

# NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

**SITE: 12 Lytham Crescent, Midway Point**

**PROPOSED DEVELOPMENT:**

**DWELLING**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at [www.sorell.tas.gov.au](http://www.sorell.tas.gov.au) until **Monday 2<sup>nd</sup> December 2024**.

Any person may make representation in relation to the proposal by letter or electronic mail ([sorell.council@sorell.tas.gov.au](mailto:sorell.council@sorell.tas.gov.au)) addressed to the General Manager. Representations must be received no later than **Monday 2<sup>nd</sup> December 2024**

**APPLICANT: Sjm Property Developments**

**APPLICATION NO: DA 2024 / 284 – 1**

**DATE: 14 November 2024**

**Part B: Please note that Part B of this form is publicly exhibited.**

|   |   |
|---|---|
| Full description of Proposal:             | Use: Residential  |
|   | Development: New Dwelling   |
|   | <i>Large or complex proposals should be described in a letter or planning report.</i> |
| Design and construction cost of proposal: | \$ 600.000  |

|   |   |
|---|---|
| Is all, or some the work already constructed: | No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/> |
|---|---|

|                             |   |
|-----------------------------|---|
| Location of proposed works: | Street address: 12 Lytham Crescent                |
|                             | Suburb: Midway Point Postcode: 7171               |
|                             | Certificate of Title(s) Volume: 187500 Folio: 152 |
|                             |   |

|                     |        |
|---------------------|--------|
| Current Use of Site | Vacant |
|---------------------|--------|

|                  |   |
|------------------|---|
| Current Owner/s: | Name(s) Wealthy Living Society Pty Ltd ATF Alhikma Investment Trust |
|------------------|---|

|  |   |   |
|--|---|---|
| Is the Property on the Tasmanian Heritage Register?                                  | No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/> | <i>If yes, please provide written advice from Heritage Tasmania</i>               |
| Is the proposal to be carried out in more than one stage?                            | No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/> | <i>If yes, please clearly describe in plans</i>                                   |
| Have any potentially contaminating uses been undertaken on the site?                 | No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/> | <i>If yes, please complete the Additional Information for Non-Residential Use</i> |
| Is any vegetation proposed to be removed?  | No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/> | <i>If yes, please ensure plans clearly show area to be impacted</i>               |
| Does the proposal involve land administered or owned by either the Crown or Council? | No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/> | <i>If yes, please complete the Council or Crown land section on page 3</i>        |

**If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form**  
<https://www.sorell.tas.gov.au/services/engineering/>



**Sorell Council**  
 Development Application: 5.2024.284.1 - 12 Lytham Court, Midway Point.pdf  
 Plans Reference: P1  
 Date Received: 6/11/2024



**Part B continued: Please note that Part B of this form is publicly exhibited**

**Declarations and acknowledgements**

- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.
- I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council’s representatives to enter the land at any time during normal business hours.
- I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.
- I/we declare that, in accordance with s52(1) of the *Land Use Planning and Approvals Act 1993*, that I have notified the owner(s) of the intention to make this application.
- I/we declare that the information in this application is true and correct.

*Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council’s Privacy Policy available on the Council website.*

- I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.
- Where the General Manager’s consent is also required under s.14 of the *Urban Drainage Act 2013*, by making this application I/we also apply for that consent.

|                             |   |
|-----------------------------|---|
| <b>Applicant Signature:</b> | Signature: .....  ..... Date: <b>04/11/2024</b> ..... |
|-----------------------------|---|

**Crown or General Manager Land Owner Consent**


If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the *Land Use Planning and Approvals Act 1993*).

Please note:

- If General Manager consent is required, please first complete the General Manager consent application form available on our website [www.sorell.tas.gov.au](http://www.sorell.tas.gov.au)
- If the application involves Crown land you will also need a letter of consent.
- Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.

I N/A being responsible for the administration of land at \_\_\_\_\_

declare that I have given permission for the making of this application for \_\_\_\_\_


**Sorell Council**  
 Development Application: 5.2024.284.1 - 12 Lytham Court, Midway Point.pdf  
 Plans Reference: P1  
 Date Received: 6/11/2024


|  |                              |
|--|------------------------------|
| <b>Signature of General Manager, Minister or Delegate:</b> | Signature: ..... Date: ..... |
|--|------------------------------|

# BUSHFIRE HAZARD REPORT



Proposed residential dwelling  
Lot 152 Lytham Crescent  
Midway Point, 7171

Dated 18<sup>th</sup> September 2024  
Report by David Lyne BFP-144

 **Sorell Council**  
Development Application: 5.2024.284.1 - 12  
Lytham Court, Midway Point.pdf  
Plans Reference:P1  
Date Received: 6/11/2024

11 Granville Avenue  
Geilston Bay, 7015  
M: 0421 852 987  
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**Appendix A** – Topographic Map with Cadastral & Contour Overlay - indicates subject site

**Appendix B** – Site photos and designers site plan

**Appendix C** – Bushfire Hazard Management Plan, by David Lyne – certified date 18.09.2024; & Certificate of Others (Form 55) 1566/24

### **1. Introduction**

I have been engaged by SJM Property Developments to prepare a bushfire report and plan for a new residential dwelling in the suburb of Midway Point. The intent of this report is to confirm the suitability of the bushfire prone parcel of land to be successfully developed for the dwelling in accordance with the Directors Determination – bushfire hazard areas v1.2 (the Code).

The assessment describes the site and surrounding area, classifying the vegetation, assessing the slope and environmental features. This report should be included with approval documentation forming part of the certified documentation intended to satisfy the Directors Determination. The body of the report describes the site and assesses the requirements to be implemented to satisfy the requirements of the Directors Determination.

## 2. Limitation of Report

This report has been prepared for the above mentioned clients for their use and distribution only. The intent of the report is to provide supporting documentation for the Development Application (specifically vegetation clearance/maintenance distances) and the Building Application. Should submitted Application Plans differ from the Certified Plans in this report then an amended design review should be conducted to determine the suitability of any amendments in relation to the Bushfire Prone Area Requirements of AS3959-2018.

It is also to be noted that the assessment has been conducted according to the site inspection being conducted in September 2024 and does not take into account the possibility of altered site conditions either naturally occurring or where currently maintained or excluded vegetation conditions change due to a lack of ongoing maintenance.

It should be noted that compliance with the recommendations contained in this assessment does not mean that there is no residual risk to life safety or property as a result of bushfire. A residual level of risk remains which recognizes that removing the risk to life and property in absolute terms is not achievable while people continue to build in bushfire prone areas. This limitation is expressed in the following extract from AS 3959 (2018) which states (in the forward), *It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions.*

This level of residual risk is inherent in all bushfire standards and also applies to this assessment.

## 3. Site Description and Background

Lot 152 Lytham Midway Point is an existing land parcel located in the municipality of the Sorell Council. The property is currently low threat vegetation, with neighbouring properties currently low threat vegetation to all directions.

The site has access to a pre-approved public road – Lytham Crescent, which links to Penna Road and eventually the Tasman Highway. This allotment is provided with a reticulated hydrant water supply for firefighting.

### 3.1 Property Details

Address: Lot 152 Lytham Crescent, Midway Point 7171

Municipality: Sorell Council

Zoned: General Residential

Lot Number: 187500/152

Type of Development: New Residential dwelling

Classified BAL: **BAL-LOW**





Appendix A: Photo 1 – Aerial photo with Cadastral Overlay – Subject site highlighted blue.

### 3.2 Classification of Vegetation

The vegetation affecting the site has been classified in accordance with Clause 2.2.3 of AS 3959-2018. The Bushfire-Prone vegetation affecting the site is predominantly **Grassland – Group G** in accordance with AS3959-2018.

In this case, in accordance with Clause 2.2.2 of AS 3959-2018, the relevant Fire Danger Index for Tasmania of 50 (FDI 50).

When considering the definition of Bushfire Prone Area under the Directors Determination it is evident the proposed dwelling location is within 100 metres of greater than 1 hectare of vegetation classified in accordance with AS 3959-2018 and is therefore considered '*Bushfire Prone*'.

From the proposed dwelling site a 360° survey has been conducted to determine the vegetation type, proximity and slope under the vegetation which is of the highest hazard rating. In this case the **Grassland – Group G** is the highest hazard vegetation surrounding the proposed dwelling.

Note: in a bushfire there is a possibility of fire attack from any direction, not just the direction of the highest hazard.

Photo 1 above indicates the Bushfire Prone Vegetation described. Refer to Appendix B for current conditions as at time of inspection.

### 3.3 Slope

The Effective slope of the land under the classified vegetation is determined in accordance with Clause 2.2.5 of AS 3959- 2018.

The *effective* slope under the bushfire prone vegetation is generally Upslope/Flatland to the east; downslope 0-5° to the north, south and to the west.

Refer to Appendix A Image for topographic contour information.

## 4. Bushfire Assessment

In accordance with Clause 2.2 of AS 3959-2018, the Simplified Procedure has been applied to determine the Bushfire Attack Level (BAL) for the proposed dwelling site. In accordance with the Directors Determination, fire-fighting water supply and vehicle access are also considered and discussed in relation to the proposed dwelling.

### 4.1 Bushfire Attack Level

Considering the current conditions, in accordance with AS3959-2018 the dwelling site is capable of achieving **BAL-LOW** (the minimum required standard being BAL-29 required by the Directors Determination).

The desired BAL rating to be applied in this instance will be **BAL-LOW**. The vegetation within the Hazard Management Area (HMA) is to be continually managed to a low threat level - as per Clause 2.2.3.2 of AS3959-2018.



Table 1 – Bushfire Attack Level Assessment Summary and Notes

**Property Details**

|                                     |  |                 |                     |
|-------------------------------------|--|-----------------|---------------------|
| <b>Applicants Name</b>              | SJM Property Developments                  | <b>Phone</b>    | 0407 542 974        |
| <b>Municipality</b>                 | Sorell Council                             | <b>Zoning</b>   | General Residential |
| <b>Certificate of Title/Lot No.</b> | 187500/152                                 | <b>Lot Size</b> | 450m <sup>2</sup>   |
| <b>Address</b>                      | Lot 152 Lytham Crescent, Midway Point 7171 |                 |                     |

**Type of Building Work**

|  |                                     |
|--|-------------------------------------|
| New Class 1a Buildings                       | <input checked="" type="checkbox"/> |
| New Class 10a Building                       | <input type="checkbox"/>            |
| New Class 2 Building                         | <input type="checkbox"/>            |
| New Class 3 Building                         | <input type="checkbox"/>            |
| Alteration/Additions to an existing building | <input type="checkbox"/>            |

Description of building work: e.g. *single dwelling with attached garage*

New residential dwelling

**Bush Fire Attack Level (BAL)**

Relevant fire danger index: (see clause 2.2.2)

**FDI 50**

**Assess the vegetation within 100m in all directions (tick relevant group)**

Note 1: Refer to table 2.3 and figures 2.3 & 2.4 for description and classification of vegetation.

Note 2: If there is no classified vegetation within 100m of the site then the BAL is LOW for that part of the site.

|   |   |   |  |  |
|---|---|---|--|--|
| Vegetation Classification (See Table 2.3) | North <input checked="" type="checkbox"/> | South <input checked="" type="checkbox"/> | East <input checked="" type="checkbox"/> | West <input checked="" type="checkbox"/> |
|   | North East <input type="checkbox"/>       | South-West <input type="checkbox"/>       | South-East <input type="checkbox"/>      | North-West <input type="checkbox"/>      |
| Group -                                   | Low threat veg.                           | Low threat veg.                           | Low threat veg.                          | Low threat veg.                          |

|                               |  |                                |                                |                                |
|-------------------------------|--|--------------------------------|--------------------------------|--------------------------------|
| Exclusions (where applicable) | Circle relevant paragraph descriptor from clause 2.2.3.2 |                                |                                |                                |
|                               | (a) (b) (c) (d) <b>(e) (f)</b>                           | (a) (b) (c) (d) <b>(e) (f)</b> | (a) (b) (c) (d) <b>(e) (f)</b> | (a) (b) (c) (d) <b>(e) (f)</b> |

**Distance of the site from classified vegetation (see clause 2.2.4)**

|                                   |                          |     |     |     |
|-----------------------------------|--------------------------|-----|-----|-----|
| Distance to classified vegetation | Show distances in meters |     |     |     |
|                                   | N/A                      | N/A | N/A | N/A |

|                                       |                                     |                                     |                                     |                                     |
|---------------------------------------|-------------------------------------|-------------------------------------|-------------------------------------|-------------------------------------|
| Effective Slope                       | Upslope                             |                                     |                                     |                                     |
| Slope under the classified vegetation | Upslope/0°                          | Upslope/0° X                        | Upslope/0°                          | Upslope/0° X                        |
|                                       | Downslope                           |                                     |                                     |                                     |
|                                       | >0 to 5° X                          | >0 to 5° <input type="checkbox"/>   | >0 to 5° X                          | >0 to 5° <input type="checkbox"/>   |
|                                       | >5 to 10° <input type="checkbox"/>  | >5 to 10° <input type="checkbox"/>  | >5 to 10° <input type="checkbox"/>  | >5 to 10° <input type="checkbox"/>  |
|                                       | >10 to 15° <input type="checkbox"/> | >10 to 15° <input type="checkbox"/> | >10 to 15° <input type="checkbox"/> | >10 to 15° <input type="checkbox"/> |
|                                       | >15 to 20° <input type="checkbox"/> | >15 to 20° <input type="checkbox"/> | >15 to 20° <input type="checkbox"/> | >15 to 20° <input type="checkbox"/> |

|                                     |         |         |         |         |
|-------------------------------------|---------|---------|---------|---------|
| BAL value for each side of the site | BAL-LOW | BAL-LOW | BAL-LOW | BAL-LOW |
| Separation to achieve BAL-29        | N/A     | N/A     | N/A     | N/A     |
| Separation to achieve BAL-19        | N/A     | N/A     | N/A     | N/A     |
| Separation to achieve BAL-12.5      | N/A     | N/A     | N/A     | N/A     |

#### Construction Requirements

For this particular development a BAL-LOW rating would suit all directions of this site, construction will be generally compliant with AS3959 -2018 Sections 3 and 4.

#### 4.2 Road / Vehicle Access

The primary access to the lot is from a sealed public road – Lytham Crescent, which connects to Penna Road and eventually the Tasman Highway. As there is a hydrant within 120m of the proposed dwelling, there are no requirements to upgrade the driveway and access for firefighting purposes.

#### 4.3 Water supply for firefighting

The proposed development has access to a reticulated water supply suitable for firefighting. There is an existing water hydrant located to the east of the front boundary of the property.

### 5. Conclusion

The site has been classified as **BAL-LOW** as per the assessment processes outlined in AS3959-2018. The separation distances shown above are the areas to be maintained and kept in a way to reduce the fuel loads present in order to achieve lower BAL ratings. For this particular site and for where the proposed building is to be constructed, a **BAL-LOW** rating is easily achieved and would suit all directions of the site.

### 6. References

- Directors Determination – Bushfire hazard areas v1.2
- LIST map version. Aerial Photograph [online]. Available from: <http://www.thelist.tas.gov.au/listmap/listmap>
- Standards Australia 2018, *Construction of buildings in bushfire prone areas*, AS 3959-2018.

**Statement**

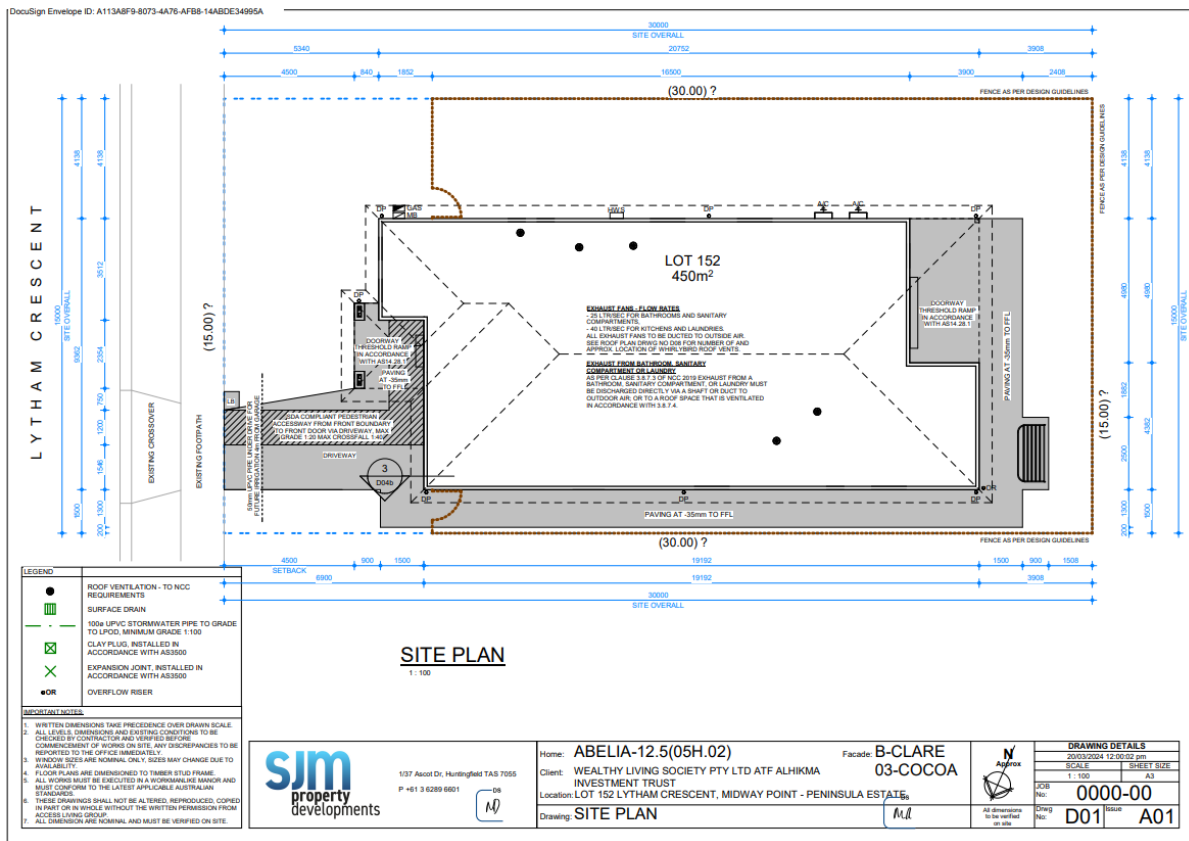
I have taken all reasonable steps to ensure that the information provided in this assessment is accurate and reflects the conditions on and around the site and allotment on the date of this assessment.

It should be noted that this report does not take into account the possibility of altered site conditions either naturally occurring or where currently maintained or excluded vegetation conditions change due to lack of ongoing maintenance. Compliance with the recommendations contained in this assessment does not mean that there is no residual risk to safety of life or property as a result of bushfire.

Signed: .....  .....

Date: 18/09/2024.....

**Appendix B – Site photos and designers site plan**





Looking North



Looking South





Looking East



Looking West

# CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

To:  Owner /Agent  
 Address  
 Suburb/postcode

Form **55**

## Qualified person details:

Qualified person:   
Address:  Phone No:   
  Fax No:   
Licence No:  Email address:

Qualifications and Insurance details:  *(description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)*

Speciality area of expertise:  *(description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)*

## Details of work:

Address:  Lot No:   
  Certificate of title No:

The assessable item related to this certificate:  *(description of the assessable item being certified)*  
*Assessable item includes –*  

- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

## Certificate details:

Certificate type:  *(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)*

This certificate is in relation to the above assessable items, at any stage, as part of – *(tick one)*

building work, plumbing work or plumbing installation or demolition work

OR

a building, temporary structure or plumbing installation

In issuing this certificate the following matters are relevant

Documents:

Bushfire Hazard Report – New residential dwelling  
Bushfire Hazard Management Plan

Relevant

- In Accordance with AS3959-2018; and
- the Building Regulations (TAS).

calculations:

References:

- AS3959-2018;
- the Building Regulations (TAS); and
- Building Code of Australia (BCA).

*Substance of Certificate: (what it is that is being certified)*

The above mentioned report concludes that a BAL-LOW rating is achievable and easily maintained for the dwelling on this site

*Scope and/or Limitations*

The assessment has been conducted according to information provided by the designer/client and freely available historical data and does not take into account the possibility of altered site conditions from the data relied upon.

It should be noted compliance with the recommendations contained in the certified documents does not mean that there is no residual risk to life safety and property as a result of bushfire. The limitation is expressed in the following extract from AS3959-2018, which states:

*It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions.*

The level of residual risk is inherent in all bushfire standards and also applies to this certification.

The assessment has been undertaken and certification provided on the understanding that; -


1. The certificate only deals with the potential bushfire risk all other statutory assessments are outside the scope of this report.

2. The report only identifies the size, volume and status of vegetation at the time the site inspection was undertaken and cannot be relied upon for any future development. Impacts of future development and vegetation growth have not been considered.

**I certify the matters described in this certificate.**

Qualified person:

Signed:



Certificate No:

1566 /24

Date:

18/09/2024

# **DISPERSIVE SOIL ASSESSMENT**

**Lots 148-152**

**Lytham Crescent**

**Midway Point**

**September 2024**



GEO-ENVIRONMENTAL  
SOLUTIONS



Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.



**Investigation Details**

|                              |   |
|------------------------------|---|
| <b>Client:</b>               | SJM Property Developments (Aus) Pty Ltd     |
| <b>Site Address:</b>         | Lots 148-152, Lytham Crescent, Midway Point |
| <b>Date of Inspection:</b>   | 10/09/2024                                  |
| <b>Proposed Works:</b>       | New house                                   |
| <b>Investigation Method:</b> | Geoprobe 540UD - Direct Push                |
| <b>Inspected by:</b>         | C. Cooper                                   |

**Site Details**

|                                      |   |
|--------------------------------------|---|
| <b>Certificate of Title (CT):</b>    | 187500/148-187500/152   |
| <b>Title Area:</b>                   | Approx. 441.6 m <sup>2</sup>  |
| <b>Applicable Planning Overlays:</b> | Bushfire-prone areas, Priority Vegetation, Airport obstacle limitation area |
| <b>Slope &amp; Aspect:</b>           | 3° NW facing slope  |
| <b>Vegetation:</b>                   | Grass & Weeds Fill  |

**Background Information**

|                                    |  |
|------------------------------------|--|
| <b>Geology Map:</b>                | MRT                                    |
| <b>Geological Unit:</b>            | Triassic Sandstone                     |
| <b>Climate:</b>                    | Annual rainfall 400mm                  |
| <b>Water Connection:</b>           | Mains                                  |
| <b>Sewer Connection:</b>           | Serviced-Mains                         |
| <b>Testing and Classification:</b> | AS2870:2011, AS1726:2017 & AS4055:2021 |

## Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

### **Soil Profile Summary Lot 148**

| BH 1<br>Depth (m) | BH 2<br>Depth (m) | USCS | Description   |
|-------------------|-------------------|------|---|
| 0.00-0.10         | 0.00-0.10         | SP   | FILL: <b>Gravelly SAND</b> : grey, brown, slightly moist, very dense,                     |
| 0.10-1.00         | 0.10-0.80         | CI   | <b>Sandy CLAY</b> : medium plasticity, dark grey, brown, slightly moist, stiff,           |
| 1.00-1.20         | 0.80-1.00         | CL   | <b>Sandy CLAY</b> : low plasticity, grey, pale brown, slightly moist, very dense, refusal |

### **Soil Profile Summary Lot 149**

| BH 1<br>Depth (m) | BH 2<br>Depth (m) | USCS | Description   |
|-------------------|-------------------|------|---|
| 0.00-0.10         |                   | SP   | FILL: <b>Gravelly SAND</b> : grey, brown, slightly moist, very dense,                     |
| 0.10-0.20         | 0.00-0.20         | SW   | <b>SAND</b> : dark grey, brown, moist, dense  |
| 0.20-0.90         | 0.20-0.80         | CI   | <b>Sandy CLAY</b> : medium plasticity, dark grey, brown, slightly moist, stiff,           |
|                   | 0.80-1.00         | GC   | <b>Clayey GRAVEL</b> : low plasticity, brown, slightly moist very dense,                  |
| 0.90-1.20         | 1.00-1.20         | CL   | <b>Sandy CLAY</b> : low plasticity, grey, pale brown, slightly moist, very dense, refusal |

**Soil Profile Summary Lot 150**

| BH 1<br>Depth (m) | BH 2<br>Depth (m) | USCS | Description   |
|-------------------|-------------------|------|---|
| 0.00-0.10         |                   | SP   | FILL: <b>Gravelly SAND</b> : grey, brown, slightly moist, very dense,                     |
| 0.10-0.30         | 0.00-0.30         | SW   | <b>SAND</b> : dark grey, brown, moist, dense  |
| 0.30-0.90         | 0.30-1.00         | CI   | <b>Sandy CLAY</b> : medium plasticity, dark grey, brown, slightly moist, stiff,           |
| 0.90-1.10         |                   | GC   | <b>Clayey GRAVEL</b> : low plasticity, brown, slightly moist very dense, refusal          |
|                   | 1.00-1.20         | CL   | <b>Sandy CLAY</b> : low plasticity, grey, pale brown, slightly moist, very dense, refusal |

**Soil Profile Summary Lot 151**

| BH 1<br>Depth (m) | BH 2<br>Depth (m) | USCS | Description   |
|-------------------|-------------------|------|---|
| 0.00-0.20         | 0.00-0.20         | SM   | <b>Silty SAND</b> : grey, brown, moist, medium dense,                                     |
| 0.20-0.60         | 0.20-0.30         | SW   | <b>SAND</b> : grey, moist to wet, medium dense  |
| 0.60-1.50         | 0.30-1.30         | CI   | <b>Sandy CLAY</b> : medium plasticity, dark grey, brown, slightly moist, stiff,           |
| 1.50-1.70         | 1.30-1.40         | CL   | <b>Sandy CLAY</b> : low plasticity, grey, pale brown, slightly moist, very dense, refusal |

### Soil Profile Summary Lot 152

| BH 1<br>Depth (m) | BH 2<br>Depth (m) | USCS | Description   |
|-------------------|-------------------|------|---|
| 0.00-0.20         |                   | SC   | FILL: <b>Clayey SAND</b> : grey, brown, slightly moist, very dense,                       |
|                   | 0.00-0.20         | SM   | <b>Silty SAND</b> : dark grey, brown, moist, dense  |
| 0.20-0.60         | 0.20-0.40         | SW   | <b>SAND</b> : dark grey, brown, moist, dense  |
| 0.60-0.90         | 0.40-1.00         | CI   | <b>Sandy CLAY</b> : medium plasticity, dark grey, brown, slightly moist, stiff,           |
| 0.90-1.50         | 1.00-1.70         | CL   | <b>Sandy CLAY</b> : low plasticity, grey, pale brown, slightly moist, very dense, refusal |

### Site Notes

The soil on each site has formed from Triassic sandstone. The subsoil was tested for dispersion using the Emerson Test and was found to be dispersive Class 2(3) -obvious milkiness, >50% of the aggregate affected.

