE STRUCTURE MUST BE MAINTAINED IN A STABLE MANNER AND SUFFICIENTLY BRACED TO PREVENT OVERSTRESSING OF FRAME. THE ENGINEER AND THE SUPPLIER ACCEPT NO RESPONSIBILITY FOR ANY MISTAKES FROM WHATEVER SOURCE, THROUGH PLEA OF IGNORANCE OF THE OWNER/BUILDER/ERECTOR.

INCLUSIONS

- WIND LOCKED STRAMIT 235x413300W DOOR TO FRT BAY 1
- LARNEC 650 PERSONAL DOOR TO FRT BAY 2



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CONSULTING ENGINEER

JP ENGINEERS & ASSOCIATES
 NER No.3339325
 EC42637 (Vic)
 CC7434 (TAS)



Furm
 Garages & Sheds
 23 DALMATIAN CRT LEGANA TAS 7277
 PH/FAX 1800 790 589

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PROPERTY DETAILS: OWNER: ANDREW WELDON - SITE ADDRESS: 3 PENDELL DRIVE FORCETT 7173

MUNICIPAL DISTRICT: SORELL COUNCIL

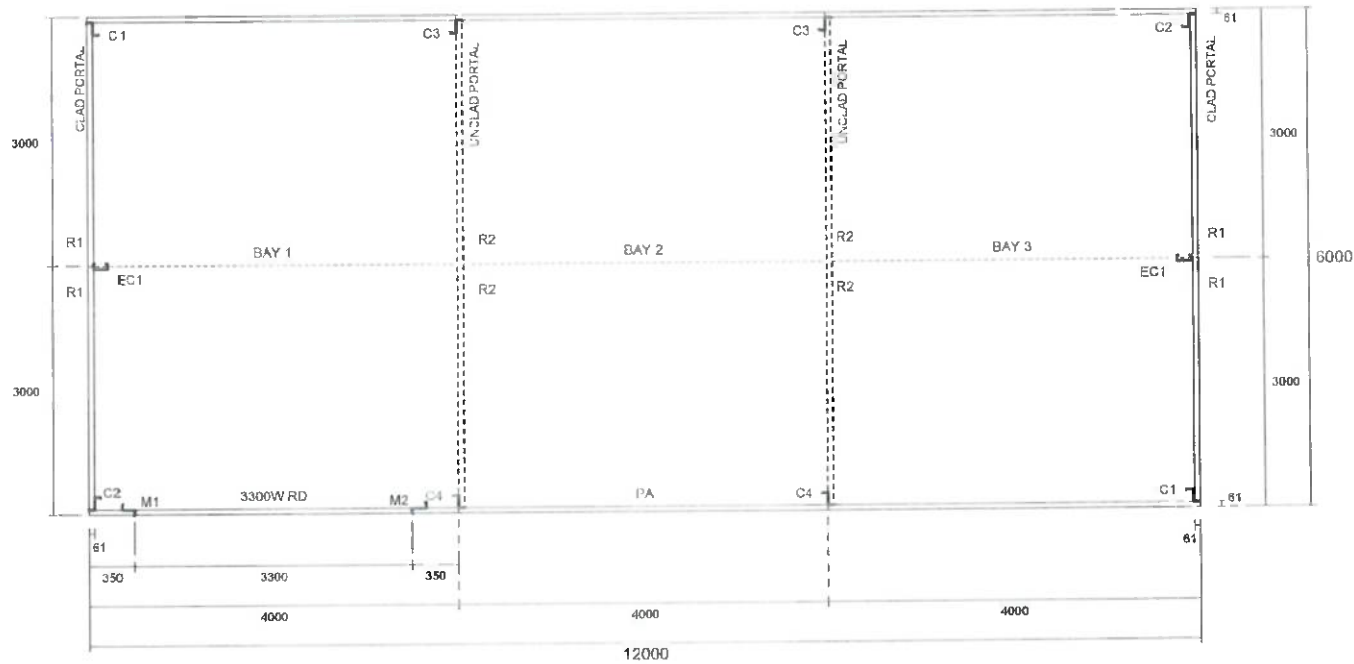
STRUCTURAL DRAWING NO. LEG1659-1 - DATE 1/7/2021