### Dispersive Soil Assessment

The dispersive soil assessment of the property considers the proposed construction area.

#### **Potential for dispersive soils**

The sites have been identified as areas subject to a tunnel erosion hazard according to '*Dispersive Soils and Their Management: Technical Reference Manual*'. This is due to the soils present on each site that have developed from Triassic sediments that contain considerable fine sand/silt content and low to medium plasticity clays. Triassic sediments in the local area known to produce soils with an excess of sodium on the soil exchange complex, which can cause soil dispersion. Under some circumstances the presence of dispersive soils can also lead to significant erosion, and in particular tunnel erosion. Based upon field survey of the properties, no visible tunnel or gully erosion was identified. However, a soil sampling program was undertaken to identify the presence of dispersive soils in the proposed development areas.

#### **Soil sampling and testing**

Two samples were taken at each site for assessment of dispersion. An Emerson (1968) Dispersion tests were conducted to determine if these samples were dispersive.



The results showed that the soils on each site are dispersive in the construction areas (Class 2 (3)). All construction on site should refer to the DPIWE management of dispersive soils publication.

It is recommended that construction be planned and executed in accordance with recommendations for dispersive soils. In particular, it is recommended that the dispersive soils not to be utilised as structural fill in the proposed construction areas. Careful water management is also required to ensure water does not pond on the soil surface and excess water is excluded from bare exposed soil soils as well as the natural drainage depression.

Based upon the test results there is a moderate risk of soil dispersion and significant erosion on each site, and as such a number of specific recommendations have been made in the following sections.

## **Management Recommendations**

A number of site and soil management measures are recommended for development on each site.

The proposed site cut/fill and driveway areas must be managed by:

- Applying a geo-fabric, jute mesh or similar material to the exposed batters of any cutting on site and revegetating the slope
- Applying a surface layer of at least 50mm of suitable crushed rock/gravel to the driveway surface (and any proposed house pad), with adequate compaction to ensure a relatively impervious surface to maintain site surface stability
- Vegetation on any fill batters must be established and maintained, if any bare area of soil on the batter develops then it must be top-dressed with suitable topsoil and additional vegetation planted

The risk of erosion and tunnel erosion associated with construction must be minimized by:

- Any new water, power, or other service trenches within the property must ensure recommendations for dispersive soils are followed:
  - o Where possible trenches to be placed shallow in topsoil and mounded over to achieve the required cover depth
  - o If buried the trench must be backfilled in layers of no more than 200mm with clay with 5% by weight gypsum added (the clay must be sufficiently moist to allow good compaction)
  - o The trench must be finished with at least 150mm depth of non-dispersive suitable topsoil and finished to a level at least 75mm above natural ground to allow for possible settlement.
- Vegetation cover must be maintained wherever possible on the property

- It is recommended foundations for the proposed dwellings be placed onto underlying rock in accordance with the structural engineers' recommendations. Alternatively, foundations may be placed into the natural soil. However, care must be taken to ensure all exposed soil in the foundation area is compacted and 1Kg/m<sup>2</sup> of gypsum is applied. Excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil with natural soil and gypsum and
- All stormwater runoff from the dwellings to be directed to water tanks for site reuse as possible, with water tank overflow dissipated via surface spreaders and not into subsurface absorption drains (unless the drains are adequately treated with gypsum and lined)
- Drainage of the proposed site cut must not employ conventional rock drain construction; it must adhere to recommendations for dispersive soils (unless founded entirely in rock)
- All excavation works on each site should be monitored for signs of soil dispersion and remedial action taken as required – in particular any excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil

## **Conclusions**

There is a moderate risk associated with dispersive soils and potential erosion on each site provided all the management recommendations are followed. All exposed soils on cut/fill batters must be covered with topsoil and seeded with well suited pasture species to avoid rainwater, runoff, surface water flows from intercepting exposed subsoils. Wastewater absorption areas must be constructed during dry weather, treated with gypsum, only placed to shallow depths, and be covered over as quickly as possible.

A number of site management recommendations have been made in this report and further information can also be found in the publication “Dispersive soils and their management – Technical manual” (DPIWE Tas 2009)

It is recommended that during construction that GES be notified of any major variation to the soil conditions as predicted in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD  
*Environmental and Engineering Soil Scientist*

Appendix 1– Soil test results

# Laboratory Test Results

Sample Submitted By: C Cooper  
 Date Submitted: 11/09/24  
 Sample Identification: 2 samples – Lot 148 Lytham Crescent  
 Soil to be tested: Emerson soil dispersion test  
 Result:

| Sample     | Texture | Emerson class | Description                   |
|------------|---------|---------------|-------------------------------|
| BH1 – 0.5m | Clay    | Class 2:3     | Some dispersion >50% affected |
| BH2 – 0.5m | Clay    | Class 2:3     | Some dispersion >50% affected |

Sample Tested by: G McDonald

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Appendix 1– Soil test results

# Laboratory Test Results

Sample Submitted By: C Cooper  
 Date Submitted: 11/09/24  
 Sample Identification: 2 samples – Lot 149 Lytham Crescent  
 Soil to be tested: Emerson soil dispersion test  
 Result:

| Sample     | Texture | Emerson class | Description                   |
|------------|---------|---------------|-------------------------------|
| BH1 – 0.5m | Clay    | Class 2:3     | Some dispersion >50% affected |
| BH2 – 0.5m | Clay    | Class 2:3     | Some dispersion >50% affected |

Sample Tested by: G McDonald

---



Appendix 1– Soil test results

# Laboratory Test Results

Sample Submitted By: C Cooper  
 Date Submitted: 11/09/24  
 Sample Identification: 2 samples – Lot 150 Lytham Crescent  
 Soil to be tested: Emerson soil dispersion test  
 Result:

| Sample     | Texture | Emerson class | Description                   |
|------------|---------|---------------|-------------------------------|
| BH1 – 0.5m | Clay    | Class 2:3     | Some dispersion >50% affected |
| BH2 – 0.5m | Clay    | Class 2:3     | Some dispersion >50% affected |

Sample Tested by: G McDonald

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Appendix 1– Soil test results

# Laboratory Test Results

Sample Submitted By: C Cooper  
 Date Submitted: 11/09/24  
 Sample Identification: 2 samples – Lot 151 Lytham Crescent  
 Soil to be tested: Emerson soil dispersion test  
 Result:

| Sample     | Texture | Emerson class | Description                   |
|------------|---------|---------------|-------------------------------|
| BH1 – 0.7m | Clay    | Class 2:3     | Some dispersion >50% affected |
| BH2 – 0.5m | Clay    | Class 2:3     | Some dispersion >50% affected |

Sample Tested by: G McDonald

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**Appendix 1– Soil test results**

# Laboratory Test Results

**Sample Submitted By:** C Cooper  
**Date Submitted:** 11/09/24  
**Sample Identification:** 2 samples – Lot 152 Lytham Crescent  
**Soil to be tested:** Emerson soil dispersion test  
**Result:**

| Sample     | Texture | Emerson class | Description                   |
|------------|---------|---------------|-------------------------------|
| BH1 – 0.7m | Clay    | Class 2:3     | Some dispersion >50% affected |
| BH2 – 0.8m | Clay    | Class 2:3     | Some dispersion >50% affected |

**Sample Tested by:** G McDonald

## **Disclaimer**

This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organizations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

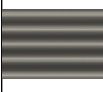

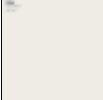

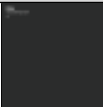
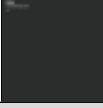
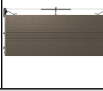

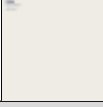

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for the use of any part of this report in any other context or for any other purpose by third a party.



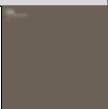
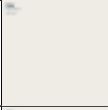
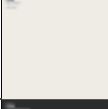




### EXTERIOR SCHEDULE - SCHEME 03 COCOA

|                       |                           |
|-----------------------|---------------------------|
| <b>Builder:</b>       | SJM Property Developments |
| <b>Revision Date:</b> | 23/02/2024                |
| <b>Revision No:</b>   | 05                        |
| <b>Design:</b>        | Abelia                    |

| Item/Location                 | Product Code/Name             | Finish/Size/Colour/Comments                                     | Manufacturer | Image   |
|-------------------------------|-------------------------------|---|--------------|---|
| <b>Roofing</b>                |                               |   |              |   |
| Corrugated Roof Sheet         | Custom Orb                    | Colorbond Dune  |              |    |
| Fascia & Gutter               | Quad Profile                  | Colorbond Dune  |              |    |
| Downpipes                     | Round PVC                     | Painted Dulux Natural White                                     |              |    |
| <b>Doors</b>                  |                               |   |              |   |
| Front Door                    | Madison PMAD 101              | Translucent Glass   | Corinthian   |   |
| Rear Garage Door              | Solid Core External           |   | Corinthian   |   |
| <b>Windows and Flyscreens</b> |                               |   |              |   |
| Windows (Double Glazed)       |                               | Colorbond Night Sky Frame Black Hardware                        |              |  |
| Fly Screens                   |                               | Colorbond Night Sky Frame Mesh – BAL compliant mesh if required |              |  |
| <b>Garage Door</b>            |                               |   |              |   |
| Garage Door                   | Panelift                      | Nullarbor, Woodgrain Textured Colorbond Jasper                  | b&d          |  |
| <b>Render</b>                 |                               |   |              |   |
| Render A                      | Hardie™ Fine Texture Cladding | Colorbond Dune  | Dulux        |  |
| Render B                      | Hardie™ Fine Texture Cladding | Natural White   | Dulux        |  |
| <b>Cladding</b>               |                               |   |              |   |
| Refer to Exterior Elevations  | Axon 133mm Smooth Vertical    | Dulux Peppercorn Rent P12A9                                     | James Hardie |  |

DS  
ML

DS  
MD

| Paint                                 |                                    |   |            |   |
|---------------------------------------|------------------------------------|---|------------|---|
| Porch Post (upper, Clare façade only) |                                    | Colorbond Jasper                                    | Dulux      |    |
| Alfresco / Porch Ceiling              |                                    | Natural White                                       | Dulux      |    |
| Eave Lining                           |                                    | Natural White                                       | Dulux      |    |
| Front Door                            |                                    | Colorbond Night Sky                                 | Dulux      |    |
| Rear Garage Door                      |                                    | Colorbond Night Sky                                 | Dulux      |    |
| Concreting                            |                                    |   |            |   |
| Driveway                              | Coloured concrete                  | Colourmix Bluestone Aqua or Colourmix Charcoal Aqua |            |   |
| Electrical                            |                                    |   |            |   |
| Porch / Alfresco Ceiling Lights       | Builder's Range LED                | White   |            |   |
| Miscellaneous                         |                                    |   |            |   |
| Clothesline                           | Single Fold Down MK2 Lift and Lock | Black   | Daytek     |  |
| Letterbox                             | Dune Letterbox                     | Black   | Sandleford |  |



## GENERAL NOTES

### BUILDING MEMBRANE

AS PER CLAUSE 3.8.7.2 OF NCC 2019 A PLIABLE BUILDING MEMBRANE TO BE INSTALLED THAT COMPLIES WITH AS/NZS 4200.1 AND TO BE INSTALLED IN ACCORDANCE WITH AS/NZS 4200.2 AND MUST BE A VAPOUR PERMEABLE MEMBRANE FOR CLIMATE ZONES 6/7/8.

### DOORS - WATER CLOSET

PROVIDE "LIFT-OFF" HINGES TO ALL WC DOORS.

### DOORS - INTERNAL GARAGE

PROVIDE DOOR SEAL AS PER NCC 2019 CLAUSE 3.12.3.3.

### DOWNPIPES - TEMPORARY

TEMPORARY DOWNPIPES TO BE INSTALLED DURING CONSTRUCTION TO PREVENT WATER PONDING NEAR THE SLAB.

### EXHAUST FANS - FLOW RATES

- 25 LTR/SEC FOR BATHROOMS AND SANITARY COMPARTMENTS,  
- 40 LTR/SEC FOR KITCHENS AND LAUNDRIES.

ALL EXHAUST FANS TO BE DUCTED TO OUTSIDE AIR.  
SEE ROOF PLAN DRWG NO D08 FOR NUMBER OF AND APPROX. LOCATION OF WHIRLYBIRD ROOF VENTS.

### EXHAUST FROM BATHROOM, SANITARY

#### COMPARTMENT OR LAUNDRY

AS PER CLAUSE 3.8.7.3 OF NCC 2019 EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED DIRECTLY VIA A SHAFT OR DUCT TO OUTDOOR AIR; OR TO A ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH 3.8.7.4.

### GLAZING

GLAZING TO COMPLY WITH AS1288 & AS2047.

### PLUMBING

- PLUMBING AND DRAINAGE WORKS TO COMPLY WITH AS3500 2021.  
- BACKFLOW PROTECTION VALVE IS REQUIRED TO BE INSTALLED TO SHOWER HOSE ASSEMBLY WHERE SHOWER HOSE CAN REACH THE TOILET BOWL.

- HOT WATER INSTALLATION SHALL DELIVER HOT WATER TO ALL SANITARY FIXTURES USED FOR PERSONAL HYGIENE AT 50°C, KITCHEN & LAUNDRY SHALL BE 60°C TO COMPLY WITH REQUIREMENTS OF AS3500 2021. (TEMPERING VALVES TO BE INSTALLED TO SUIT).

### WATERPROOFING - INTERNAL

PROVIDE INTERIOR WATERPROOFING TO COMPLY WITH AS3740 2021.

### EMERGENCY POWER SOLUTIONS

PROVIDE EMERGENCY POWER SOLUTIONS (I.E. UNINTERRUPTED POWER SUPPLY (UPS)) SHALL BE PROVIDED.

### ASSISTIVE TECHNOLOGY

INTERNET CONNECTION SHALL BE PROVIDED WITH THE ABILITY FOR HIGH INTERNET SPEEDS TO BE MAINTAINED AND STABLE IN NATURE WITH WI-FI COVERAGE THROUGHOUT ALL AREAS OF THE DWELLING

### INTERNAL GARAGE CONSTRUCTION

THE INSIDE OF THE GARAGE IS TO INCLUDE THE FOLLOWING:

A. A 10mm ALUMINIUM ANGLE OR KILN DRIED HARDWOOD TIMBER SILL/THRESHOLD (OR OTHER TYPE OF DURABLE UPSTAND) IS INSTALLED ACCROSS THE PEDESTRIAN DOORWAY BETWEEN THE GARAGE AND THE DWELLING. THE UPSTAND/THRESHOLD IS TO BE SEALED TO THE CONCRETE USING A WATERPROOF SEALANT.

### REFER TO FINAL DRAINAGE PLANS FOR LOCATIONS OF AGRICULTURAL DRAINS AND SILT PITS

### SOIL CLASSIFICATION

CLASS "P"

AS PER SOIL REPORT PROVIDED BY "GEO-ENVIRONMENTAL SOLUTIONS

PTY. LTD. (GES)"

FILE NO: J10849

DATED: 13/09/2024

### WIND RATING : N3

### SITE CUT AND BATTER

SITE CUT AND FILL TO BE MINIMUM 1.2m FROM DWELLING BOUNDARY AND BATTERED AT NO MORE THAN 45 DEGREES SITE CUTS/FILLING WORKS NOT SUPPORTED BY RETAINING WALLS SHALL BE FINISHED WITH A BATTER OF 45 DEGREES AND AN AGRICULTURAL DRAIN AT THE BASE OR A SPOON DRAIN AT THE END OF ANY FUTURE PAVING EXTERNAL WALL FOOTINGS SHALL NOT BE FOUNDED AT GREATER DEPTHS THAN THE ADJOINING BUILDING FOOTINGS. STOP WORKS AND CONTACT THE OFFICE IMMEDIATELY IF THE ABOVE CANNOT BE ACHIEVED.

### STORMWATER DRAIN

CONSTRUCT & DISCHARGE 100 DIA. P.V.C STORM WATER DRAIN TO LEGAL POINT OF DISCHARGE AS DIRECTED BY THE RELEVANT AUTHORITY. MIN FALL 1:100 PROVIDE INSPECTION OPENINGS AT 9000 MAX CTRS OR AT EVERY CHANGE OF DIRECTION. DP DENOTES 100x50 DOWNPIPES AT 12000 MAX CTRS. PROVIDE 100 DIA. SEWERGRADE S.W DRAIN UNDER SLAB AND DRIVEWAY.

### GARDEN TAPS

POSITION OF THE FRONT GARDEN TAP & WATER METER IS BY WATER AUTHORITY, THE FULL COST OF RELOCATION IS AT THE OWNER'S EXPENSE.

### LEVELS

LEVELS SHOWN ARE TO AN ARBITRARY DATUM AND ARE TO BE USED AS A GUIDE ONLY. OWNER/BUILDER TO CHECK AND VERIFY ON SITE PRIOR TO ANY WORK BEING CARRIED OUT. ALL LEVELS ON DRAWINGS ARE NOMINAL AND MAY ALTER DUE TO SITE CONDITIONS UP TO 50mm EITHER WAY.

### GENERAL

- CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND MEASUREMENTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.

- ALL WORK IS SUBJECT TO INSPECTION AND APPROVAL OF RELEVANT BUILDING SURVEYOR.

- ALL WORK SHOWN TO BE CARRIED OUT IN GOOD WORKMAN LIKE MANNER IN ACCORDANCE WITH "NATIONAL CONSTRUCTION CODE - 2019".

- NO RESPONSIBILITY IS TAKEN FOR WORK DONE AFTER ACCEPTANCE OF PLANS BY CLIENT.

- WORK SHOWN TO BE IN ACCORDANCE WITH SPECIFICATIONS/COMPUTATIONS SUPPLIED.

### EXCAVATION

- EXCAVATE FOOTINGS AND DRAINS AS SHOWN. KEEP EXCAVATIONS DRY AND BACKFILL WITH APPROVED MATERIALS FREE OF ANY BUILDING DEBRIS.

## ENERGY RATING

- ALL EXTERNAL DOORS AND WINDOWS TO UTILITY ROOMS (NON-HEATED BATHROOMS, LAUNDRIES; STORAGE ROOMS) TO BE WEATHER-SEALED WITH WEATHER-STRIPPING BETWEEN THE DOOR AND THE FRAME, AND A DRAFT EXCLUDER FITTED AT THE BOTTOM OF THE DOOR TO CREATE A TIGHT SEAL WHEN CLOSED.

- ALL OPENABLE WINDOWS TO HAVE WEATHER-STRIPPING BETWEEN THE FRAME AND THE SASH TO CREATE A TIGHT SEAL WHEN CLOSED.

- ENTRY DOOR TO BE WEATHER-STRIPPED.

- ALL GENERAL BUILDING GAPS AND CRACKS TO BE FILLED.

- ALL REFLECTIVE FOIL TO BE INSTALLED TO MANUFACTURERS RECCOMENDATIONS AND TO RUN CONTIGUOUSLY FROM BOTTOM PLATE TO TOP PLATE WITH ALL GAPS TAPED. ALL RIPS IN FOIL AND PENETRATIONS TO BE RE-TAPED.

- ONLY NON-VENTED DOWNLIGHTS, AND SKYLIGHTS TO BE USED

- EXHAUST FANS TO BE SELF-SEALING, OR FITTED WITH A SELF CLOSING DEVICE TO PROVIDE A SEAL TO UNWANTED VENTILATION.

- R2.5 BATTS TO EXTERNAL WALLS.

- R2.5 BATTS TO GARAGE INTERNAL WALLS.

- R5.0 BATTS TO CEILINGS.

- ALL WINDOWS/SLIDING DOORS ARE TO BE ALUMINIUM FRAMED DOUBLE GLAZED CLEAR GLASS WITH A MINIMUM U-VALUE & SHGC AS LISTED IN THE ENERGY REPORT.

## DRAWING REGISTER


| NUMBER | DRAWING NAME                    |
|--------|---------------------------------|
| D00a   | NOTES & DRAWING REGISTER        |
| D00b   | WET AREA WATER PROOFING         |
| D01a   | SITE PLAN                       |
| D01b   | SITE EXCAVATION PLAN            |
| D01c   | SURVEY PLAN                     |
| D02    | FLOOR PLAN                      |
| D03a   | ELEVATIONS A & B                |
| D03b   | ELEVATIONS C & D                |
| D03c   | ELEVATIONS - NOTES              |
| D04a   | SECTIONS                        |
| D04b   | SECTIONS - TYPICAL              |
| D05    | WINDOW & DOOR SCHEDULE          |
| D06a   | INTERNAL ELEVATIONS - KITCHEN   |
| D06b   | INTERNAL ELEVATIONS - KITCHEN   |
| D06c   | INTERNAL ELEVATIONS - KITCHEN   |
| D06d   | INTERNAL ELEVATIONS - TYPICAL   |
| D07a   | WET AREA ELEVATIONS - WC        |
| D07b   | WET AREA ELEVATIONS - WC        |
| D07c   | WET AREA ELEVATIONS - ENSUITE 1 |
| D07d   | WET AREA ELEVATIONS - ENSUITE 1 |
| D07e   | WET AREA ELEVATIONS - ENSUITE 2 |
| D07f   | WET AREA ELEVATIONS - ENSUITE 2 |
| D07g   | WET AREA ELEVATIONS - LAUNDRY   |
| D08    | ROOF PLAN                       |
| D09    | SLAB PLAN                       |
| D10a   | SLAB PENETRATION PLAN           |
| D10b   | PLUMBING PLAN                   |
| D10c   | STORMWATER MANAGEMENT PLAN      |
| D11    | FLOOR FINISHES PLAN             |
| D12    | ELECTRICAL & LIGHTING PLANS     |
| D13    | SPRINKLER PLAN                  |
| D14    | LANDSCAPE PLAN                  |

### BUSHFIRE ASSESSMENT

THIS LOT HAS BEEN ASSESSED AS BAL-LOW.  
(NO ADDITIONAL CONSTRUCTION REQUIREMENTS)

### IMPORTANT NOTES:

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.
- ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE, ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
- WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
- FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME.
- ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANOR AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS.
- THESE DRAWINGS SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION FROM ACCESS LIVING GROUP.
- ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE.

|   |  |                                     |                                       |                      |
|---|--|-------------------------------------|---------------------------------------|----------------------|
|  <p>1/37 Ascot Dr, Huntingfield TAS 7055<br/>P +61 3 6289 6601</p> | Home: <b>ABELIA-12.5(05H.03)</b>                             | Facade: <b>B-CLARE<br/>03-COCOA</b> | <b>DRAWING DETAILS</b>                |                      |
|   | Client: <b>SJM</b>   |                                     | 31/10/2024 11:58:43 AM                |                      |
|   | Location: 12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171 |                                     | SCALE<br>1 : 100                      | SHEET SIZE<br>A3     |
|   | Drawing: <b>NOTES &amp; DRAWING REGISTER</b>                 |                                     | JOB No: <b>527N</b>                   | Drwg No: <b>D00a</b> |
|   |  |                                     | All dimensions to be verified on site |                      |



**Sorell Council**

Development Application: 5.2024.284.1 - 12  
Lytham Court, Midway Point.pdf

Plans Reference:P1  
Date Received: 6/11/2024

# WET AREA WATER PROOFING

## 10.2.1 WET AREAS

- (1) BUILDING ELEMENTS IN WET AREAS WITHIN A BUILDING MUST BE PROTECTED WITH A WATERPROOFING SYSTEM.
- (2) THE WATER PROOFING SYSTEM IN (1) MUST EITHER BE WATERPROOF OR WATER RESISTANT IN ACCORDANCE WITH 10.2.2 TO 10.2.6.

## 10.2.2 SHOWER AREA (ENCLOSED AND UNENCLOSED)

- (1) FOR A SHOWER AREA WITH A HOB, STEP-DOWN OR LEVEL THRESHOLD, THE FOLLOWING APPLIES:
  - (A) THE FLOOR OF THE SHOWER AREA MUST BE WATERPROOF, INCLUDING ANY HOB OR STEP-DOWN (SEE FIGURE 10.2.2); AND
  - (B) THE WALLS OF THE SHOWER AREA MUST BE WATERPROOF NOT LESS THAN 1800 MM ABOVE THE FLOOR SUBSTRATE (SEE FIGURE 10.2.2).
  - (C) WALL JUNCTIONS AND JOINTS WITHIN THE SHOWER AREA MUST BE WATERPROOF NOT LESS THAN 40 MM EITHER SIDE OF THE JUNCTION (SEE FIGURE 10.2.2).
  - (D) WALL/FLOOR JUNCTIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF (SEE FIGURE 10.2.2).
  - (E) PENETRATIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF.
- (2) A SHOWER WITH A PREFORMED SHOWER BASE MUST ALSO COMPLY WITH THE REQUIREMENTS OF (1), EXCEPT FOR (A) WHICH IS NOT APPLICABLE.

## 10.2.3 AREA OUTSIDE SHOWER AREA

- (1) FOR CONCRETE, COMPRESSED FIBRE-CEMENT AND FIBRE-CEMENT SHEET FLOORING, THE FLOOR OF THE ROOM MUST BE WATER RESISTANT.
- (2) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS, THE FLOOR OF THE ROOM MUST BE WATERPROOF.
- (3) WALL/FLOOR JUNCTIONS MUST BE
  - (A) WATER PROOF; AND
  - (B) WHERE A FLASHING IS USED, THE HORIZONTAL LEG MUST BE NOT LESS THAN 40 MM

## 10.2.4 AREAS ADJACENT TO BATHS AND SPAS WITHOUT SHOWERS

- (1) FOR AREAS ADJACENT TO ALL BATHS AND SPAS, THE FOLLOWING APPLIES:
  - (A) FOR CONCRETE, COMPRESSED FIBRE-CEMENT AND FIBRE CEMENT SHEET FLOORING, THE FLOOR OF THE ROOM MUST BE WATER RESISTANT.
  - (B) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS, THE FLOOR OF THE ROOM MUST BE WATERPROOF.
  - (C) TAP AND SPOUT PENETRATIONS MUST BE WATERPROOF WHERE THEY OCCUR IN HORIZONTAL SURFACES.
- (2) FOR AREAS ADJACENT TO NON-FREESTANDING BATHS AND SPAS, THE FOLLOWING APPLIES:
  - (A) WALLS MUST BE WATER RESISTANT (SEE FIGURE 10.2.4A AND FIGURE 10.2.4B)
  - (I) TO A HEIGHT OF NOT LESS THAN 150 MM ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75 MM OF A WALL; AND
  - (II) FOR ALL EXPOSED SURFACES BELOW VESSEL LIP.
  - (B) WALL JUNCTIONS AND JOINTS MUST BE WATER RESISTANT WITHIN 150 MM ABOVE A VESSEL FOR THE EXTENT OF THE VESSEL.
  - (C) WALL/FLOOR JUNCTIONS MUST BE WATERPROOF FOR THE EXTENT OF THE VESSEL (SEE FIGURE 10.2.4A AND FIGURE 10.2.4B).
- (3) FOR INSERTED BATHS AND SPAS, THE FOLLOWING APPLIES:
  - (A) FOR FLOORS AND HORIZONTAL SURFACES: (I) ANY SHELF AREA ADJOINING THE BATH OR SPA MUST BE WATERPROOF AND INCLUDE A WATERSTOP UNDER THE VESSEL LIP.
  - (II) THERE ARE NO REQUIREMENTS FOR THE FLOOR UNDER A BATH OR SPA.
  - (B) FOR WALLS:
    - (I) WATERPROOF TO NOT LESS THAN 150 MM ABOVE THE LIP OF A BATH OR SPA.
    - (II) THERE ARE NO REQUIREMENTS FOR THE FLOOR UNDER A BATH OR SPA.
  - (C) FOR WALL JUNCTIONS AND JOINTS, THE FOLLOWING APPLIES:
    - (I) WATERPROOF JUNCTIONS WITHIN 150 MM OF A BATH OR SPA.
    - (II) THERE ARE NO REQUIREMENTS FOR JUNCTIONS AND JOINTS IN WALLS BENEATH THE LIP OF A BATH OR SPA.
  - (D) TAP AND SPOUT PENETRATIONS MUST BE WATERPROOF WHERE THEY OCCUR IN HORIZONTAL SURFACES.

## 10.2.5 OTHER AREAS

- (1) FOR WALLS ADJOINING OTHER TYPES OF VESSELS (E.G. SINK, BASIN OR LAUNDRY TUB), THE FOLLOWING APPLIES:
  - (A) WALLS MUST BE WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150 MM ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75 MM OF A WALL (SEE FIGURE 10.2.5).
  - (B) WATERPROOF WALL JUNCTIONS WHERE A VESSEL IS FIXED TO A WALL.
  - (C) WATERPROOF TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN SURFACES REQUIRED TO BE WATERPROOF OR WATER RESISTANT.
- (2) FOR LAUNDRIES AND WCS, THE FOLLOWING APPLIES:
  - (A) THE FLOOR OF THE ROOM MUST BE WATER RESISTANT.
  - (B) WALL/FLOOR JUNCTIONS MUST BE WATER RESISTANT, AND WHERE A FLASHING IS USED, THE HORIZONTAL LEG MUST NOT BE LESS THAN 40MM
- (3) FOR WCS WITH HANDHELD BIDET SPRAY INSTALLATIONS, THE FOLLOWING APPLIES:
  - (A) THE FLOOR OF THE ROOM MUST BE WATERPROOF.
  - (B) WALLS MUST BE--
    - (I) WATERPROOF IN WC AREA WITHIN A 900 MM RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE TO A HEIGHT OF NOT LESS THAN 150 MM ABOVE THE FLOOR SUBSTRATE; AND
    - (II) WATER RESISTANT IN WC AREA WITHIN A 900 MM RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE TO NOT LESS THAN 1200 MM ABOVE THE FINISHED FLOOR LEVEL OF THE WC.
  - (C) WALL JUNCTIONS WITHIN THE WC AREA WITHIN 900 MM RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE MUST BE WATERPROOF.
  - (D) WALL/FLOOR JUNCTIONS WITHIN THE WC AREA WITHIN 1000 MM RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE MUST BE WATERPROOF.
  - (E) PENETRATIONS IN THE WC AREA MUST BE WATERPROOF.

## 10.2.6 WATERPROOFING SYSTEMS

- (1) FOR THE PURPOSES OF THIS PART, A WATERPROOFING SYSTEM IS DEEMED
  - (A) WATERPROOF, IF IT COMPLIES WITH (2); OR
  - (B) WATER RESISTANT, IF IT COMPLIES WITH (3).
- (2) FOR A WATERPROOFING SYSTEM REQUIRED TO BE WATERPROOF IN ACCORDANCE WITH 10.2.2 TO 10.2.5, THE MATERIALS NOMINATED IN 10.2.8 MUST BE USED.
- (3) FOR A WATERPROOFING SYSTEM REQUIRED TO BE WATER RESISTANT IN ACCORDANCE WITH 10.2.2 TO 10.2.5, THE MATERIALS NOMINATED IN 10.2.9 MUST BE USED IN CONJUNCTION WITH THE MATERIALS IN 10.2.10.

## FIGURE NOTES

WALL/FLOOR JUNCTION HEIGHTS ARE TO BE AS PER 10.2.2 TO 10.2.6 (AS APPLICABLE).

## NOTES

WHERE A SHOWER IS ABOVE A BATH OR SPA, USE REQUIREMENTS FOR SHOWER.

FIGURE 10.2.4A

AREA ADJACENT TO BATHS AND SPAS WITHOUT SHOWERS FOR CONCRETE, COMPRESSED FIBRE-CEMENT AND FIBRE-CEMENT SHEET FLOORING

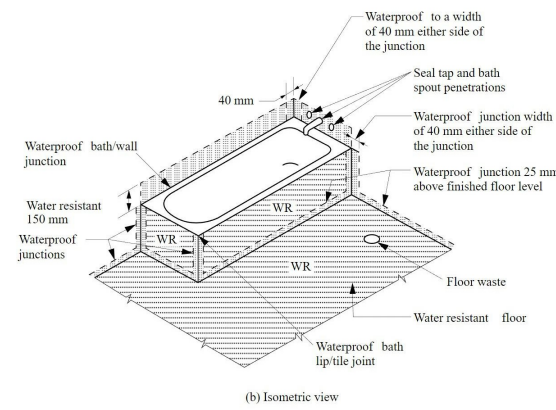
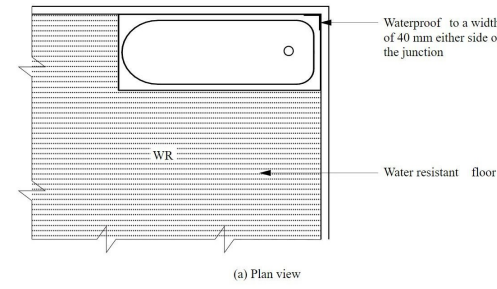


FIGURE 10.2.4B

AREAS ADJACENT TO BATHS AND SPA WITHOUT SHOWERS FOR TIMBER FLOORS INCLUDING PARTICLE-BOARD, PLYWOOD AND OTHER FLOOR MATERIALS.

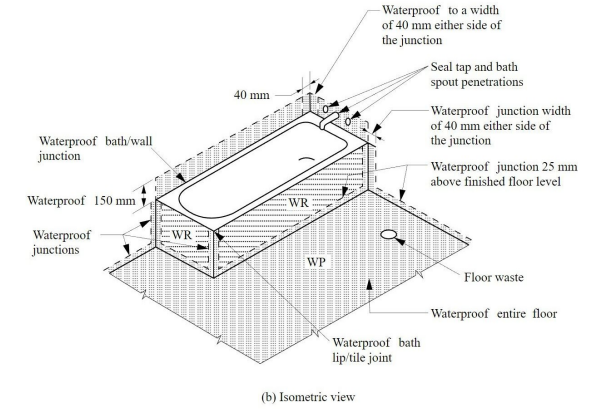
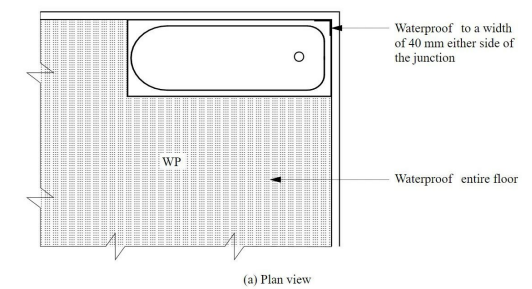


FIGURE 10.2.2

EXTENT OF TREATMENT FOR SHOWER AREAS - CONCRETE COMPRESSED FIBRE-CEMENT AND FIBRE-CEMENT SHEET FLOORS

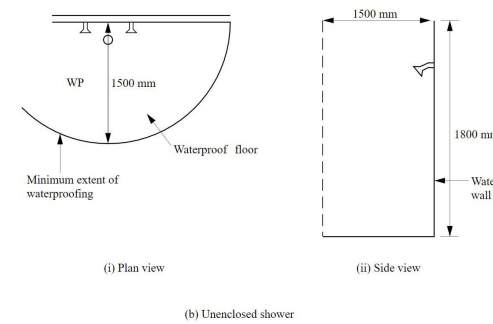
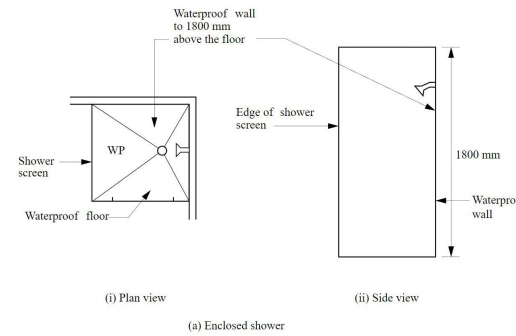
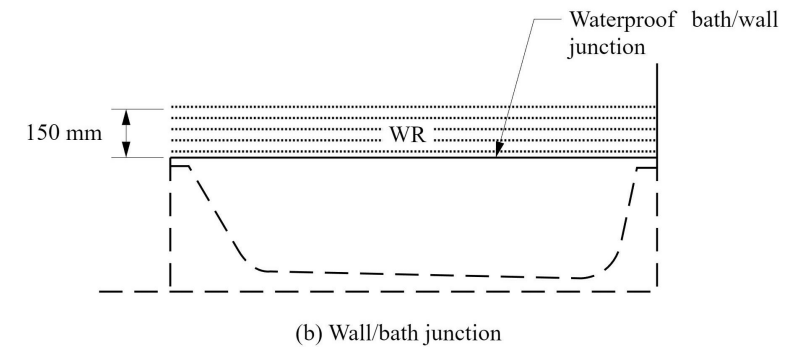
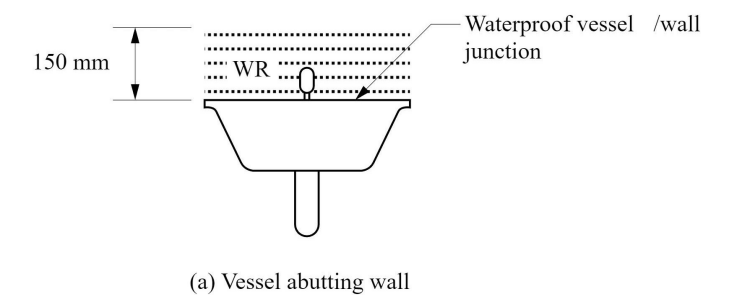


FIGURE 10.2.5

BATH AND VESSEL ABUTTING WALL - AREAS TO BE PROTECTED



## IMPORTANT NOTES:

1. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.
2. ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE, ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
3. WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
4. FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME.
5. ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANNER AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS.
6. THESE DRAWINGS SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION FROM ACCESS LIVING GROUP.
7. ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE.

**Sorell Council**  
 Development Application: 5.2024.284.1 - 12 Lytham Court, Midway Point.pdf  
 Plans Reference: P1  
 Date Received: 6/1/2024

**SJM property developments**

1/37 Ascot Dr, Huntingfield TAS 7055  
 P +61 3 6289 6601

Home: ABELIA-12.5(05H.03)

Client: SJM

Location: 12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171

Drawing: WET AREA WATER PROOFING

Facade: B-CLARE  
 03-COCOA

## DRAWING DETAILS

31/10/2024 11:58:43 AM

SCALE SHEET SIZE  
 1 : 100 A3

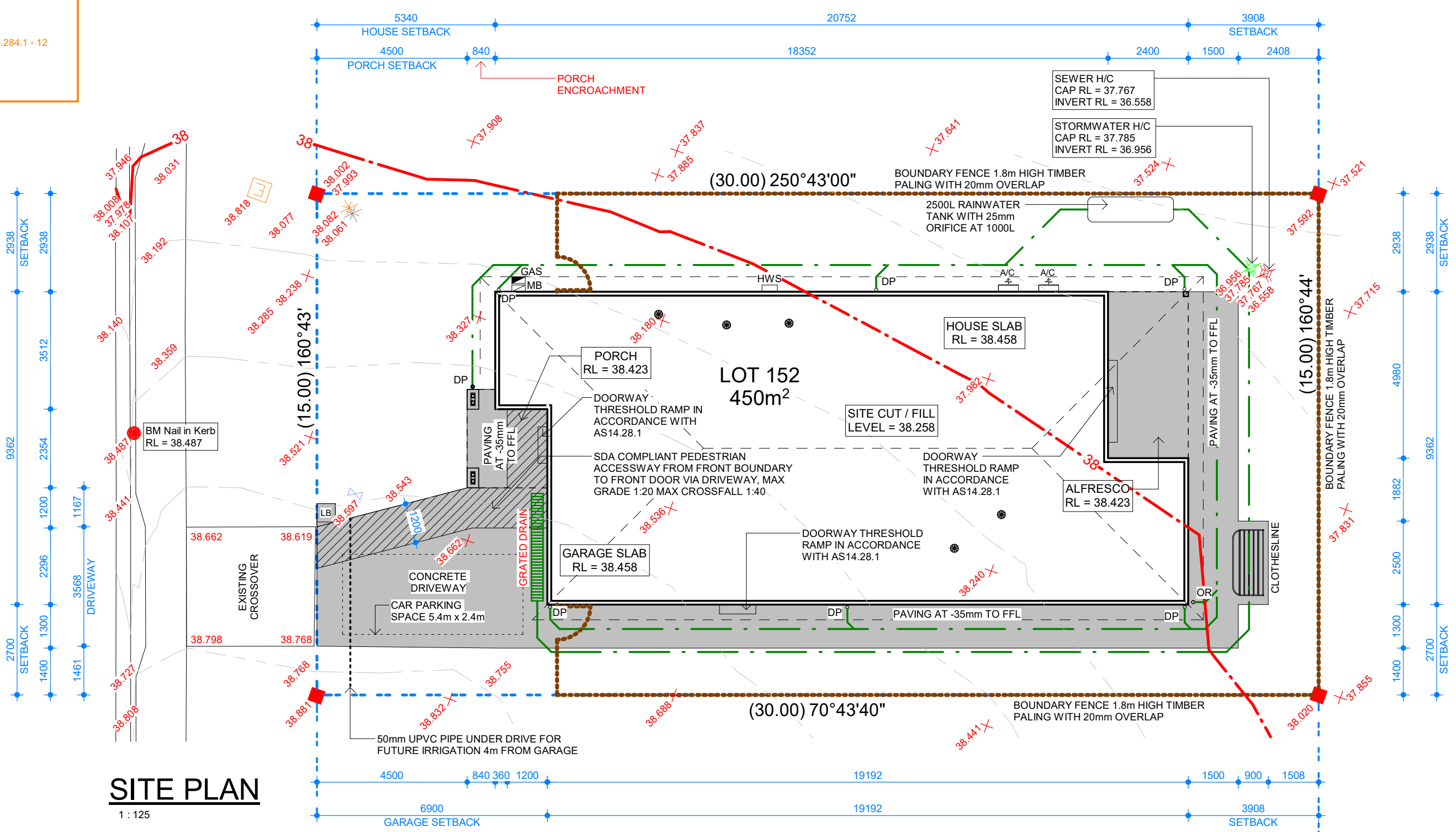
JOB No: 527N

Drwg No: D00b Issue A02

All dimensions to be verified on site



LYTHAM CRESCENT



**SITE PLAN**

1 : 125

**EXHAUST FANS - FLOW RATES**

- 25 LTR/SEC FOR BATHROOMS AND SANITARY COMPARTMENTS,  
 - 40 LTR/SEC FOR KITCHENS AND LAUNDRIES.  
 ALL EXHAUST FANS TO BE DUCTED TO OUTSIDE AIR. SEE ROOF PLAN DRWG NO D08 FOR NUMBER OF AND APPROX. LOCATION OF WHIRLYBIRD ROOF VENTS.

**EXHAUST FROM BATHROOM, SANITARY COMPARTMENT OR LAUNDRY**

AS PER CLAUSE 3.8.7.3 OF NCC 2019 EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED DIRECTLY VIA A SHAFT OR DUCT TO OUTDOOR AIR; OR TO A ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH 3.8.7.4.

**SITE PLAN AND SURVEY LEGENDS:**

|  |  |  |                   |  |                             |  |                         |
|--|--|--|-------------------|--|-----------------------------|--|-------------------------|
|  | ROOF VENTILATION - TO NCC REQUIREMENTS                           |  | LOT BOUNDARY      |  | TITLE PEG                   |  | CABLE HYDRO UNDERGROUND |
|  | SURFACE DRAIN  |  | BITUMEN EDGE      |  | NAIL                        |  | TELSTRA PIT             |
|  | 100mm UPVC STORMWATER PIPE TO GRADE TO LPOD, MINIMUM GRADE 1:100 |  | KERB BACK         |  | NATURAL SURFACE             |  | CABLE COMMS UNDERGROUND |
|  | CLAY PLUG, INSTALLED IN ACCORDANCE WITH AS3500                   |  | KERB INVERT       |  | STORMWATER MANHOLE          |  | SEWER MANHOLE           |
|  | EXPANSION JOINT, INSTALLED IN ACCORDANCE WITH AS3500             |  | FOOTPATH          |  | STORMWATER HOUSE CONNECTION |  | SEWER HOUSE CONNECTION  |
|  | OVERFLOW RISER   |  | DRIVEWAY          |  | ELECTRICITY MAIN            |  | METER WATER             |
|  |  |  | CULVERT 375       |  |                             |  |                         |
|  |  |  | SEWER UNDERGROUND |  |                             |  |                         |

**BUSHFIRE ASSESSMENT**  
 THIS LOT HAS BEEN ASSESSED AS BAL-LOW.  
 (NO ADDITIONAL CONSTRUCTION REQUIREMENTS)

- IMPORTANT NOTES:**
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.
  - ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE. ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
  - WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
  - FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME.
  - ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANNER AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS.
  - THESE DRAWINGS SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION FROM ACCESS LIVING GROUP.
  - ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE.



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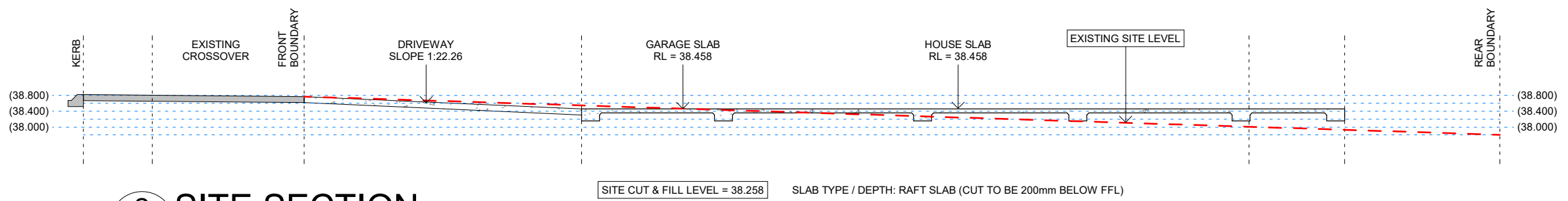
Home: **ABELIA-12.5(05H.03)** Facade: **B-CLARE 03-COCOA**  
 Client: **SJM**  
 Location: 12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171  
 Drawing: **SITE PLAN**

|          |                        |                  |
|----------|------------------------|------------------|
|          | <b>DRAWING DETAILS</b> |                  |
|          | 31/10/2024 11:58:44 AM | SHEET SIZE       |
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| Drwg No: | <b>D01a</b>            | Issue <b>A02</b> |

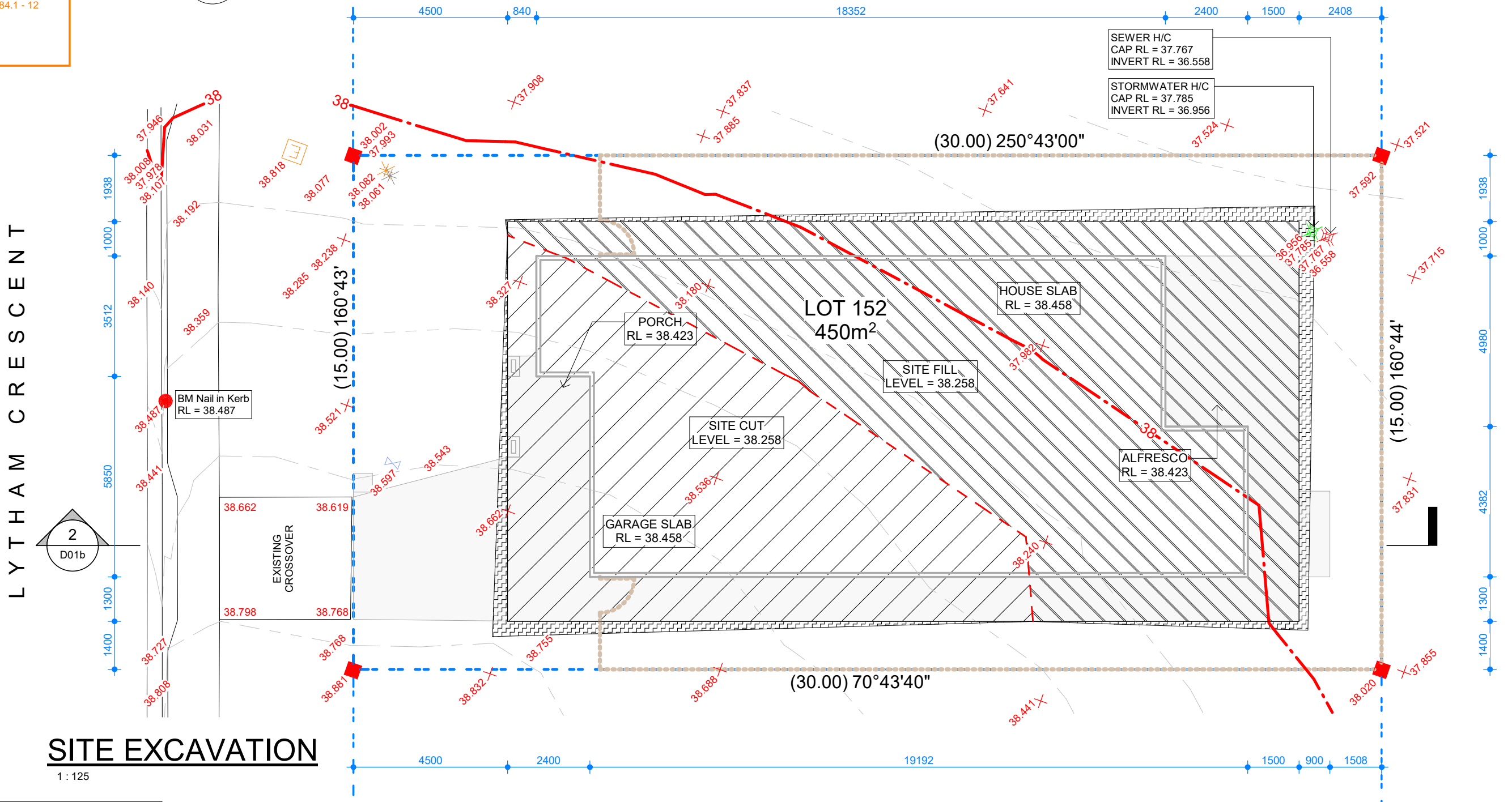
All dimensions to be verified on site

| LEGEND |                |
|--------|----------------|
|        | DENOTES CUT    |
|        | DENOTES FILL   |
|        | DENOTES BATTER |

**Sorell Council**  
 Development Application: 5.2024.284.1 - 12 Lytham Court, Midway Point.pdf  
 Plans Reference: P1  
 Date Received: 6/11/2024



**2 SITE SECTION**  
 D01b 1:125

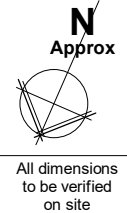


- IMPORTANT NOTES:**
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  2. ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE, ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
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  7. ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE.