Sorell Council

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FLOOR PLAN

(SCHEMATIC DRAWING - FRAME DETAILS NOT TO SCALE)

PROPERTY DETAILS: OWNER: ANDREW WELDON - SITE ADDRESS: 3 PENDELL DRIVE FORCETT 7173
MUNICIPAL DISTRICT: SORELL COUNCIL

MEMBER TABLE

DESCRIPTION	MEMBER
CLAD COLUMNS (C1/C2)	Z15012
CLAD RAFTERS (R1)	C15012
UNCLAD COLUMNS (C3/C4)	Z15012
UNCLAD RAFTERS (R2)	C15012
END WALL COLUMNS (EC1)	C15012
PERSONAL DOOR JAMBS (DJ)	JAMB1 - U6110
ROLLER DOOR MULLIONS (M1/M2)	Z15012
ROLLER DOOR HEAD (DH1)	TOPSPAN 6110
EAVE PURLINS (EP1)	C10012
ROOF PURLINS (P1-P2)	TOPSPAN 6110
WALL GIRTS (G1-G5)	TOPSPAN 6110
ROOF CLADDING	0.42 TRIMDEK
WALL CLADDING	0.42 TRIMDEK

WALL CLADDING AND FASTENING DETAILS

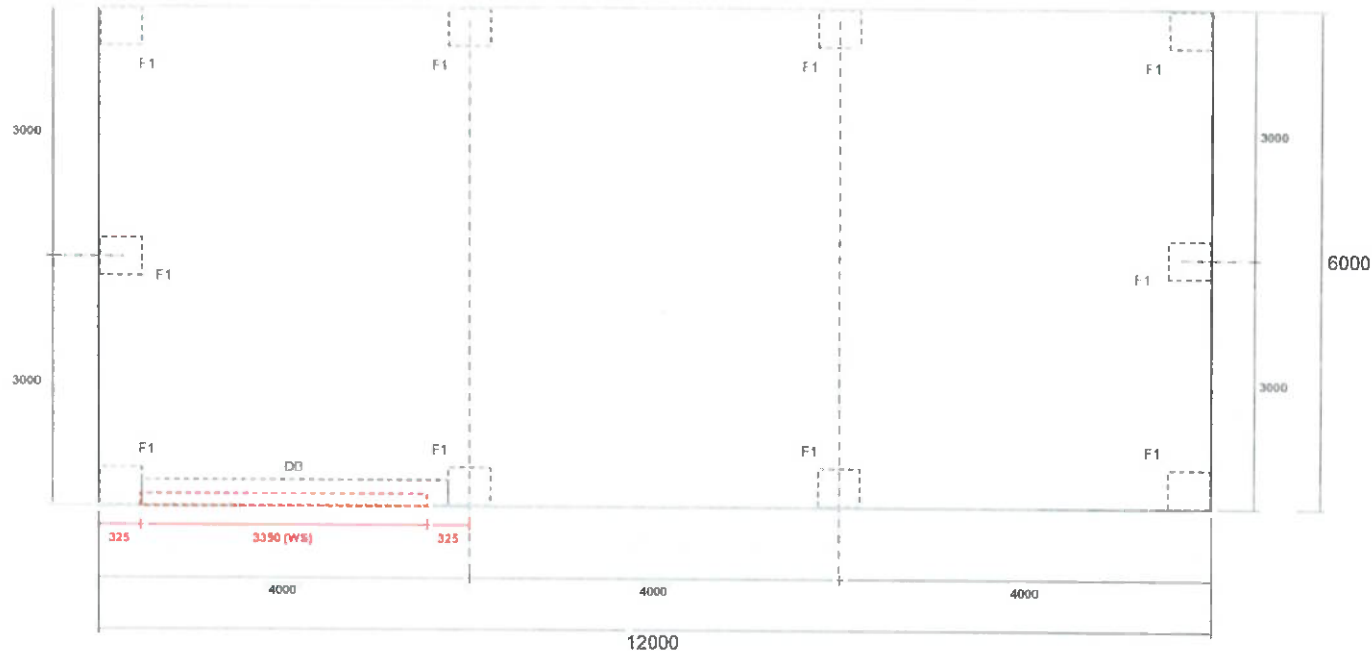
WALL CLADDING - 0.42 TRIMDEK



FASTEN TO EACH WALL GIRT/EAVE PURLIN WITH
1 OF 10/16x16 CL3 TEK IN PAN ADJACENT TO EACH EAVE

CONSULTING ENGINEER
JP ENGINEERS & ASSOCIATES
NFR No.3339325
EC42537 (Vic)
CC7434 (TAS)