**SJM** property developments  
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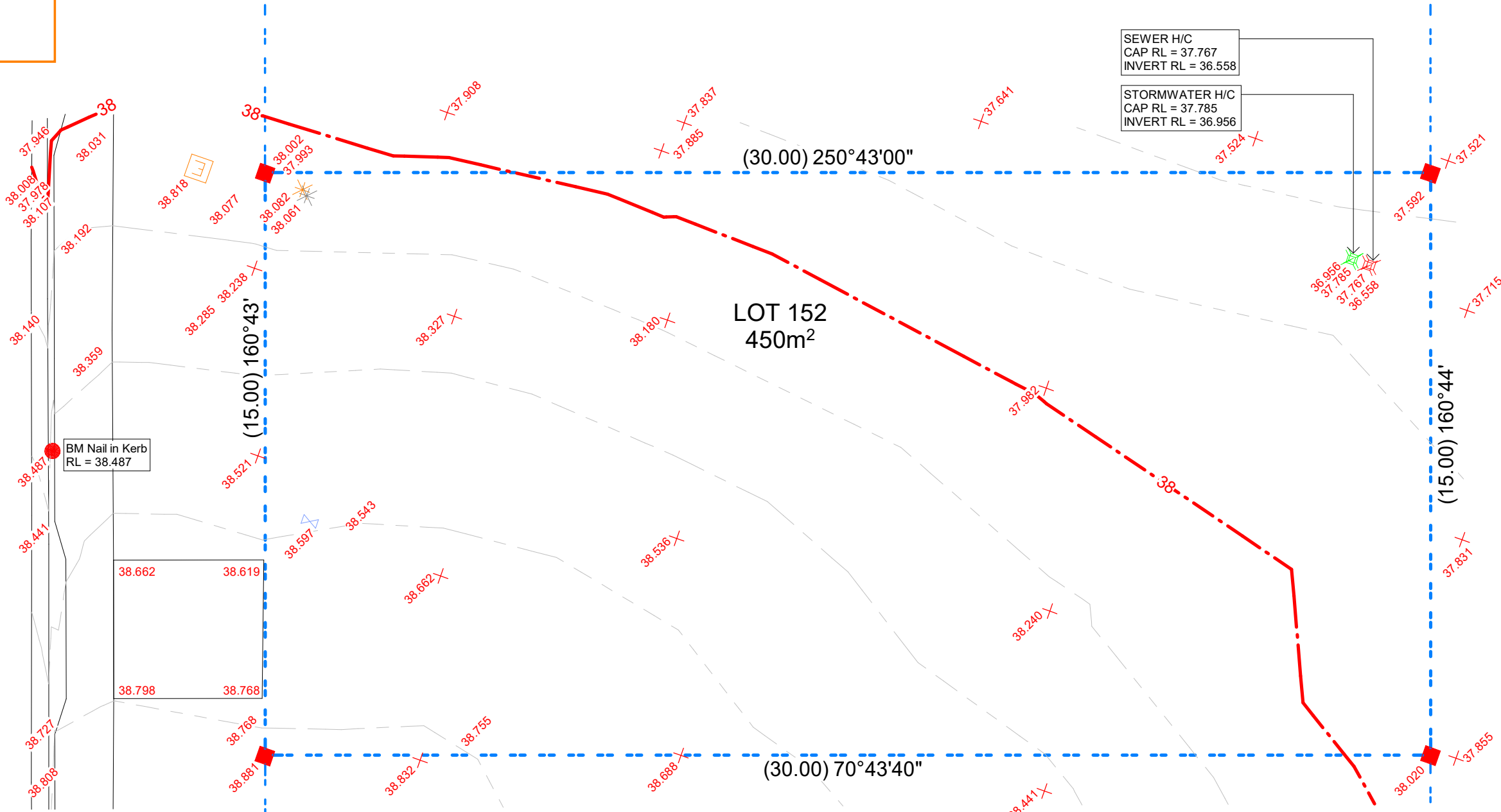
Home: **ABELIA-12.5(05H.03)** Facade: **B-CLARE 03-COCOA**  
 Client: **SJM**  
 Location: 12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171  
 Drawing: **SITE EXCAVATION PLAN**

| DRAWING DETAILS        |                              |
|------------------------|------------------------------|
| 31/10/2024 11:58:44 AM |                              |
| SCALE                  | SHEET SIZE                   |
| As indicated           | A3                           |
| JOB No:                | <b>527N</b>                  |
| Drwg No:               | <b>D01b</b> Issue <b>A02</b> |



All dimensions to be verified on site

LYTHAM CRESCENT



SEWER H/C  
 CAP RL = 37.767  
 INVERT RL = 36.558

STORMWATER H/C  
 CAP RL = 37.785  
 INVERT RL = 36.956

**SITE SURVEY**

1 : 125

**SURVEYLEGENDS:**

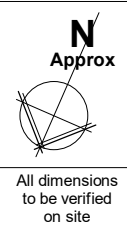
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|--|-------------------|--|-----------------------------|--|-------------------------|
|  | LOT BOUNDARY      |  | TITLE PEG                   |  | CABLE HYDRD UNDERGROUND |
|  | BITUMEN EDGE      |  | NAIL                        |  | TELSTRA PIT             |
|  | KERB BACK         |  | NATURAL SURFACE             |  | CABLE COMMS UNDERGROUND |
|  | KERB INVERT       |  | STORMWATER MANHOLE          |  | SEWER MANHOLE           |
|  | FOOTHPATH         |  | STORMWATER HOUSE CONNECTION |  | SEWER HOUSE CONNECTION  |
|  | DRIVEWAY          |  | METER WATER                 |  |                         |
|  | CULVERT 375       |  |                             |  |                         |
|  | SEWER UNDERGROUND |  |                             |  |                         |
|  | ELECTRICITY MAIN  |  |                             |  |                         |

- IMPORTANT NOTES:**
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.
  - ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE, ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
  - WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
  - FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME.
  - ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANNER AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS.
  - THESE DRAWINGS SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION FROM ACCESS LIVING GROUP.
  - ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE.



1/37 Ascot Dr, Huntingfield TAS 7055  
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Home: **ABELIA-12.5(05H.03)** Facade: **B-CLARE 03-COCOA**  
 Client: **SJM**  
 Location: 12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171  
 Drawing: **SURVEY PLAN**



| DRAWING DETAILS        |                              |
|------------------------|------------------------------|
| 31/10/2024 11:58:45 AM |                              |
| SCALE                  | SHEET SIZE                   |
| As indicated           | A3                           |
| JOB No:                | <b>527N</b>                  |
| Drwg No:               | <b>D01c</b> Issue <b>A02</b> |

All dimensions to be verified on site



**FLOOR FINISHES:**  
ALL FLOOR COVERINGS TO BE FIRM AND EVEN AND FEATURE A TRANSITION BETWEEN ABUTTING SURFACES ( A MAXIMUM VERTICAL TOLERANCE OF 3mm OR 5mm BETWEEN SURFACES IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELED.)

**Sorell Council**  
Development Application: 5.2024.284.1 - 12  
Lytham Court, Midway Point.pdf  
Plans Reference: P1  
Date Received: 6/11/2024

ALL INTERNAL FLOOR FINISHES SHALL HAVE A MINIMUM SLIP RESISTANCE OF P3 OR R10.

**EXHAUST FANS:**  
EXHAUST FANS TO BE 25 LITRES PER SECOND (BATHROOMS AND TOILET) OR 40 LITRES PER SECOND (KITCHEN AND LAUNDRY)

**DOORS:**  
ALL INTERNAL DOORS AND FRONT ENTRY DOOR TO BE SOLID CORE. ALL OTHER DOORS TO BE STANDARD.

ROBE DOORS ARE STANDARD.

**WET AREAS:**  
12mm VILLABOARD ALLOWED TO ALL WALLS IN BATHROOM AND WC.

- ALL WATER CLOSETS TO HAVE REMOVABLE HINGES TO THE DOORS IF THERE IS LESS THAN 1.2m CLEARANCE BETWEEN THE CLOSET PAN AND THE DOORWAY.
- IF TIMBER FLOORS ARE SUPPLIED, DIRECTION INDICATED ON DRAWINGS IS NOMINAL.
- ALL PLUMBING TO BE CONCEALED AS PER REQUIRED.

**CEILING HOIST PROVISION:**

- BEDROOMS SHALL HAVE A PROVISION FOR POWER AND INBUILT STRUCTURE, CAPABLE OF INSTALLATION OF A CONSTANT CHARGE CEILING HOIST.
- THE HOIST SHALL BE CAPABLE OF GOING ACROSS THE BED AND DOWN THE BED.
- MIN LOAD CAPACITY OF THE HOIST SHALL BE 250KG.
- HOIST IS TO BE CAPABLE OF BEING EITHER CEILING MOUNTED OR WALL MOUNTED.
- STRUCTURE FOR HOIST IN BEDROOMS 1, 2, & 3 TO BE IN ACCORDANCE WITH ENGINEER'S DETAILS.

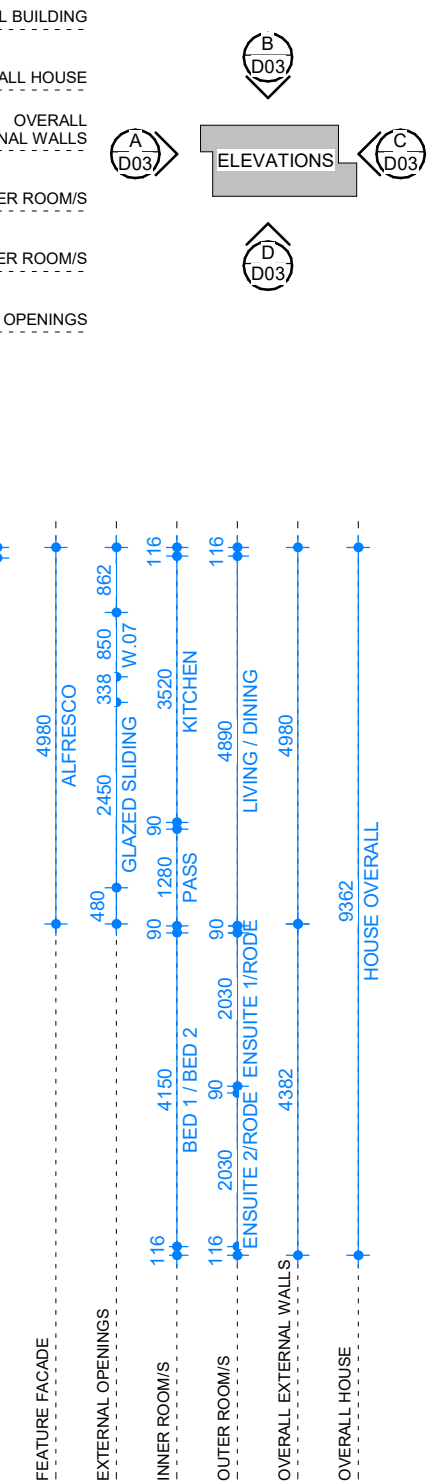
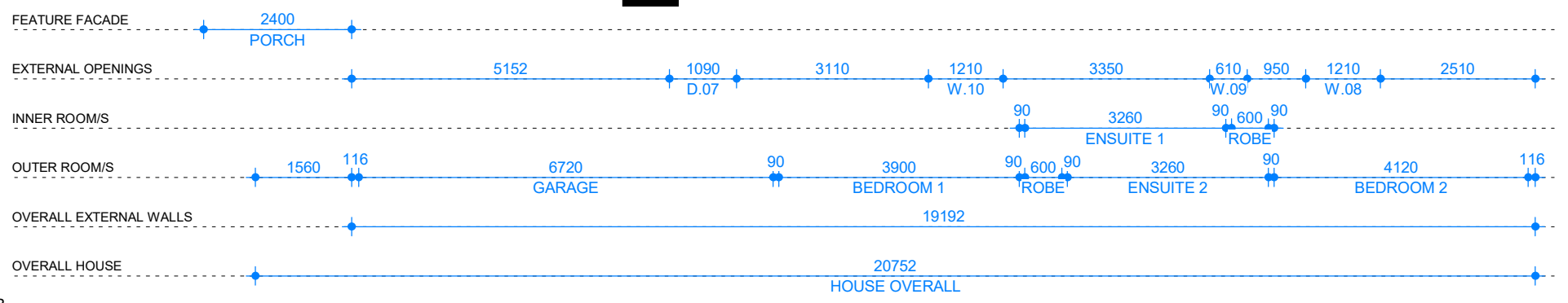
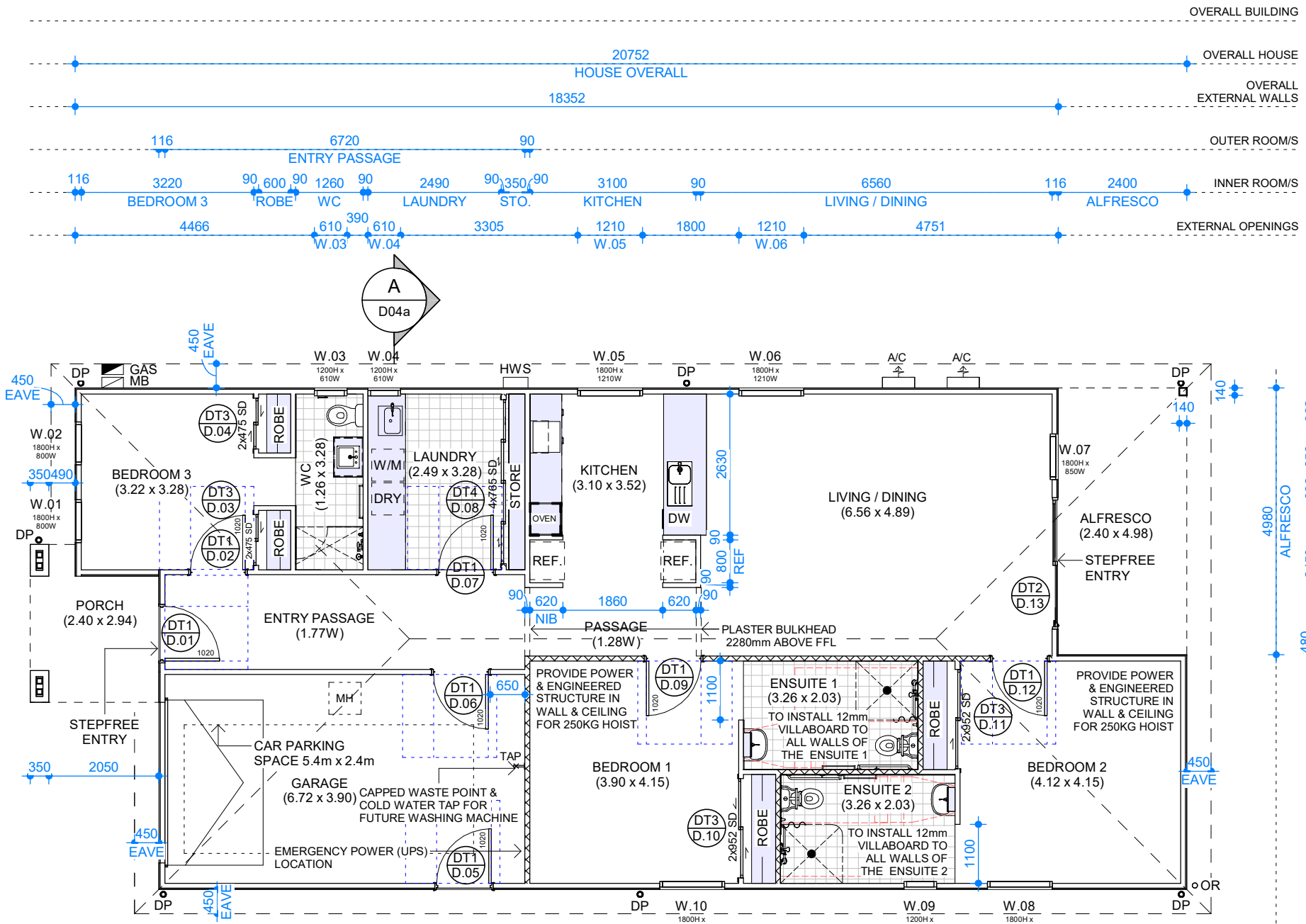
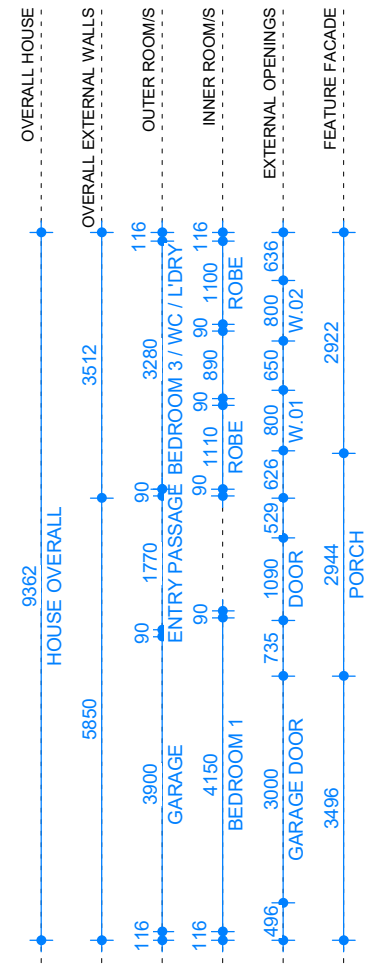
**LEGEND**

- BUILDER TO PROVIDE SOUND INSULATION AS SHOWN HATCHED.
- MAN HOLE 600x600 (APPROX. POSITION)
- REVERSE CYCLE AIR CONDITIONING
- CONTROL JOINT

**LEGEND - SERVICES**

- HWS HOT WATER SERVICE
- METER BOX
- GAS METER
- OVERFLOW RISER

- IMPORTANT NOTES:**
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.
  - ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE. ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
  - WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
  - FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME.
  - ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANNER AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS.
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  - ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE.



**HOUSE SIZE**  
9.36m x 20.75m

**BLOCK SIZE**  
15m x 30m

**AREAS**

|                   |                            |
|-------------------|----------------------------|
| Living            | 145.7 m <sup>2</sup>       |
| Porch             | 6.1 m <sup>2</sup>         |
| Garage            | 27.5 m <sup>2</sup>        |
| Alfresco          | 12.0 m <sup>2</sup>        |
| <b>Total Area</b> | <b>191.3 m<sup>2</sup></b> |

**SITE COVERAGE 42.51%**

**FLOOR PLAN**

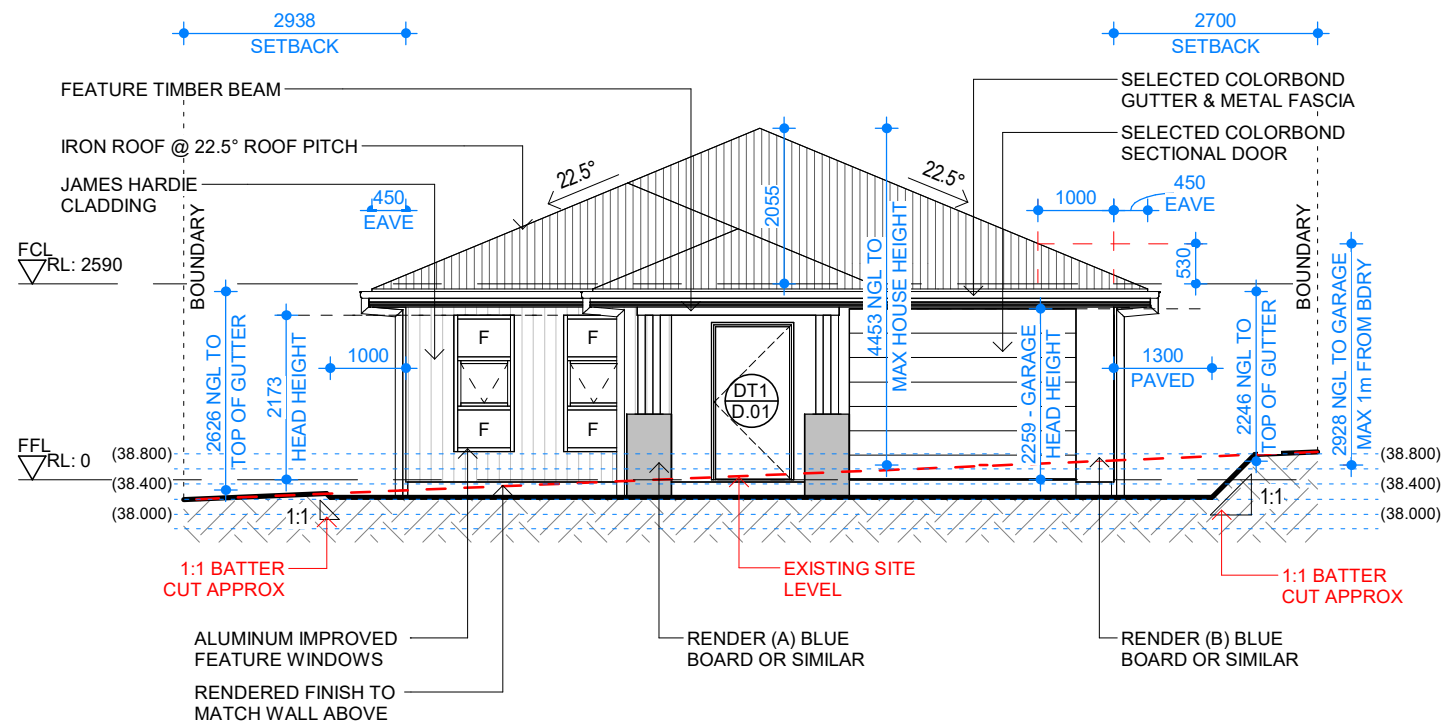
1 : 100  
1/37 Ascot Dr, Huntingfield TAS 7055  
P +61 3 6289 6601



Home: **ABELIA-12.5(05H.03)** Facade: **B-CLARE 03-COCOA**  
Client: **SJM**  
Location: **12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171**  
Drawing: **FLOOR PLAN**

**DRAWING DETAILS**  
31/10/2024 11:58:45 AM  
SCALE: 1 : 100 SHEET SIZE: A3  
JOB No: **527N**  
Drwg No: **D02** Issue: **A02**

All dimensions to be verified on site



**A ELEVATION**  
D03a 1:100

| LOT 152 GARAGE & HOUSE HEIGHTS & AREAS            |              |           |
|---|--------------|-----------|
| <b>GARAGE ROOF HEIGHT AT BOUNDARY</b>             |              |           |
| CEILING TO ROOF AT BOUNDARY                       | 70           | mm        |
| CEILING HEIGHT OF HOUSE                           | 2,590        | mm        |
| GARAGE SETDOWN                                    | 0            | mm        |
| RL OF GARAGE SLAB                                 | 38,458       | mm        |
| HIGHEST NGL RL OF GARAGE AT BOUNDARY              | 38,700       | mm        |
| LOWEST NGL RL OF GARAGE AT BOUNDARY               | 38,600       | mm        |
| AVERAGE NGL RL OF GARAGE AT BOUNDARY              | 38,650       | mm        |
| <b>AVERAGE GARAGE HEIGHT AT BOUNDARY FROM NGL</b> | <b>2,468</b> | <b>mm</b> |
| <b>MAXIMUM GARAGE HEIGHT AT BOUNDARY FROM NGL</b> | <b>2,518</b> | <b>mm</b> |
| ROOF RISE OVER 1m= 370mm (22.5°)                  | 530          | mm        |
| <b>GARAGE HT 1m IN FROM BOUNDARY FROM NGL</b>     | <b>2,928</b> | <b>mm</b> |

| HOUSE MAX HEIGHT                    |              |           |
|-------------------------------------|--------------|-----------|
| CEILING LEVEL TO THE HIGHEST POINT  | 2,055        | mm        |
| <b>MAX HEIGHT OF HOUSE FROM NGL</b> | <b>4,453</b> | <b>mm</b> |

| PORCH MAX HEIGHT   |              |           |
|--|--------------|-----------|
| CEILING LEVEL TO THE HIGHEST POINT AT 5.34m SETBACK LINE | 464          | mm        |
| NGL AT FORWARD MOST POINT (AT 5.34m SETBACK LINE)        | 38,700       | mm        |
| <b>MAX HEIGHT OF PORCH FROM NGL</b>                      | <b>2,812</b> | <b>mm</b> |

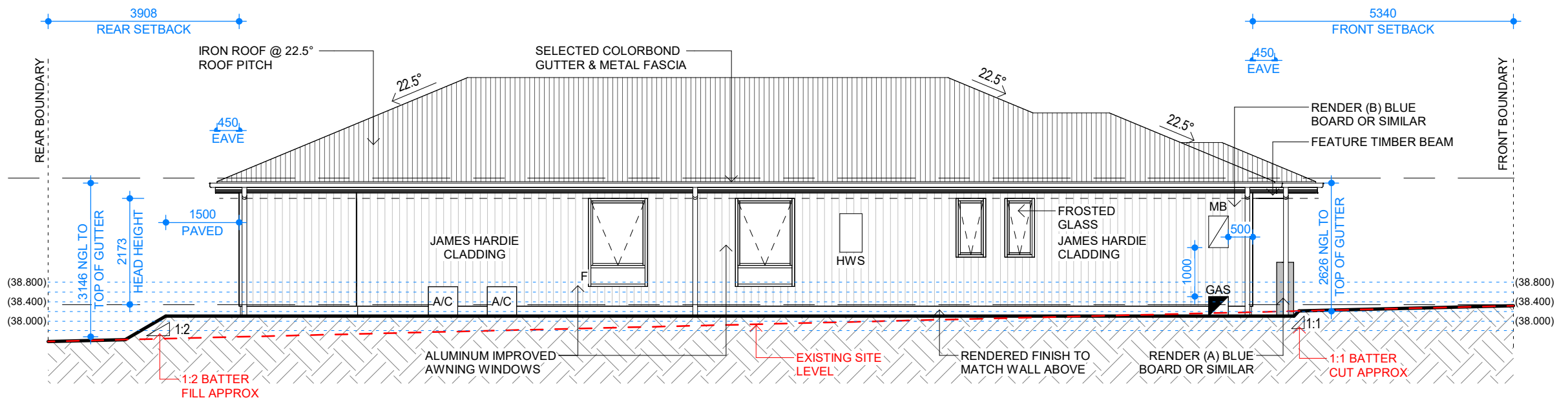
| LOT AREAS   |               |                             |
|---|---------------|-----------------------------|
| TOTAL SITE AREA   | 450.00        | m <sup>2</sup>              |
| PERMITTED BUILDING AREA                                       | 270.00        | m <sup>2</sup>              |
| <b>TOTAL BUILDING AREA</b>                                    | <b>191.30</b> | <b>m<sup>2</sup> 42.51%</b> |
| <b>TOTAL NON-PERMEABLE AREA - DRIVEWAY AND CONCRETE PATHS</b> | <b>73.8</b>   | <b>m<sup>2</sup> 16.4%</b>  |
| <b>TOTAL PERMEABLE AREA</b>                                   | <b>184.9</b>  | <b>m<sup>2</sup> 41.1%</b>  |

| LEGEND - FINISHES |                                |
|-------------------|--------------------------------|
|                   | JAMES HARDIE CLADDING          |
|                   | RENDER A BLUE BOARD OR SIMILAR |
|                   | RENDER B BLUE BOARD OR SIMILAR |

| LEGEND - SERVICES |                   |
|-------------------|-------------------|
| HWS               | HOT WATER SERVICE |
|                   | METER BOX         |
|                   | GAS METER         |

**NOTE:**  
NATURAL GROUND LEVELS ARE SHOWN INDICATIVELY ONLY.

| AVERAGE GARAGE WALL HEIGHT |                     |
|----------------------------|---------------------|
| WALL LENGTH:               | 6.72m               |
| WALL AREA:                 | 16.60m <sup>2</sup> |
| AVERAGE WALL HEIGHT:       | 2.47m               |



**B ELEVATION**  
D03a 1:100

**Sorell Council**  
Development Application: 5.2024.284.1 - 12 Lytham Court, Midway Point.pdf  
Plans Reference: P1  
Date Received: 6/11/2024

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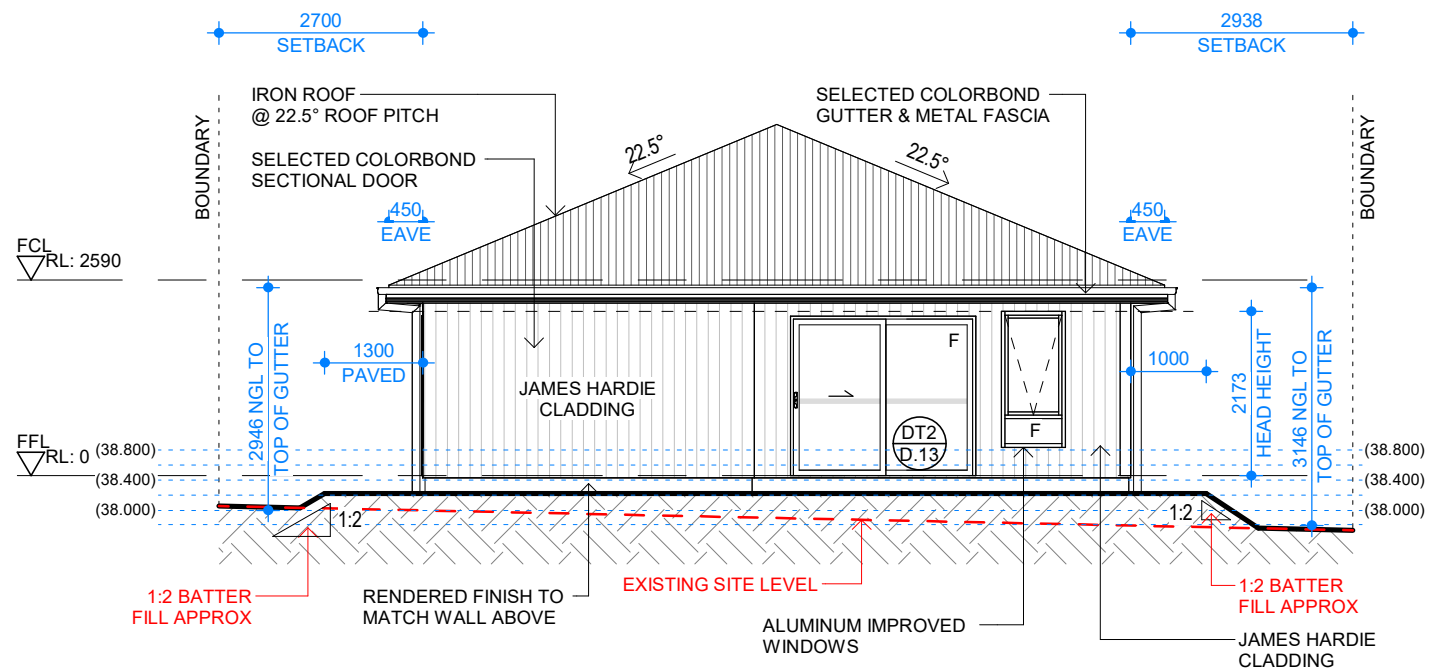
Home: **ABELIA-12.5(05H.03)**  
Client: **SJM**  
Location: **12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171**  
Drawing: **ELEVATIONS A & B**

Facade: **B-CLARE 03-COCOA**

| DRAWING DETAILS        |             |
|------------------------|-------------|
| 31/10/2024 11:58:46 AM |             |
| SCALE                  | SHEET SIZE  |
| 1:100                  | A3          |
| JOB No:                | <b>527N</b> |
| Drwg No:               | <b>D03a</b> |
| Issue                  | <b>A02</b>  |

All dimensions to be verified on site





**D ELEVATION**  
D03b 1 : 100

| LOT 152 GARAGE & HOUSE HEIGHTS & AREAS            |              |           |
|---|--------------|-----------|
| <b>GARAGE ROOF HEIGHT AT BOUNDARY</b>             |              |           |
| CEILING TO ROOF AT BOUNDARY                       | 70           | mm        |
| CEILING HEIGHT OF HOUSE                           | 2,590        | mm        |
| GARAGE SETDOWN                                    | 0            | mm        |
| RL OF GARAGE SLAB                                 | 38,458       | mm        |
| HIGHEST NGL RL OF GARAGE AT BOUNDARY              | 38,700       | mm        |
| LOWEST NGL RL OF GARAGE AT BOUNDARY               | 38,600       | mm        |
| AVERAGE NGL RL OF GARAGE AT BOUNDARY              | 38,650       | mm        |
| <b>AVERAGE GARAGE HEIGHT AT BOUNDARY FROM NGL</b> | <b>2,468</b> | <b>mm</b> |
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| ROOF RISE OVER 1m= 370mm (22.5°)                  | 530          | mm        |
| <b>GARAGE HT 1m IN FROM BOUNDARY FROM NGL</b>     | <b>2,928</b> | <b>mm</b> |

| HOUSE MAX HEIGHT                    |              |           |
|-------------------------------------|--------------|-----------|
| CEILING LEVEL TO THE HIGHEST POINT  | 2,055        | mm        |
| <b>MAX HEIGHT OF HOUSE FROM NGL</b> | <b>4,453</b> | <b>mm</b> |

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|--|--------------|-----------|
| CEILING LEVEL TO THE HIGHEST POINT AT 5.34m SETBACK LINE | 464          | mm        |
| NGL AT FORWARD MOST POINT (AT 5.34m SETBACK LINE)        | 38,700       | mm        |
| <b>MAX HEIGHT OF PORCH FROM NGL</b>                      | <b>2,812</b> | <b>mm</b> |

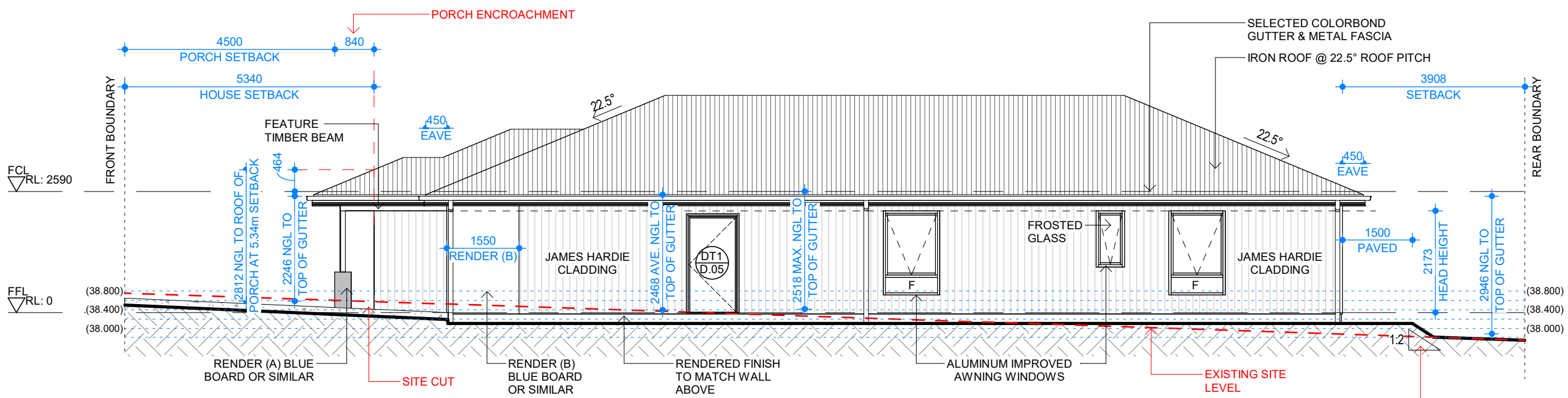
| LOT AREAS   |               |                             |
|---|---------------|-----------------------------|
| TOTAL SITE AREA   | 450.00        | m <sup>2</sup>              |
| PERMITTED BUILDING AREA                                       | 270.00        | m <sup>2</sup>              |
| <b>TOTAL BUILDING AREA</b>                                    | <b>191.30</b> | <b>m<sup>2</sup> 42.51%</b> |
| <b>TOTAL NON-PERMEABLE AREA - DRIVEWAY AND CONCRETE PATHS</b> | <b>73.8</b>   | <b>m<sup>2</sup> 16.4%</b>  |
| <b>TOTAL PERMEABLE AREA</b>                                   | <b>184.9</b>  | <b>m<sup>2</sup> 41.1%</b>  |

| LEGEND - FINISHES |                                |
|-------------------|--------------------------------|
|                   | JAMES HARDIE CLADDING          |
|                   | RENDER A BLUE BOARD OR SIMILAR |
|                   | RENDER B BLUE BOARD OR SIMILAR |

| LEGEND - SERVICES |                   |
|-------------------|-------------------|
| HWS               | HOT WATER SERVICE |
|                   | METER BOX         |
|                   | GAS METER         |

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| AVERAGE GARAGE WALL HEIGHT |                     |
|----------------------------|---------------------|
| WALL LENGTH:               | 6.72m               |
| WALL AREA:                 | 16.60m <sup>2</sup> |
| AVERAGE WALL HEIGHT:       | 2.47m               |



**C ELEVATION**  
D03b 1 : 100

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Home: **ABELIA-12.5(05H.03)**  
Client: **SJM**  
Location: **12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171**  
Drawing: **ELEVATIONS C & D**

Facade: **B-CLARE 03-COCOA**

| DRAWING DETAILS        |             |
|------------------------|-------------|
| 31/10/2024 11:58:46 AM |             |
| SCALE                  | SHEET SIZE  |
| 1 : 100                | A3          |
| JOB No:                | <b>527N</b> |
| Drwg No:               | <b>D03b</b> |
| Issue                  | <b>A02</b>  |

All dimensions to be verified on site

**Sorell Council**  
Development Application: 5.2024.284.1 - 12 Lytham Court, Midway Point.pdf  
Plans Reference:P1  
Date Received: 6/11/2024

## GENERAL NOTES

### GENERAL NOTES:

1. ALL EXTERNAL WINDOWS AND DOOR ARE TO BE DESIGNED AND TESTED IN ACCORDANCE WITH AS 2047, INCLUDING PROVISIONS FOR SUBSILLS AND FLASHING IN ANY PROPRIETARY SYSTEMS OFFERED FOR THIS PRODUCT.
2. ALL GLAZING SHALL BE IN ACCORDANCE WITH AS 1288-2006 WHEREIN GLAZING WITHIN 500mm OF THE FLOOR LEVEL SHALL BE 5MM THICKENED ANNEALED, GLAZED DOORS ASSOCIATED SIDE PANELS SHALL BE 5.38mm LAMINATED SAFETY GLASS AND BATHROOM WINDOWS WITHIN 1.5m OF THE BATH FOR 500mm FROM THE SHOWER ENCLOSURE SHALL BE 3mm TOUGHENED SAFETY GLASS
3. WATERPROOFING OF WET AREAS,BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3274: WATERPROOFING WET AREA IN RESIDENTIAL BUILDINGS.
4. ALL EXHAUST FANS TO BE FITTED WITH DAMPERS AS PER NCC.
5. EXTERNAL DOORS TO BE WEATHER STRIPPED AND WINDOWS TO COMPLY WITH AS 2047.
6. ALL GAPS FROM SERVICE PENETRATIONS ETC ARE TO BE SEALED. AS SHOULD INTERNAL DOORS TO GARAGE.
7. ALL CHIMNEYS AND FLUES TO HAVE DAMPERS AS PER BCA REQUIREMENTS 3.12.3.1, IF APPLICABLE
8. (LOH) ALL WATER CLOSETS TO HAVE REMOVABLE HINGES TO THE DOORS IF THERE IS LESS THAN 1.2M CLEARANCE BETWEEN THE CLOSEST PAN & THE DOORWAY.
9. WET AREAS IN ACCORDANCE WITH AUST. STANDARD 3740
10. MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH B.C.A. P.2.4.5
11. MAN HOLE LOCATION MAY BE CHANGED DUE TO TRUSS LAYOUT
12. DIMENSIONS RELATING TO FFL & FCL REFER TO OVERALL TOP & BOTTOM PLATE DIMENSIONS NOT ACTUAL CEILING HEIGHTS.
13. BACKFILL TO EXTERNAL DOORS NOT TO BE GREATER THAN 190MM IN ACCORDANCE WITH NCC '3.9.1.5 THRESHOLDS'

### OPENING TO WINDOWS

PROVIDE 125mm RESTRICTION TO ALL OPENING WINDOWS IN BEDROOMS WHERE THE DIFFERENCE BETWEEN THE FLOOR LEVELS OF THE BEDROOM AND THE OUTSIDE FINISHED SURFACE LEVEL IS GREATER THAN 2.0m. IN ACCORDANCE WITH BCA.

### CONTROL JOINTS

- CONTROL JOINT IN BRICKS TO BE IN ACCORDANCE WITH AS 3700-2001. ENGINEERS DOCUMENTATION REGARDING CONTROL JOINTS OVER-RIDES THESE DRAWINGS.
- PROVIDE CONTROL TO ALL INTERNAL CORNERS

### HEAD HEIGHTS

- WINDOW HEAD HEIGHTS MEASURED FROM THE FINISHED FLOOR LEVEL (SLAB) OF THE HOUSE.
- ALL WINDOW HEAD HEIGHTS INDICATED ARE NOMINAL AND MAY VARY DUE TO VARIANCES IN BRICK SIZES.

**NOTE:**  
FC/SOFFIT SHEET TO  
PORTICO CEILING  
CONTINUE TO EAVE LINE

**NOTE:**  
ENGINEERS TO DESIGN  
ALL REQUIRED RAMPS  
TO EXTERNAL  
ENTRANCES/PORCH.

**NOTE:**  
WINDOW CONTROLS TO BE LOCATED WITHIN EASY REACH FROM EITHER A SEATED OR STANDING POSITION (BETWEEN 600mm TO 1100mm ABOVE FFL). DOORWAYS SHALL HAVE DOOR HANDLES INSTALLED AT BETWEEN 900mm TO 1100mm ABOVE THE FFL. DOOR HANDLES SELECTION AND LOCATION SHALL COMPLY WITH AS1428.1 AS PER THE DOOR HANDLE DETAIL.

### GARAGE INTERNAL CONSTRUCTION

THE INSIDE OF THE GARAGE IS TO INCLUDE THE FOLLOWING:

A. CONTROL OF WATER FROM THE GARAGE:  
I. A 15mm MINIMUM HEIGHT THRESHOLD GRADED SILL (OR OTHER TYPE OF DURABLE GRADED UPSTAND) IS INSTALLED ACROSS THE PEDESTRIAN DOORWAY BETWEEN THE GARAGE AND DWELLING. THE UPSTAND/THRESHOLD IS TO BE SEALED TO THE CONCRETE USING A WATERPROOF SEALANT; OR  
II. THE GARAGE FLOOR IS GRADED WITH A MINIMUM 1:100 FALL TOWARDS THE GARAGE VEHICLE ENTRY DOOR.

B. THE GARAGE SKIRTING IS TO BE A WATER RESISTANT MATERIAL, WHICH MAY INCLUDE NATURAL TIMBER SUCH AS TREATED KILN DRIED PINUS RADIATA (INCLUDING FINGER JOINTED PINE), HARDWOOD AND THE LIKE. THE SKIRTING IS TO BE SEALED TO THE SLAB WITH A MINIMUM 5mm THICK BEAD OF VISIBLE WATERPROOF FLEXIBLE SEALANT.




**Sorell Council**

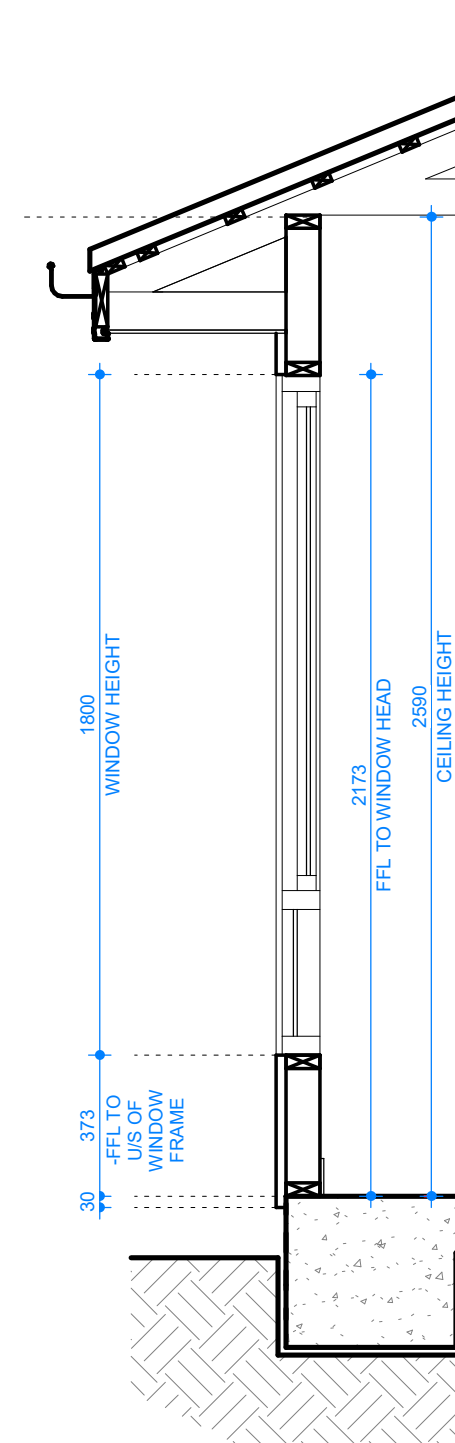
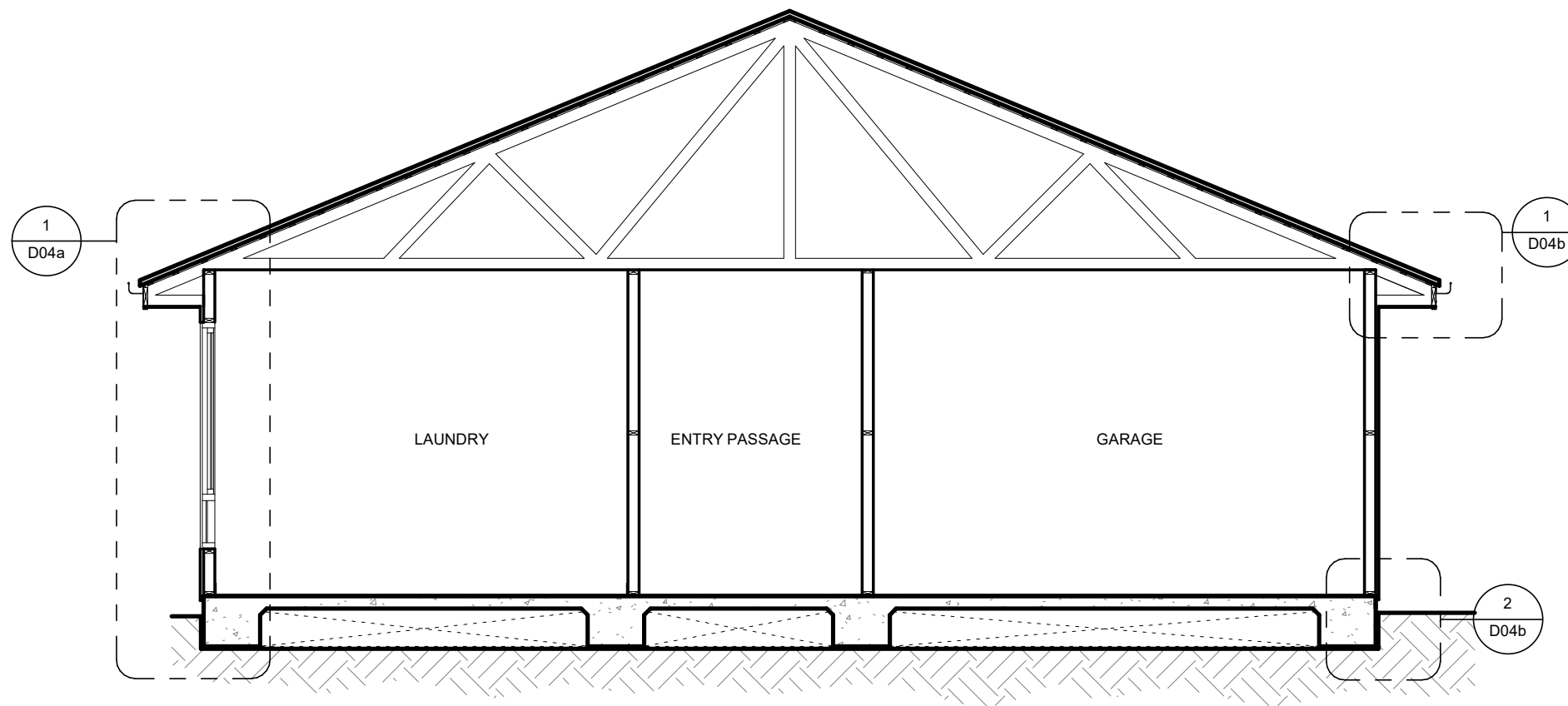
Development Application: 5.2024.284.1 - 12 Lytham Court, Midway Point.pdf