SLAB AND FOOTING LAYOUT

SLAB/FOOTING DIMENSIONS AND FOUNDATION NOTES

MAIN SLAB FOOTINGS (F1) TO BE 450 SQ x 600 DEEP.
 SLAB TO BE 100 DEEP WITH SL72 MESH - 30 COVER MINIMUM
 SQUARE PIERS CAN BE ROUND PIERS OF SAME DIAMETER
 200 WIDE X 200 DEEP DOOR BEAM (DB) TO ROLLER DOOR LOCATION
 BE ABLE TO GO FROM FOOTING TO FOOTING. TRENCH MESH NOT
 REQUIRED.
 OPTIONAL WEATHER SLOPE (WS) TO ROLLER DOOR LOCATION. START
 SLOPE 150 BACK FROM EDGE OF SLAB AND FALL TO FRONT.

THIS SLAB HAS BEEN DESIGNED FOR A MAXIMUM LIVE LOAD OF 3kPa.
 SLAB AND FOOTINGS SHALL HAVE A MINIMUM CONCRETE STRENGTH
 OF 25MPa.
 SLAB AND FOOTINGS HAVE BEEN DESIGNED TO BEAR ON NATURAL
 GROUND OR CONTROLLED FILL WITH A MINIMUM BEARING CAPACITY
 OF 100kPa.
 WHERE REQUIRED, CONTROLLED FILL TO BE NON-SAND GRAVEL
 COMPACTED IN LAYERS TO A MAXIMUM DEPTH OF 600. EACH LAYER
 NOT TO EXCEED 150 DEEP. ALL FOOTINGS TO EXTEND TO NATURAL
 FOUNDATION
 ALL FILL TO BE COMPACTED WITH MECHANICALLY VIBRATING ROLLER.

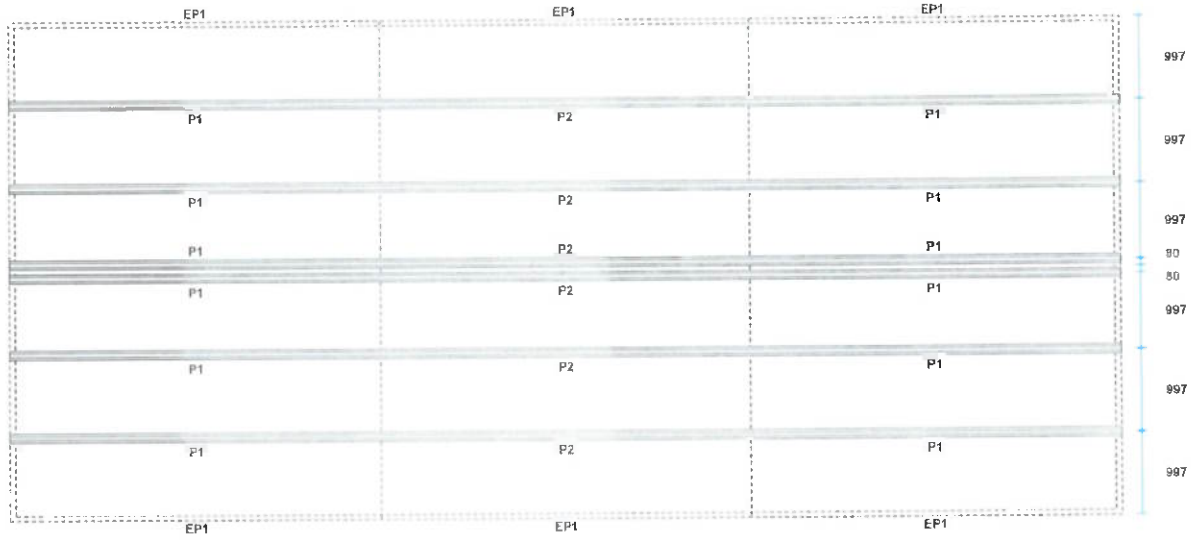
ELASTIC MEMBRANE TO UNDERSLAB. ALL JOINTS TO BE TAPED
 REMOVE MEMBRANE FROM FOOTING LOCATIONS.
 SLAB SHALL BE PROTECTED AGAINST EXCESSIVE MOISTURE LOSS
 AND ALLOWED TO CURE FOR A PERIOD OF NOT LESS THAN SEVEN
 DAYS AFTER POURING BEFORE STANDING OF STEELWORK.