Plans Reference:P1  
Date Received: 6/11/2024

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|   |   |                                     |                                       |                                       |
|---|---|-------------------------------------|---------------------------------------|---------------------------------------|
|  | Home: <b>ABELIA-12.5(05H.03)</b>                                    | Facade: <b>B-CLARE<br/>03-COCOA</b> | <b>DRAWING DETAILS</b>                |                                       |
|   | Client: <b>SJM</b>  |                                     | 31/10/2024 11:58:47 AM                |                                       |
|   | Location: <b>12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171</b> |                                     | SCALE<br>1 : 100                      | SHEET SIZE<br>A3                      |
|   | Drawing: <b>ELEVATIONS - NOTES</b>                                  |                                     | JOB No: <b>527N</b>                   |                                       |
|   | 1/37 Ascot Dr, Huntingfield TAS 7055<br>P +61 3 6289 6601           |                                     | All dimensions to be verified on site | Drwg No: <b>D03c</b> Issue <b>A02</b> |



**A SECTION**  
D02 1 : 50

**1 TYP. SLAB REBATE DETAIL**  
D04a 1 : 20

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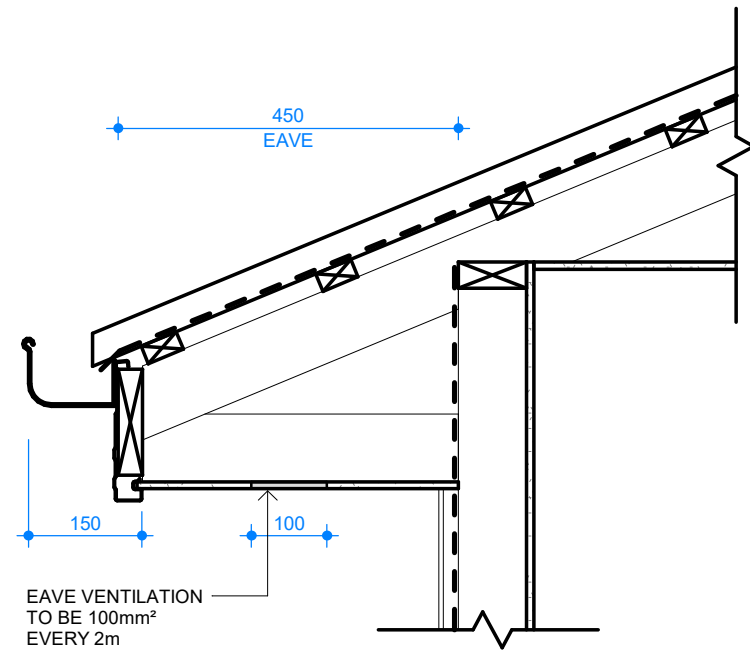


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P +61 3 6289 6601

Home: **ABELIA-12.5(05H.03)** Facade: **B-CLARE 03-COCOA**  
Client: **SJM**  
Location: 12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171  
Drawing: **SECTIONS**

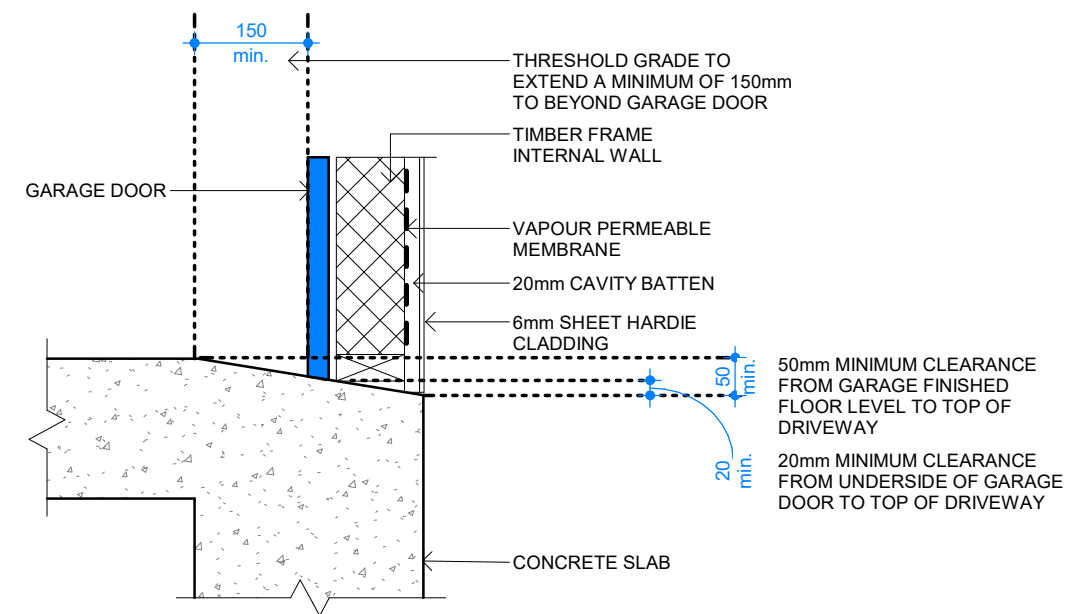
| DRAWING DETAILS        |             |
|------------------------|-------------|
| 31/10/2024 11:58:47 AM |             |
| SCALE                  | SHEET SIZE  |
| As indicated           | A3          |
| JOB No:                | <b>527N</b> |
| Drwg No:               | <b>D04a</b> |
| Issue                  | <b>A02</b>  |

All dimensions to be verified on site



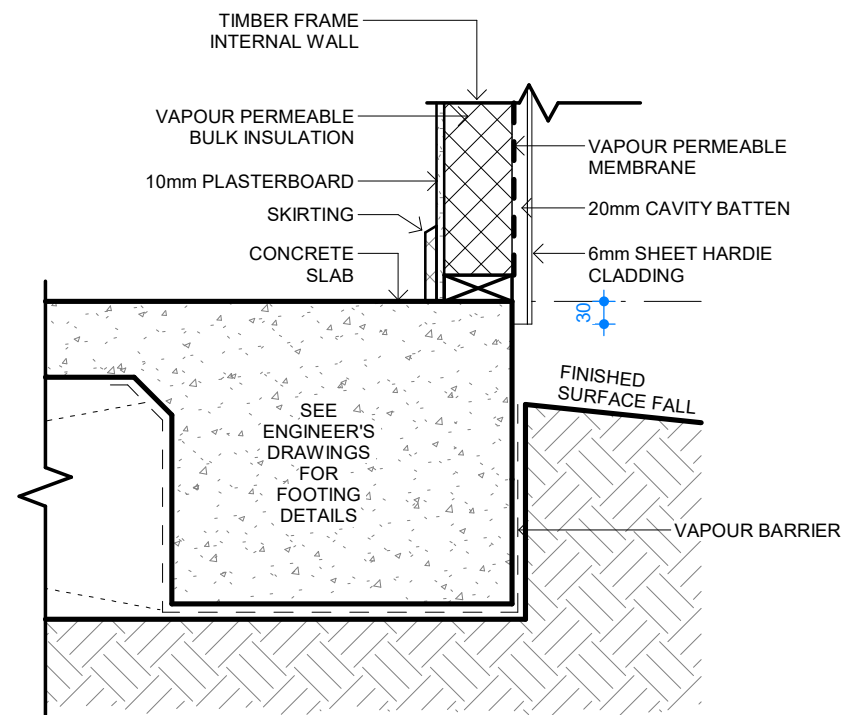
**1 TYP. GUTTER DETAIL -TOP OF WALL**

D04a 1:10



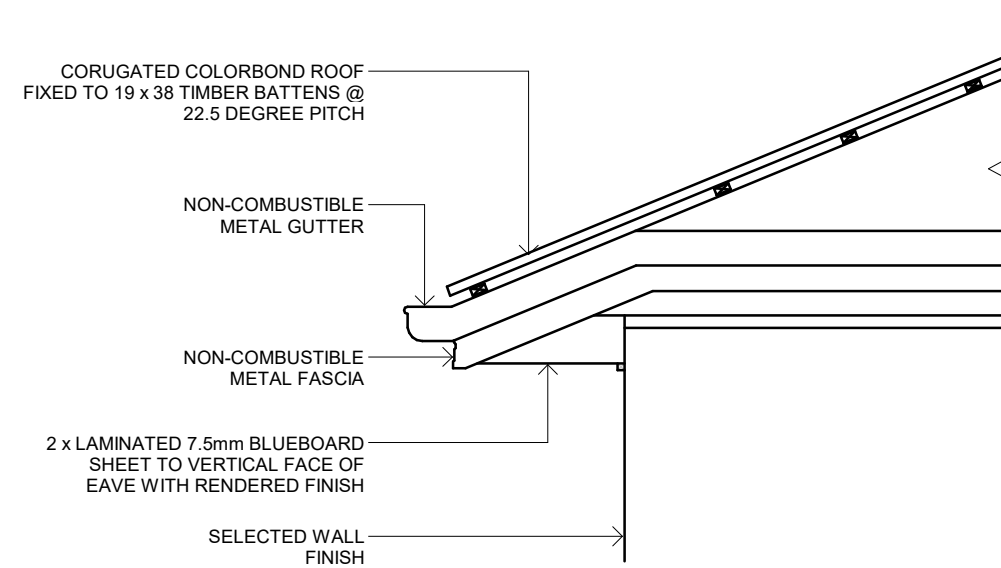
**3 GARAGE GRADED THRESHOLD DETAIL**

1:10



**2 TYP. SLAB REBATE DETAIL**

D04a 1:10



**EAVES DETAIL 1.0m**

1:10

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Client: **SJM**  
Location: **12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171**  
Drawing: **SECTIONS - TYPICAL**

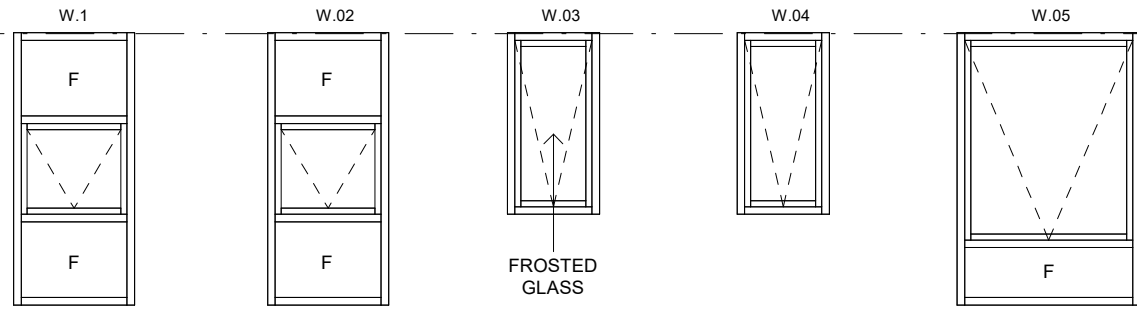
All dimensions to be verified on site

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Development Application: 5.2024.284.1 - 12 Lytham Court, Midway Point.pdf  
Plans Reference:P1  
Date Received: 6/11/2024

| DRAWING DETAILS        |                              |
|------------------------|------------------------------|
| 31/10/2024 11:58:47 AM |                              |
| SCALE                  | SHEET SIZE                   |
| 1:10                   | A3                           |
| JOB No:                | <b>527N</b>                  |
| Drwg No:               | <b>D04b</b> Issue <b>A02</b> |



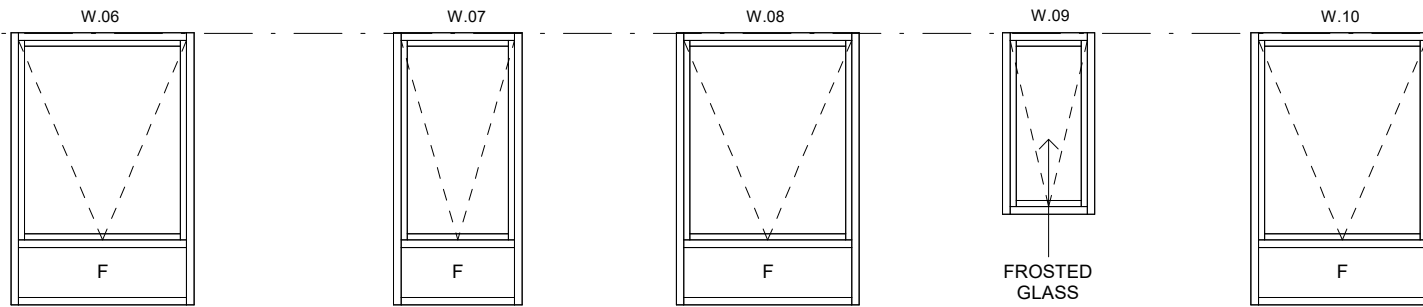
WINDOW 2173 AFFL  
HEAD HT



| WINDOW SCHEDULE |   |        |       |             |
|-----------------|---|--------|-------|-------------|
| WINDOW NO.      | DESCRIPTION   | HEIGHT | WIDTH | HEAD HEIGHT |
| W.01            | 3 Panel Wide Awning Window - 1 Opening Sash, Fixed Top & Bottom Panel | 1800   | 800   | 2173        |
| W.02            | 3 Panel Wide Awning Window - 1 Opening Sash, Fixed Top & Bottom Panel | 1800   | 800   | 2173        |
| W.03            | 1 Panel Wide Awning Window - 1 Opening Sash Only                      | 1200   | 610   | 2173        |
| W.04            | 1 Panel Wide Awning Window - 1 Opening Sash Only                      | 1200   | 610   | 2173        |
| W.05            | 2 Panel Wide Awning Window - 1 Opening Sash, 1 Fixed Bottom Panel     | 1800   | 1210  | 2173        |
| W.06            | 2 Panel Wide Awning Window - 1 Opening Sash, 1 Fixed Bottom Panel     | 1800   | 1210  | 2173        |
| W.07            | 2 Panel Wide Awning Window - 1 Opening Sash, 1 Fixed Bottom Panel     | 1800   | 850   | 2173        |
| W.08            | 2 Panel Wide Awning Window - 1 Opening Sash, 1 Fixed Bottom Panel     | 1800   | 1210  | 2173        |
| W.09            | 1 Panel Wide Awning Window - 1 Opening Sash Only                      | 1200   | 610   | 2173        |
| W.10            | 2 Panel Wide Awning Window - 1 Opening Sash, 1 Fixed Bottom Panel     | 1800   | 1210  | 2173        |

FFL 0

WINDOW 2173 AFFL  
HEAD HT

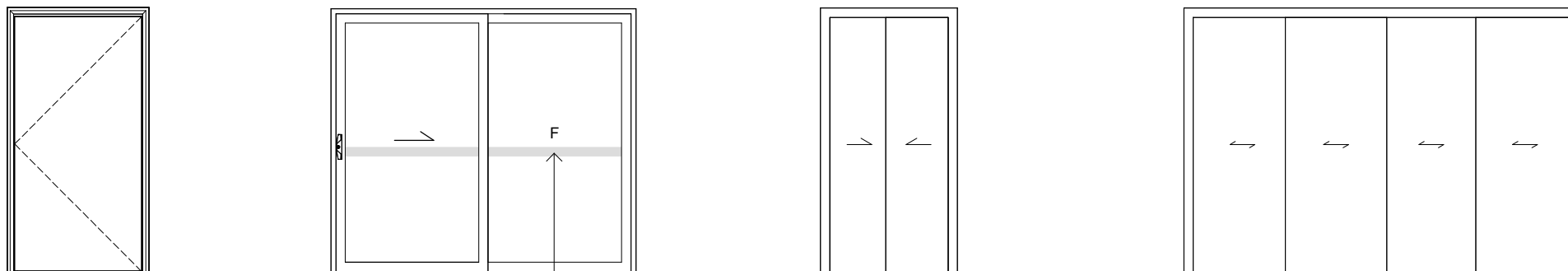


| DOOR SCHEDULE |           |   |       |        |
|---------------|-----------|---|-------|--------|
| DOOR NO.      | DOOR TYPE | DESCRIPTION                                   | WIDTH | HEIGHT |
| D.01          | DT1       | Single Swing Solid-Core Door                  | 1020  | 2040   |
| D.02          | DT1       | Single Swing Solid-Core Door                  | 1020  | 2040   |
| D.03          | DT3       | 2 Panel Robe Sliding Door                     | 950   | 2040   |
| D.04          | DT3       | 2 Panel Robe Sliding Door                     | 950   | 2040   |
| D.05          | DT1       | Single Swing Solid-Core Door                  | 1020  | 2040   |
| D.06          | DT1       | Single Swing Solid-Core Door                  | 1020  | 2040   |
| D.07          | DT1       | Single Swing Solid-Core Door                  | 1020  | 2040   |
| D.08          | DT4       | 4 Panel Robe Sliding Door                     | 3060  | 2040   |
| D.09          | DT1       | Single Swing Solid-Core Door                  | 1020  | 2040   |
| D.10          | DT3       | 2 Panel Robe Sliding Door                     | 1854  | 2140   |
| D.11          | DT3       | 2 Panel Robe Sliding Door                     | 1854  | 2140   |
| D.12          | DT1       | Single Swing Solid-Core Door                  | 1020  | 2040   |
| D.13          | DT2       | Glazed Aluminium Sliding Door - 1 Fixed Panel | 2450  | 2110   |

FFL 0

## WINDOW SCHEDULE

1 : 50



DT1  
SOLID CORE TIMBER  
SINGLE SWING DOOR

DT2  
GLAZED ALUMINIUM  
SLIDING DOOR  
(FOR ORIENTATION  
REFER TO BUILDING  
ELEVATIONS)

SOLID  
IDENTIFICATION  
STRIP 75mm WIDE

DT3  
2 PANEL ROBE/LINEN  
SLIDING DOOR

DT4  
4 PANEL ROBE/LINEN  
SLIDING DOOR

**Sorell Council**  
Development Application: 5.2024.284.1 - 12  
Lytham Court, Midway Point.pdf  
Plans Reference: P1  
Date Received: 6/11/2024

## DOOR TYPE ELEVATION

1 : 50

### IMPORTANT NOTES:

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.
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- WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
- FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME.
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- ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE.



1/37 Ascot Dr, Huntingfield TAS 7055  
P +61 3 6289 6601

Home: ABELIA-12.5(05H.03)

Client: SJM

Location: 12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171

Drawing: WINDOW & DOOR SCHEDULE

Facade: B-CLARE  
03-COCOA

| DRAWING DETAILS        |               |
|------------------------|---------------|
| 31/10/2024 11:58:47 AM |               |
| SCALE                  | SHEET SIZE    |
| As indicated           | A3            |
| JOB No:                | 527N          |
| Drwg No:               | D05 Issue A02 |

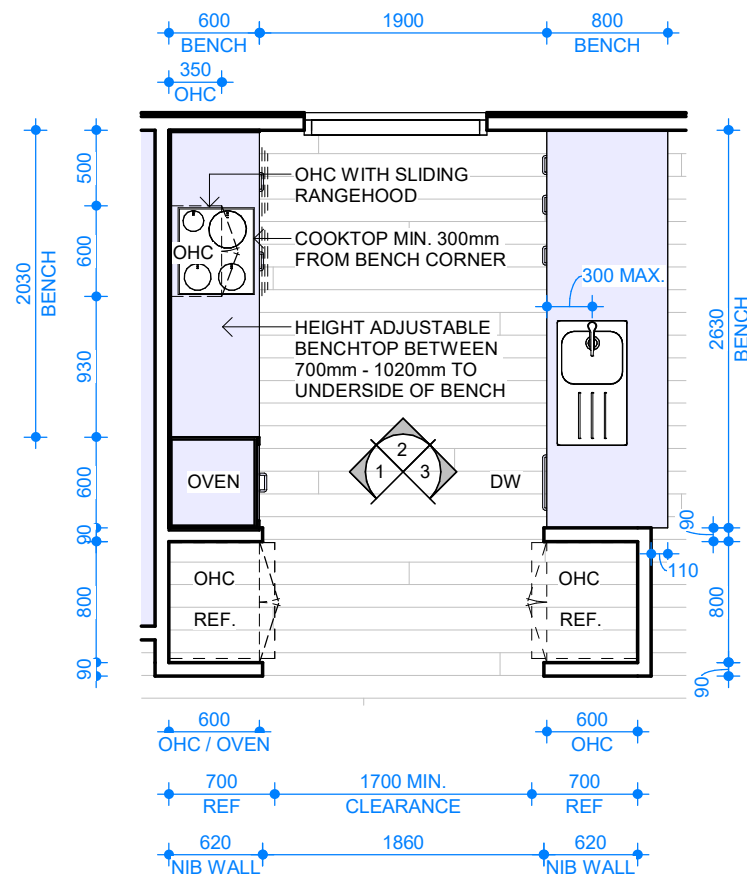
All dimensions to be verified on site

### NOTES:

- SOLID IDENTIFICATION STRIP 75mm WIDE REQUIRED TO GLAZING BETWEEN 900mm TO 1000mm FFL FOR PREVENTION OF ACCIDENTAL MOVEMENT.
- WINDOW & DOOR GLAZING SPECIFICATIONS:  
-ESSENTIAL 52mm AWNING WINDOW (CLEAR DOUBLE GLAZED) -U-VALUE=4.15 SHGC=0.57  
-SIGNATURE 100mm SLIDING DOOR (CLEAR DOUBLE GLAZED) -U-VALUE=3.7 SHGC=0.63