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 JP ENGINEERS & ASSOCIATES
 NER No.3339325
 EC42637 (Mc)
 CC7434 (TAS)



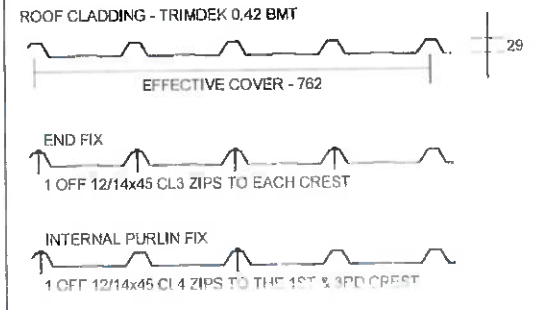
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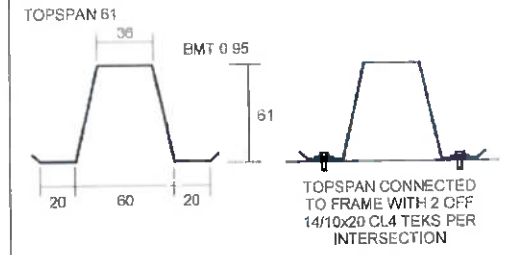
ROOF PURLIN LAYOUT


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ROOF CLADDING AND FASTENING DETAILS

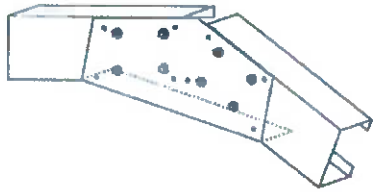


ROOF PURLIN / WALL GIRT DETAIL



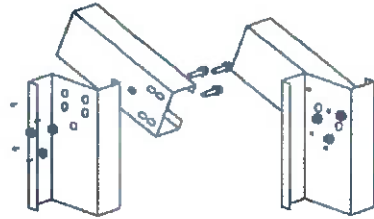
CONSULTING ENGINEER
 JP ENGINEERS & ASSOCIATES
 NER No 3339325
 EC42637 (Vic)
 CC7434 (TAS)





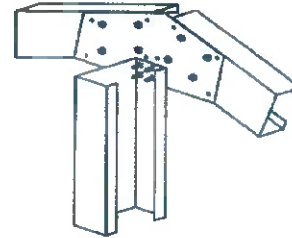
RAFTERS CONNECTED AT APEX WITH FURM APEX CLEAT. FASTEN WITH 8 OFF M16x30 8.8/6 BOLT ASSY & 8 OFF 14/10x20 CL3 TEKS.

APEX CONNECTION



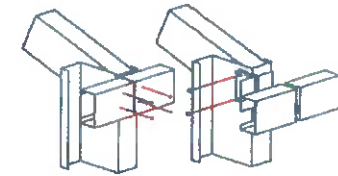
RAFTERS CONNECTED DIRECTLY TO COLUMN AT KNEE WITH 3 OFF M16x30 8.8/6 BOLT ASSY & 4 OFF 14/10x20 CL3 TEKS.