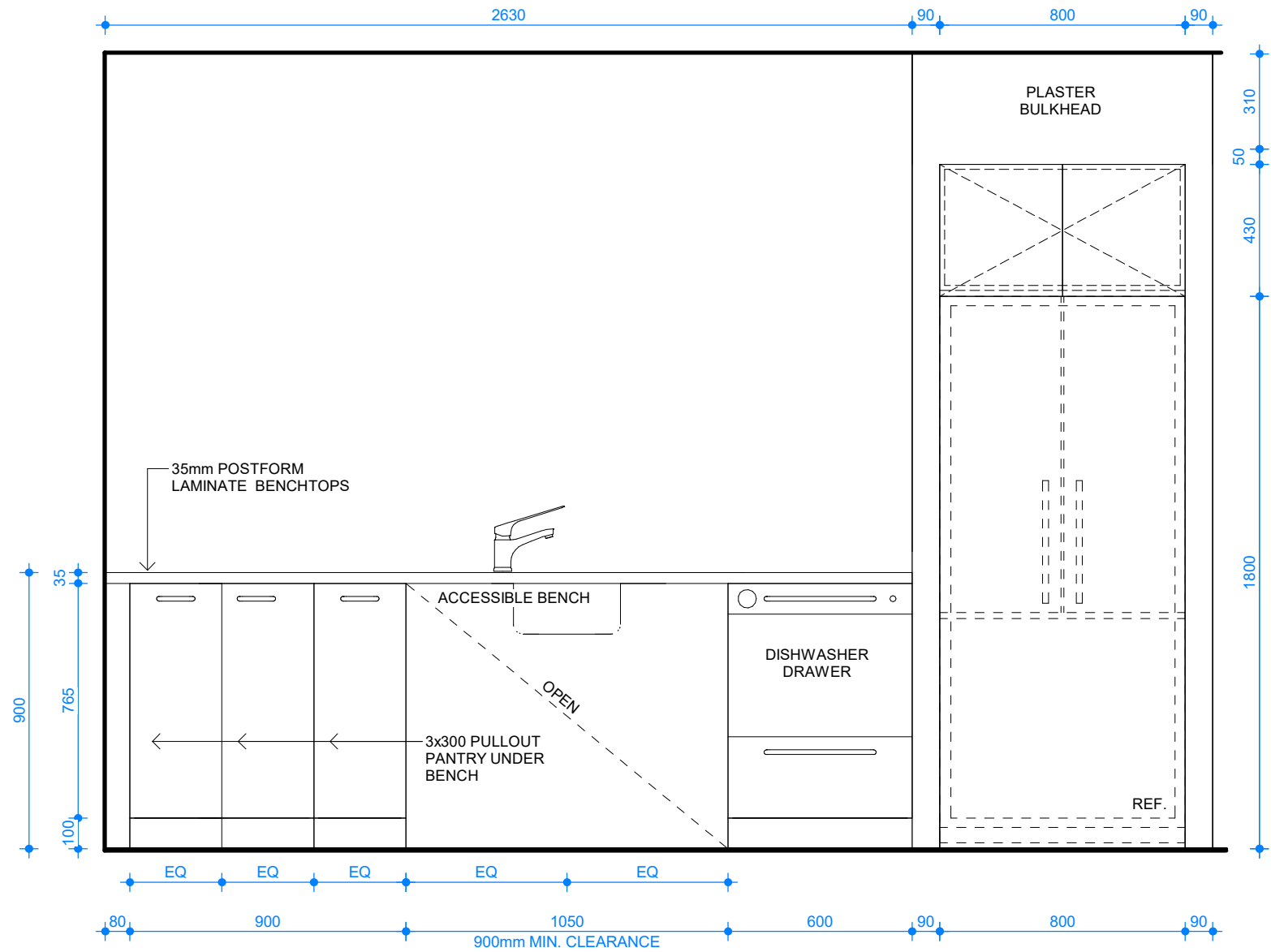






### KITCHEN PLAN

1:50



### 3 KITCHEN ELEVATION

D06a 1:20

**IMPORTANT NOTES:**

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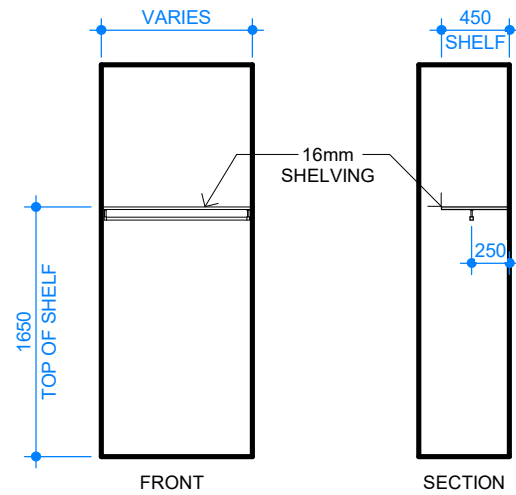
1/37 Ascot Dr, Huntingfield TAS 7055  
P +61 3 6289 6601

Home: **ABELIA-12.5(05H.03)** Facade: **B-CLARE 03-COCOA**  
Client: **SJM**  
Location: 12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171  
Drawing: **INTERNAL ELEVATIONS - KITCHEN**

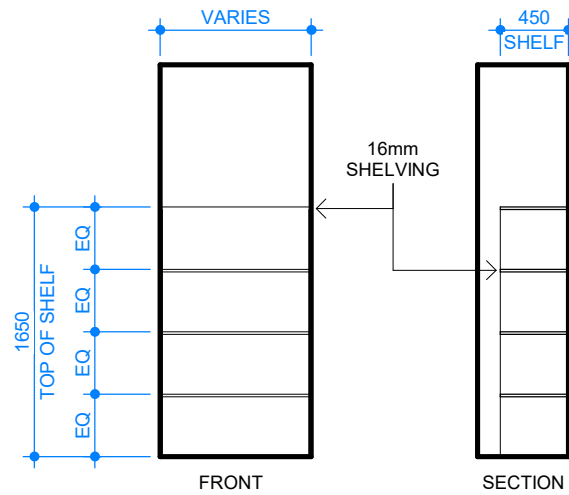
All dimensions to be verified on site

**Sorell Council**  
Development Application: 5.2024.284.1 - 12 Lytham Court, Midway Point.pdf  
Plans Reference:P1  
Date Received: 6/11/2024

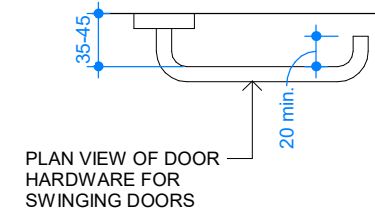
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| As indicated           | A3                           |
| JOB No:                | <b>527N</b>                  |
| Drwg No:               | <b>D06c</b> Issue <b>A02</b> |



**TYPICAL ROBE**  
1 : 50



**TYPICAL LINEN**  
1 : 50



**TYPICAL DOOR HARDWARE**  
1 : 5

**D PULL HANDLE:**  
D PULL CUPBOARD HANDLES TO ALL CUPBOARDS UNLESS NOTED OTHERWISE

PUSH TO RELEASE MECHANISMS FOR BOTH OVERHEAD AND UNDER BENCH CUPBOARDS


**C.O.S. DIMENSION:**  
ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE

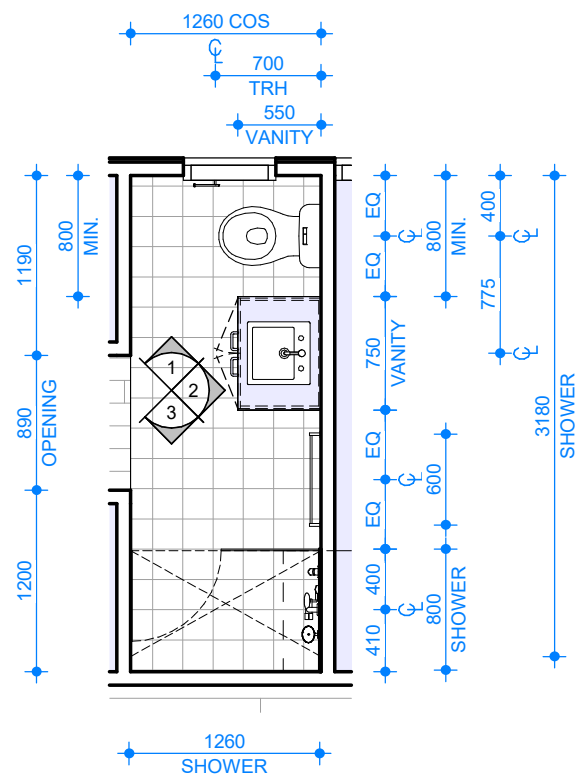
**BENCHTOP:**  
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)

**IMPORTANT NOTES:**

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**Sorell Council**  
Development Application: 5.2024.284.1 - 12 Lytham Court, Midway Point.pdf  
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Date Received: 6/11/2024

|   |  |   |                                       |
|---|--|---|---------------------------------------|
|  <p>1/37 Ascot Dr, Huntingfield TAS 7055<br/>P +61 3 6289 6601</p> | Home: <b>ABELIA-12.5(05H.03)</b> Facade: <b>B-CLARE 03-COCOA</b><br>Client: <b>SJM</b><br>Location: 12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171 | <b>DRAWING DETAILS</b><br>31/10/2024 11:58:48 AM<br>SCALE: As indicated      SHEET SIZE: A3 |                                       |
|   | Drawing: <b>INTERNAL ELEVATIONS - TYPICAL</b>  | JOB No: <b>527N</b><br>Drwg No: <b>D06d</b> Issue: <b>A02</b>                               | All dimensions to be verified on site |



### WC PLAN

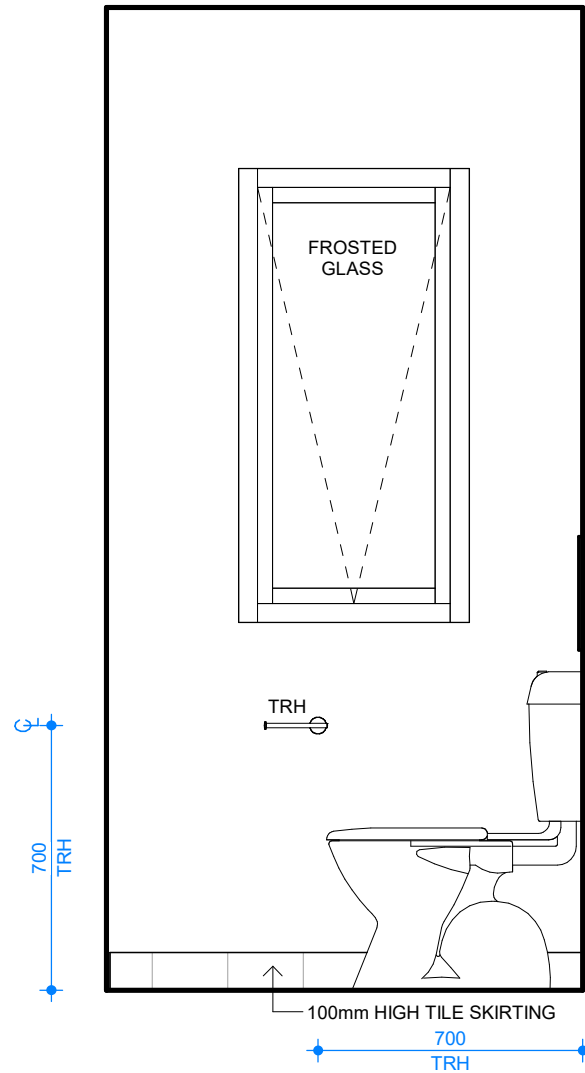
1 : 50

**D PULL HANDLE:**  
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PUSH TO RELEASE MECHANISMS FOR BOTH OVERHEAD AND UNDER BENCH CUPBOARDS

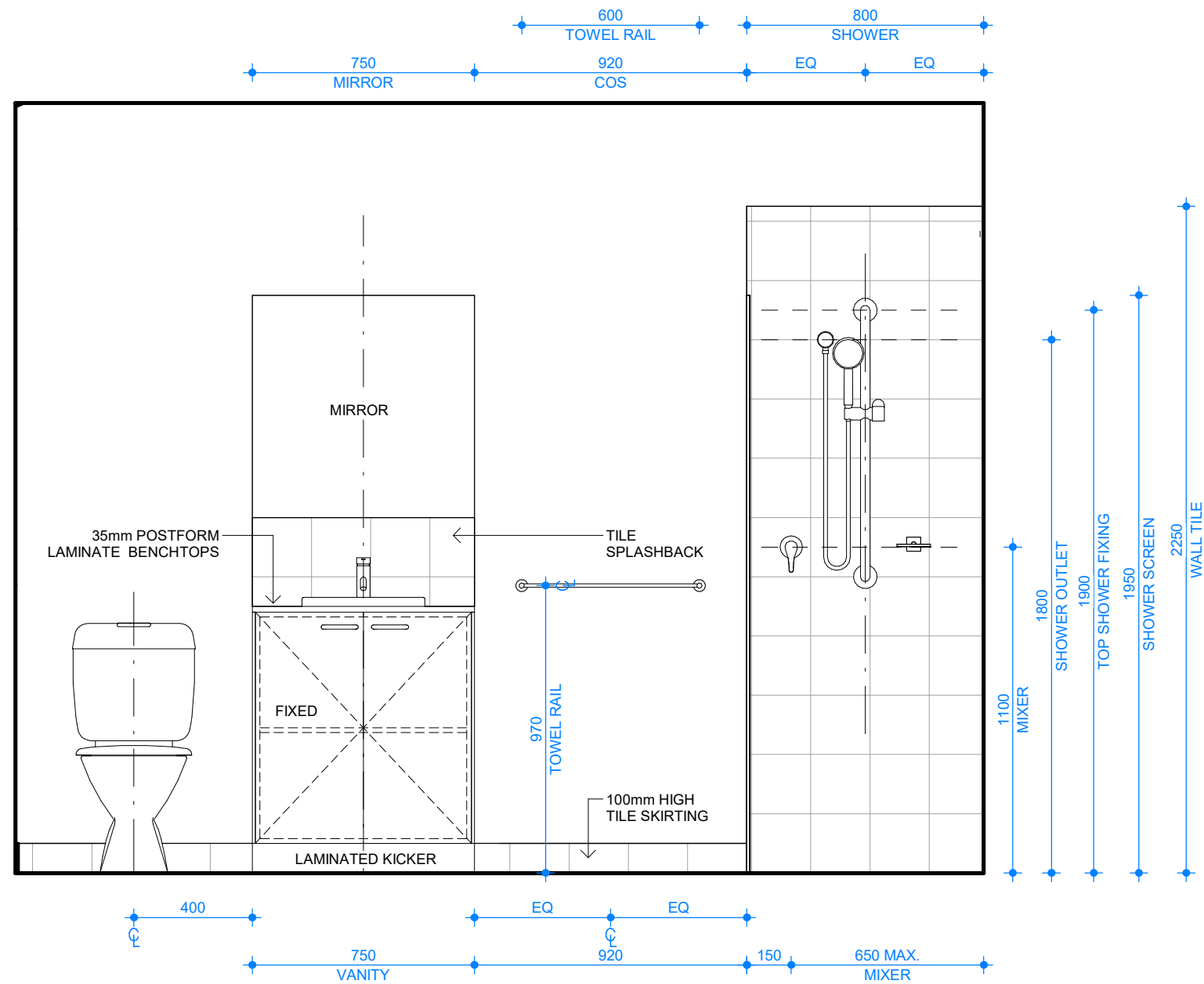
**C.O.S. DIMENSION:**  
ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE

**BENCHTOP:**  
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)



### 1 WC ELEVATION

D07a 1 : 20




### 2 WC ELEVATION

D07a 1 : 20

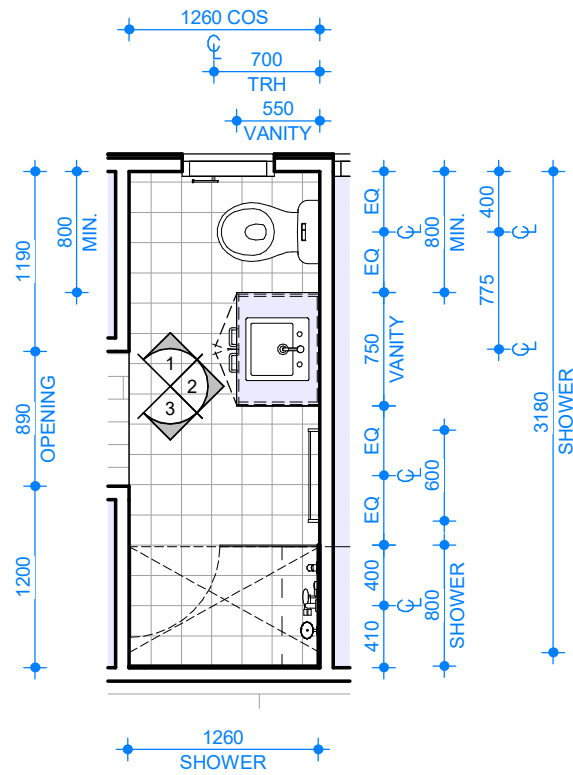
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**Sorell Council**  
Development Application: 5.2024.284.1 - 12 Lytham Court, Midway Point.pdf  
Plans Reference:P1  
Date Received: 6/11/2024

|   |  |   |   |
|---|--|---|---|
|  <p>1/37 Ascot Dr, Huntingfield TAS 7055<br/>P +61 3 6289 6601</p> | Home: <b>ABELIA-12.5(05H.03)</b>         | Facade: <b>B-CLARE 03-COCOA</b>                                     | <p><b>DRAWING DETAILS</b><br/>31/10/2024 11:58:49 AM<br/>SCALE As indicated SHEET SIZE A3</p> |
|   | Client: <b>SJM</b>                       | Location: <b>12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171</b> |   |
|   | Drawing: <b>WET AREA ELEVATIONS - WC</b> | All dimensions to be verified on site                               | Drwg No: <b>D07a</b> Issue <b>A02</b>   |





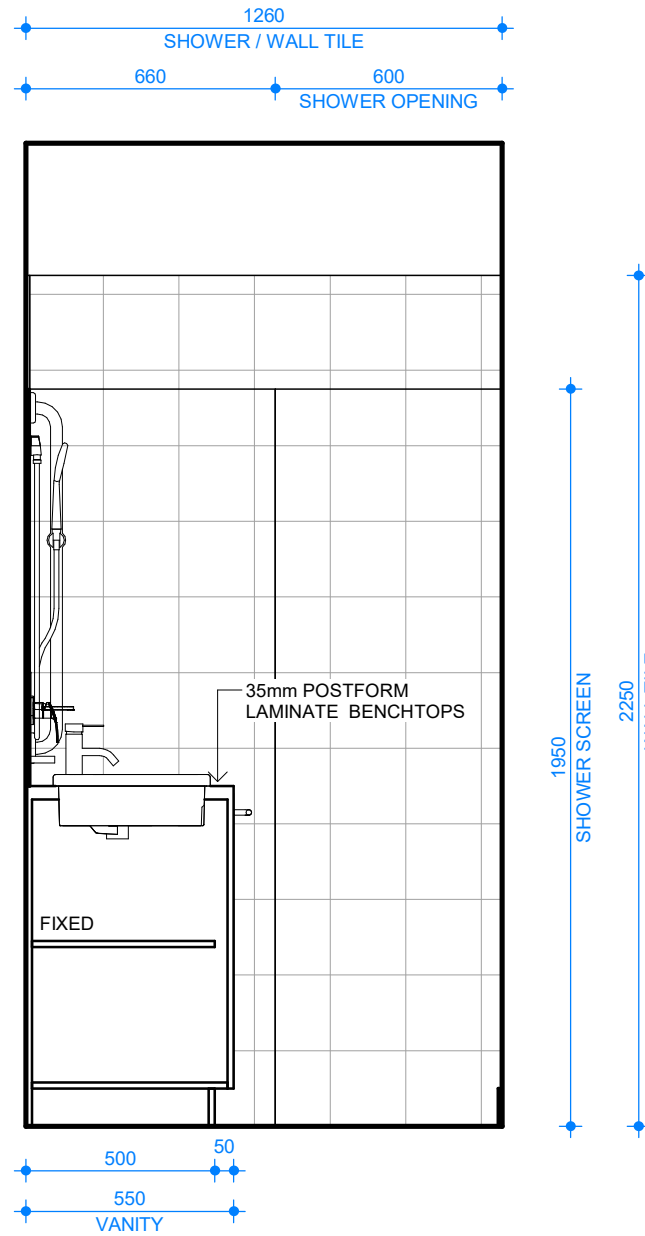
**WC PLAN**  
1 : 50

**D PULL HANDLE:**  
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PUSH TO RELEASE MECHANISMS FOR BOTH OVERHEAD AND UNDER BENCH CUPBOARDS

**C.O.S. DIMENSION:**  
ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE

**BENCHTOP:**  
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)



**3 WC ELEVATION**  
D07a 1 : 20

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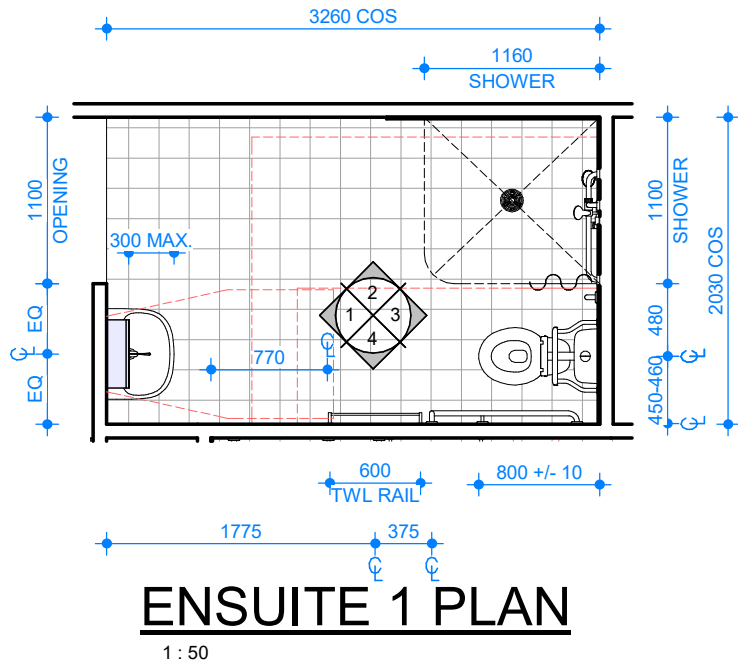


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Home: **ABELIA-12.5(05H.03)** Facade: **B-CLARE 03-COCOA**  
Client: **SJM**  
Location: 12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171  
Drawing: **WET AREA ELEVATIONS - WC**

| DRAWING DETAILS                       |                              |
|---------------------------------------|------------------------------|
| 31/10/2024 11:58:49 AM                |                              |
| SCALE                                 | SHEET SIZE                   |
| As indicated                          | A3                           |
| JOB No:                               | <b>527N</b>                  |
| Drwg No:                              | <b>D07b</b> Issue <b>A02</b> |
| All dimensions to be verified on site |                              |

**Sorell Council**  
Development Application: 5.2024.284.1 - 12 Lytham Court, Midway Point.pdf  
Plans Reference:P1  
Date Received: 6/11/2024

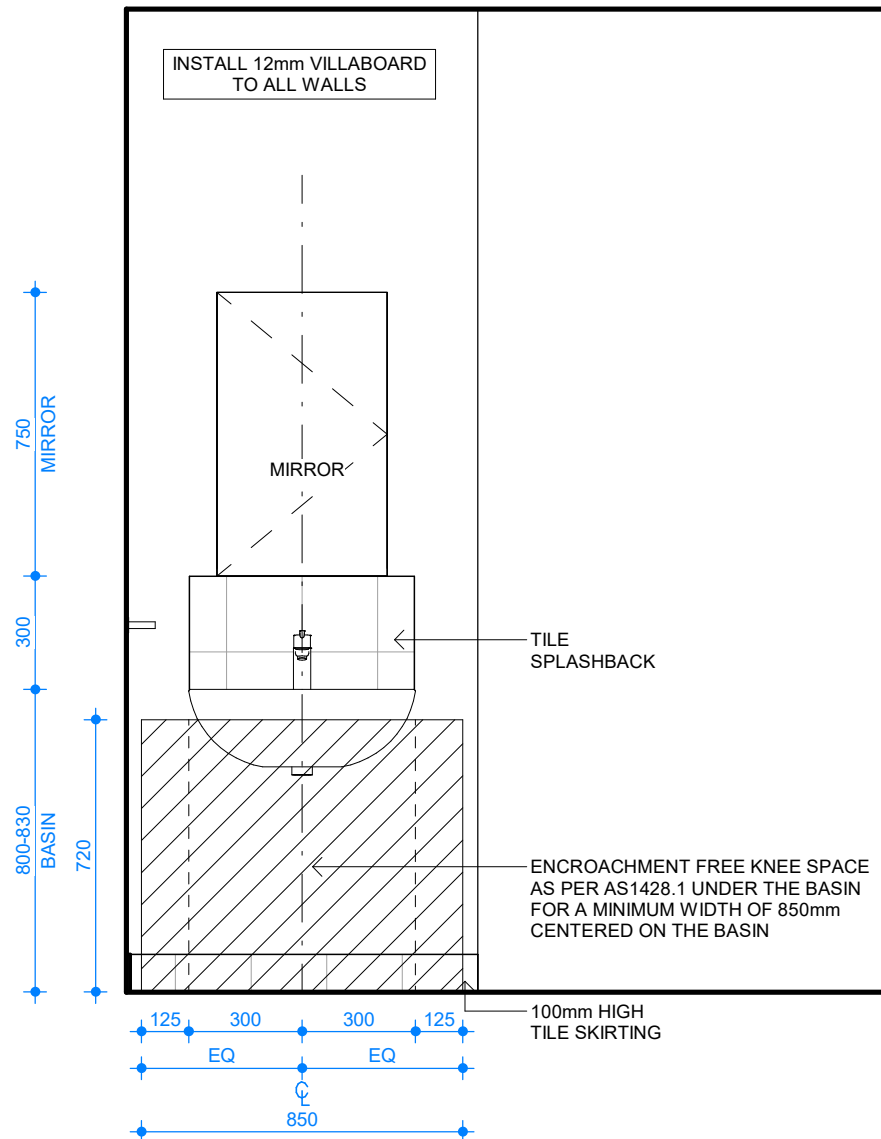
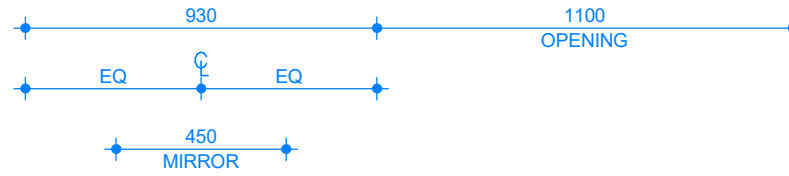