KNEE CONNECTION



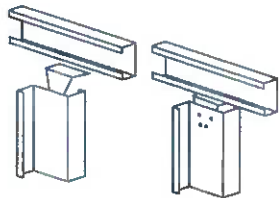
END WALL COLUMNS CONNECTED DIRECTLY TO APEX CLEAT AND/OR RAFTER FASTEN WITH 4 OFF 14/10x20 CL3 TEKS

END WALL COLUMN CONNECTION



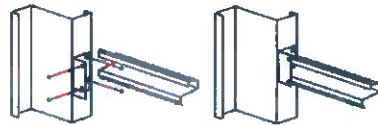
EAVE PURLIN TO BE C100 PURLIN FASTEN WITH FLANGES FACING INWARDS ATTACH TO SINGLE INTERNAL PORTALS WITH 2 OFF FURM EAVE003 CLEAT. SINGLE CLEAT TO END PORTALS. FASTEN WITH 2 OFF 14/10x20 CL3 TEKS

EAVE PURLIN CONNECTION



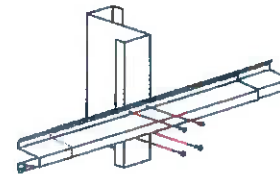
DOOR MULLIONS CONNECTED TO EAVE PURLIN WITH FURM M01 MULLION CLEAT. FASTEN WITH 4 OFF 14/10x20 CL3 TEKS

SIDE WALL DOOR MULLION EAVE CONNECTION



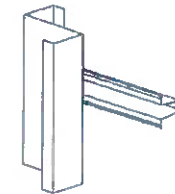
ROLLER DOOR HEAD FASTENED TO DOOR MULLION WITH FURM TSD011 TOPSPAN CLEAT. FIX WITH 4 OFF 14/10x20 CL3 TEKS

ROLLER DOOR HEAD CONNECTION



WALL GIRTS/ROOF PURLINS FASTENED WITH 4 OFF 14/10x20 CL3 TEKS TO COLUMN/RAFTER.

WALL GIRT/ROOF PURLIN CONNECTION



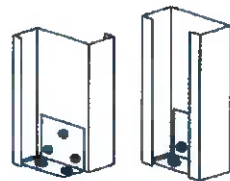
WALL GIRTS FIXED DIRECTLY TO CLAD COLUMN FIX WITH 4 OFF 14/10x20 CL3 TEKS

CLAD PORTAL WALL GIRT CONNECTION



PA MULLION FIXED TO FOUNDATION WITH FURM BASEPAD PA DOOR CLEAT. FIX WITH 4 OFF 14/10x20 CL3 TEKS TO MULLION AND 1 OFF M10x75 SCREWBOLTS TO FOUNDATION.

PERSONAL DOOR MULLION BASE CONNECTION



COLUMNS/MULLIONS FIXED TO FOUNDATION WITH FURM BASE CLEATS. FIX WITH 3 OFF M16x30 8.8/6 BOLT ASSY TO COLUMNS 150 COLUMNS - 2 OFF M12x100 SCREWBOLTS

COLUMN BASE CONNECTION



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CONSULTING ENGINEER

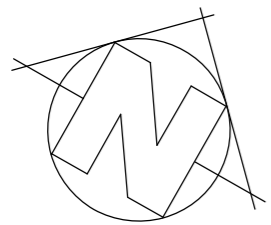
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Furm
Garages & Sheds
23 DALMATIAN CRT LEGANA TAS 7277
PH / FAX 1800 766 590

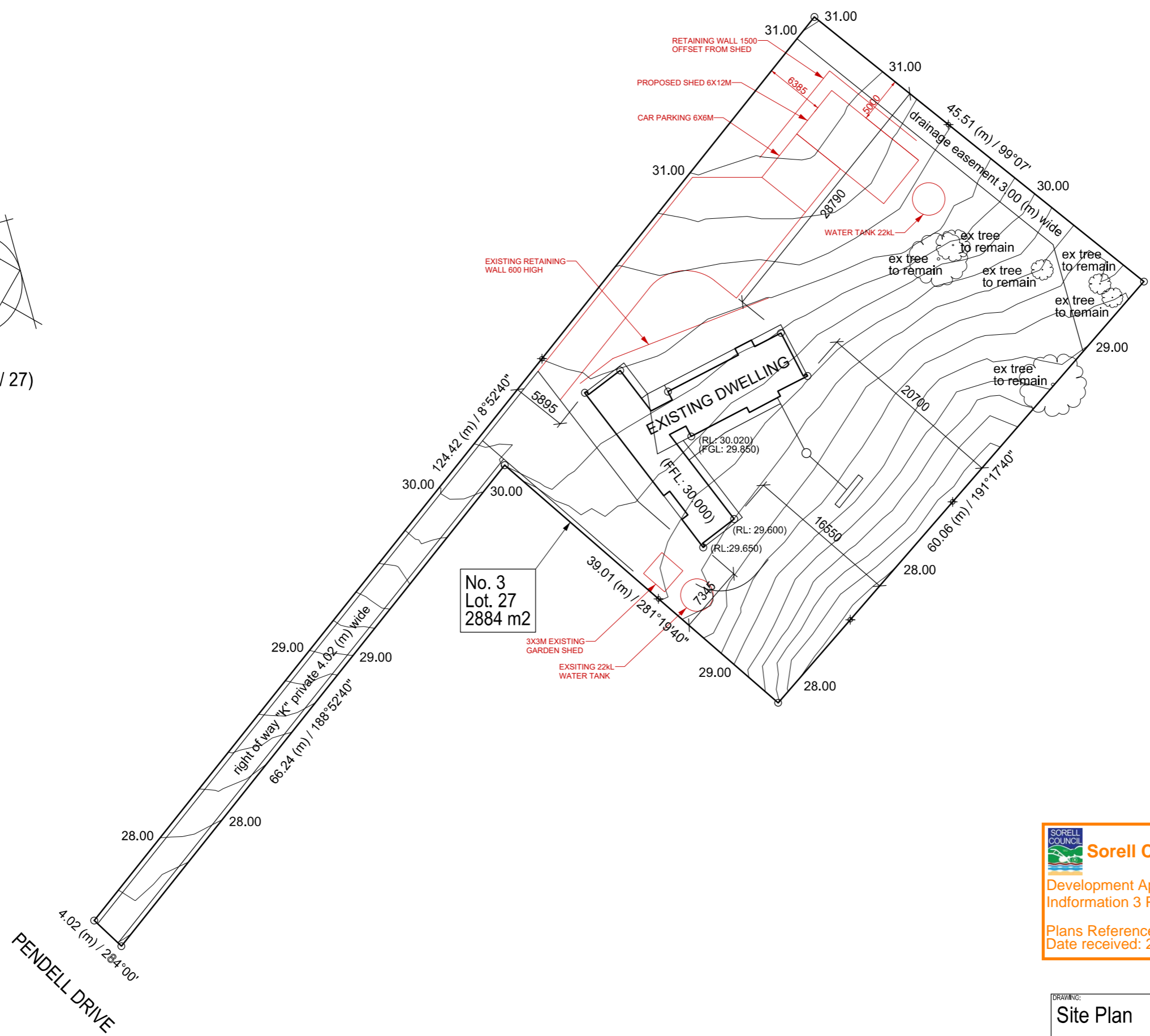
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STRUCTURAL DRAWING NO. LEG1659-1 - DATE 1/7/2021

PROPERTY DETAILS: OWNER: ANDREW WELDON - SITE ADDRESS: 3 PENDELL DRIVE FORCETT 7173
MUNICIPAL DISTRICT: SORELL COUNCIL



NORTH
(CT: 119566 / 27)



No. 3
Lot. 27
2884 m²

Sorell Council
 Development Application: Response to Further Information 3 Pendell Drive, Forcett - P2.pdf
 Plans Reference: P2
 Date received: 2/01/2025

SITE PLAN

scale 1:500

DRAWING:

Site Plan

- UPDATED TO INCLUDE:
- BOUNDARIES AND DIMENSIONS OF SITE AS DETAILED IN CERT. OF TITLE
- EXISTING EASEMENTS
- LOCATION OF PROPOSED SHED
- SET BACKS OF SHED FROM PROPERTY BOUNDARIES
- LOCATION AND WIDTH OF DRIVEWAYS
- LOCATION OF EARTH WORKS / RETAINING WALLS
- NORTH POINT
- PLAN REFERENCE NAME