**D PULL HANDLE:**  
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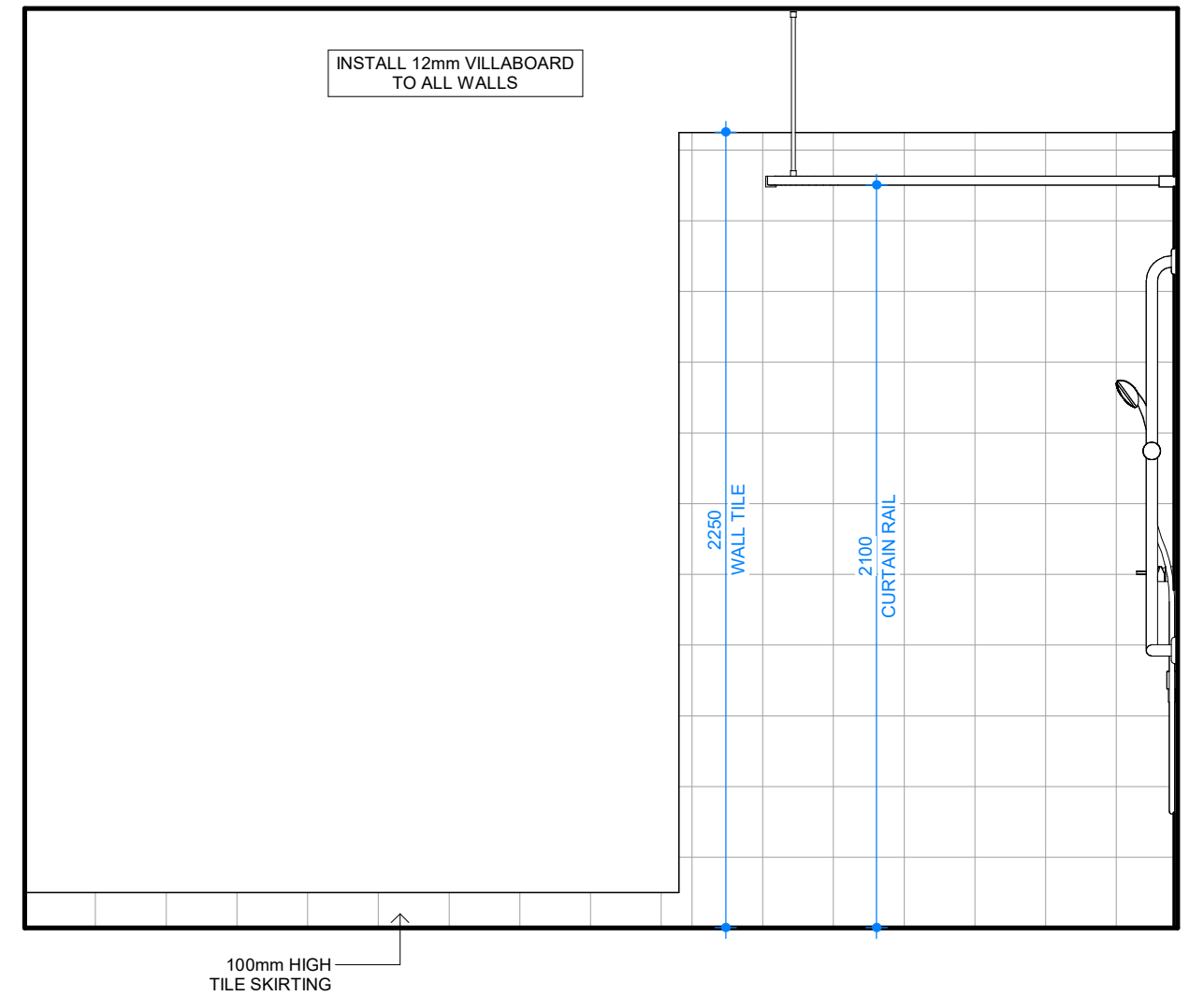
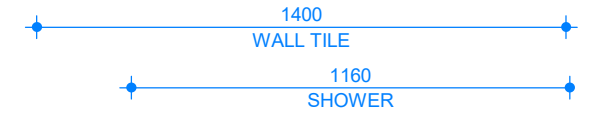
PUSH TO RELEASE MECHANISMS FOR BOTH OVERHEAD AND UNDER BENCH CUPBOARDS

**C.O.S. DIMENSION:**  
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**BENCHTOP:**  
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)



**1 ENSUITE 1 ELEVATION**  
D07c 1 : 20



**2 ENSUITE 1 ELEVATION**  
D07c 1 : 20

**IMPORTANT NOTES:**

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Home: ABELIA-12.5(05H.03)

Client: SJM

Location: 12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171

Drawing: WET AREA ELEVATIONS - ENSUITE 1

Facade: B-CLARE  
03-COCOA

**Sorell Council**  
Development Application: 5.2024.284.1 - 12 Lytham Court, Midway Point.pdf  
Plans Reference: P1  
Date Received: 6/11/2024

**DRAWING DETAILS**

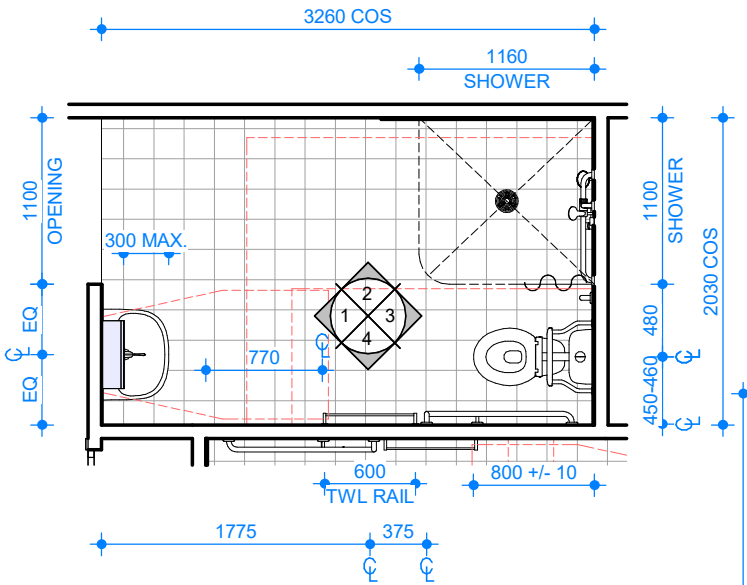
31/10/2024 11:58:50 AM

SCALE: As indicated SHEET SIZE: A3

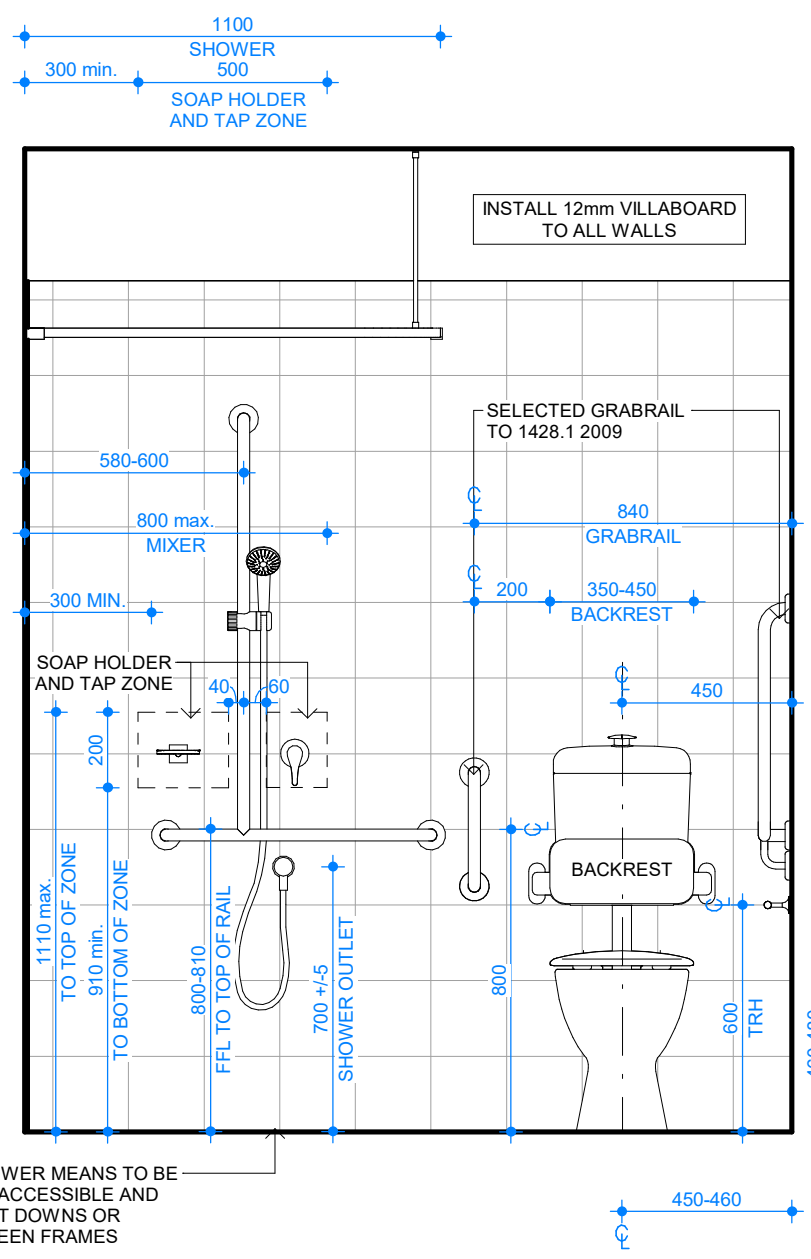
JOB No: 527N

Drwg No: D07c Issue A02

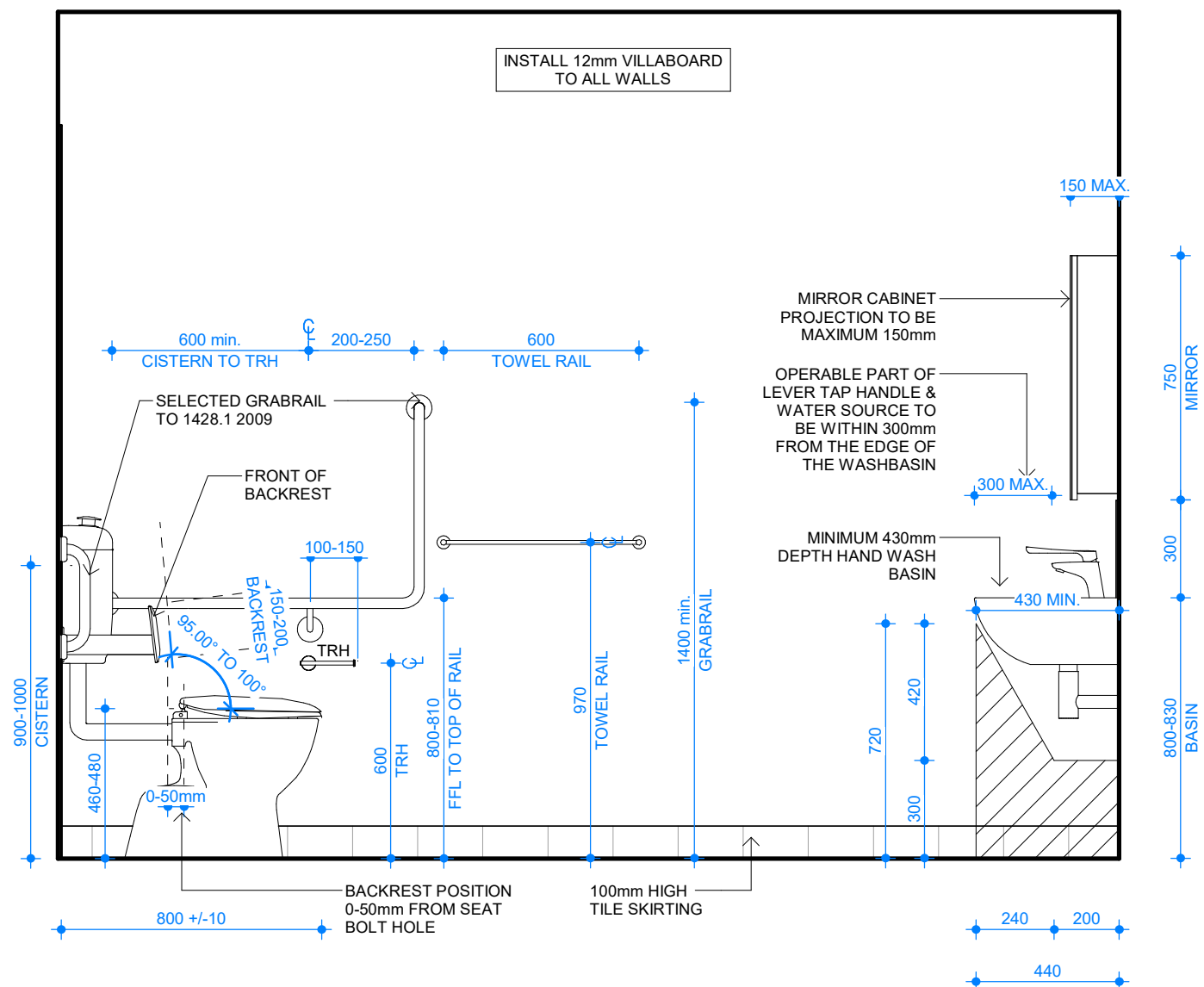
All dimensions to be verified on site



**ENSUITE 1 PLAN**  
1 : 50



**3 ENSUITE 1 ELEVATION**  
D07c 1 : 20



**4 ENSUITE 1 ELEVATION**  
D07c 1 : 20

**D PULL HANDLE:**  
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PUSH TO RELEASE MECHANISMS FOR BOTH OVERHEAD AND UNDER BENCH CUPBOARDS

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**BENCHTOP:**  
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)

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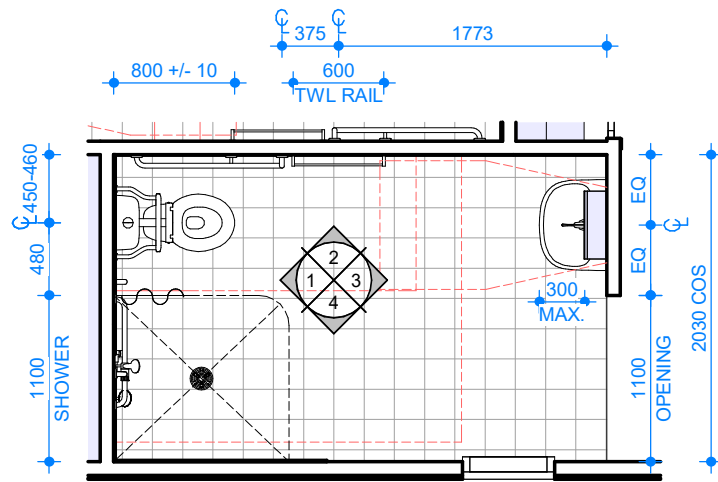
**SJM** property developments  
1/37 Ascot Dr, Huntingfield TAS 7055  
P +61 3 6289 6601

Home: **ABELIA-12.5(05H.03)** Facade: **B-CLARE 03-COCOA**  
Client: **SJM**  
Location: **12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171**  
Drawing: **WET AREA ELEVATIONS - ENSUITE 1**

| DRAWING DETAILS        |                              |
|------------------------|------------------------------|
| 31/10/2024 11:58:50 AM |                              |
| SCALE                  | SHEET SIZE                   |
| As indicated           | A3                           |
| JOB No:                | <b>527N</b>                  |
| Drwg No:               | <b>D07d</b> Issue <b>A02</b> |

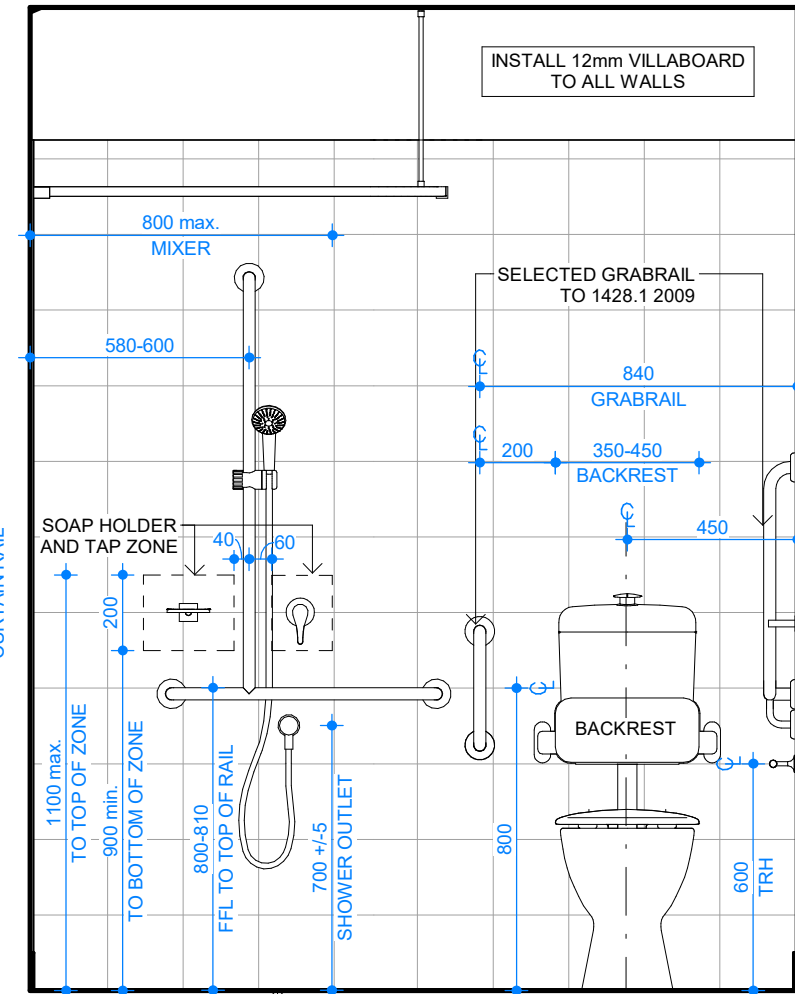
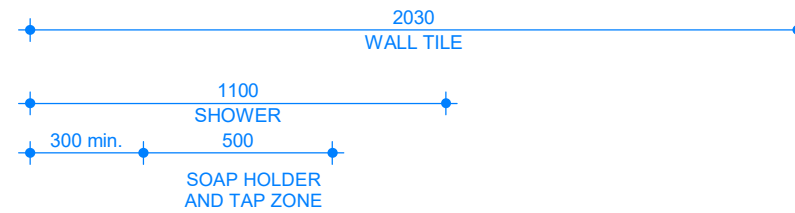
All dimensions to be verified on site

**Sorell Council**  
Development Application: 5.2024.284.1 - 12 Lytham Court, Midway Point.pdf  
Plans Reference: P1  
Date Received: 6/11/2024



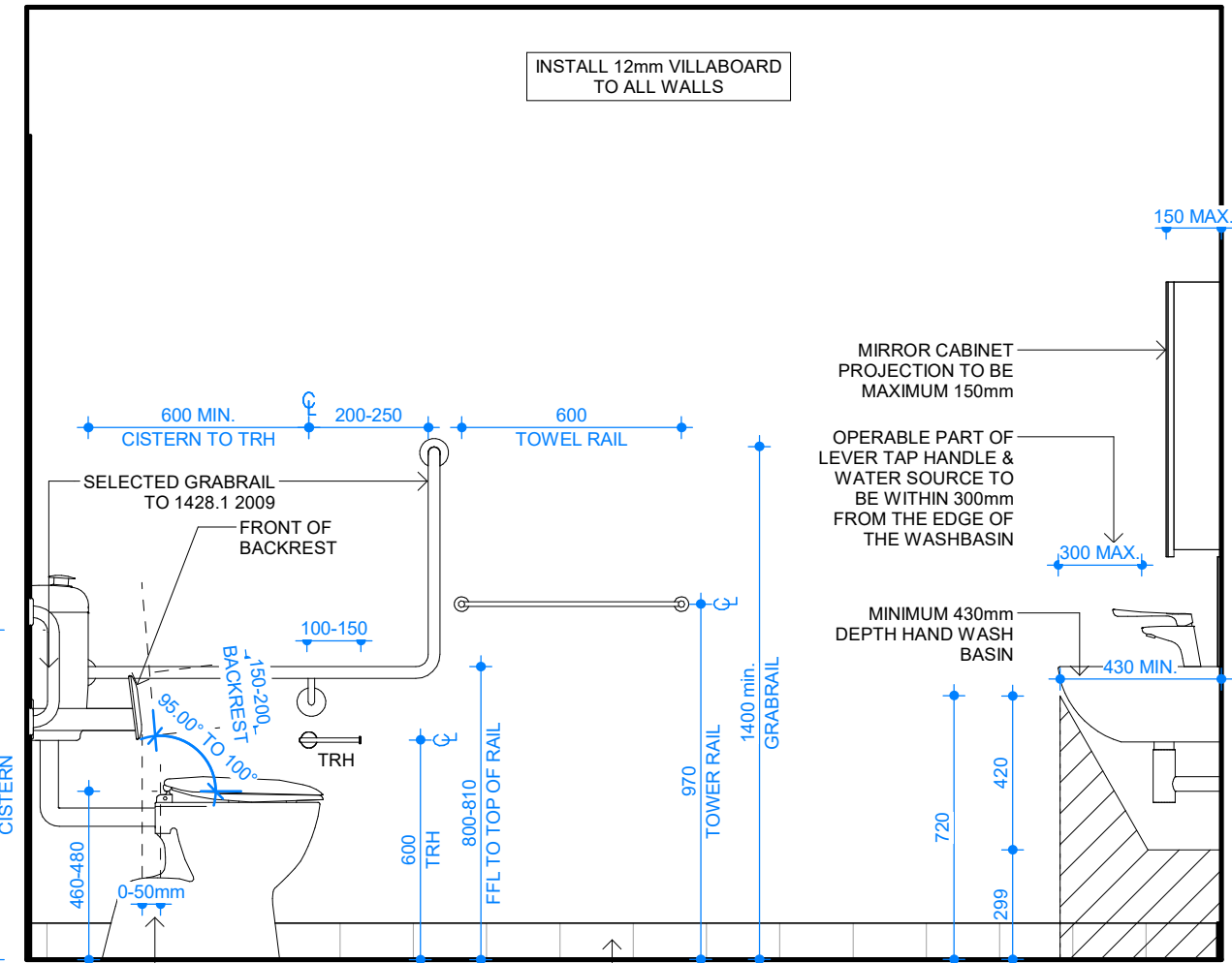
## ENSUITE 2 PLAN

1:50



HOBLESS SHOWER MEANS TO BE WHEELCHAIR ACCESSIBLE AND EXCLUDES SET DOWNS OR SHOWER SCREEN FRAMES

**1 ENSUITE 2 ELEVATION**  
D07e 1:20



**2 ENSUITE 2 ELEVATION**  
D07e 1:20

**D PULL HANDLE:**  
D PULL CUPBOARD HANDLES TO ALL CUPBOARDS UNLESS NOTED OTHERWISE

PUSH TO RELEASE MECHANISMS FOR BOTH OVERHEAD AND UNDER BENCH CUPBOARDS

**C.O.S. DIMENSION:**  
ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE

**BENCHTOP:**  
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)

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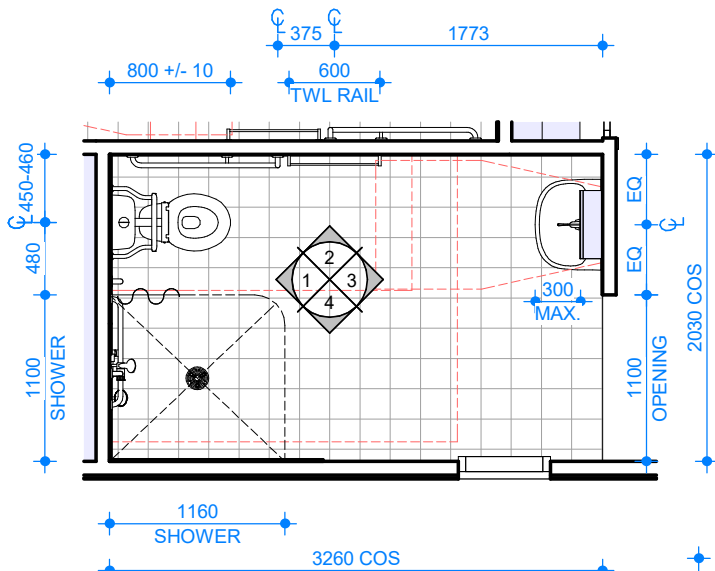
1/37 Ascot Dr, Huntingfield TAS 7055  
P +61 3 6289 6601

Home: **ABELIA-12.5(05H.03)** Facade: **B-CLARE 03-COCOA**  
Client: **SJM**  
Location: **12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171**  
Drawing: **WET AREA ELEVATIONS - ENSUITE 2**

**Sorell Council**  
Development Application: 5.2024.284.1 - 12 Lytham Court, Midway Point.pdf  
Plans Reference: P1  
Date Received: 6/11/2024

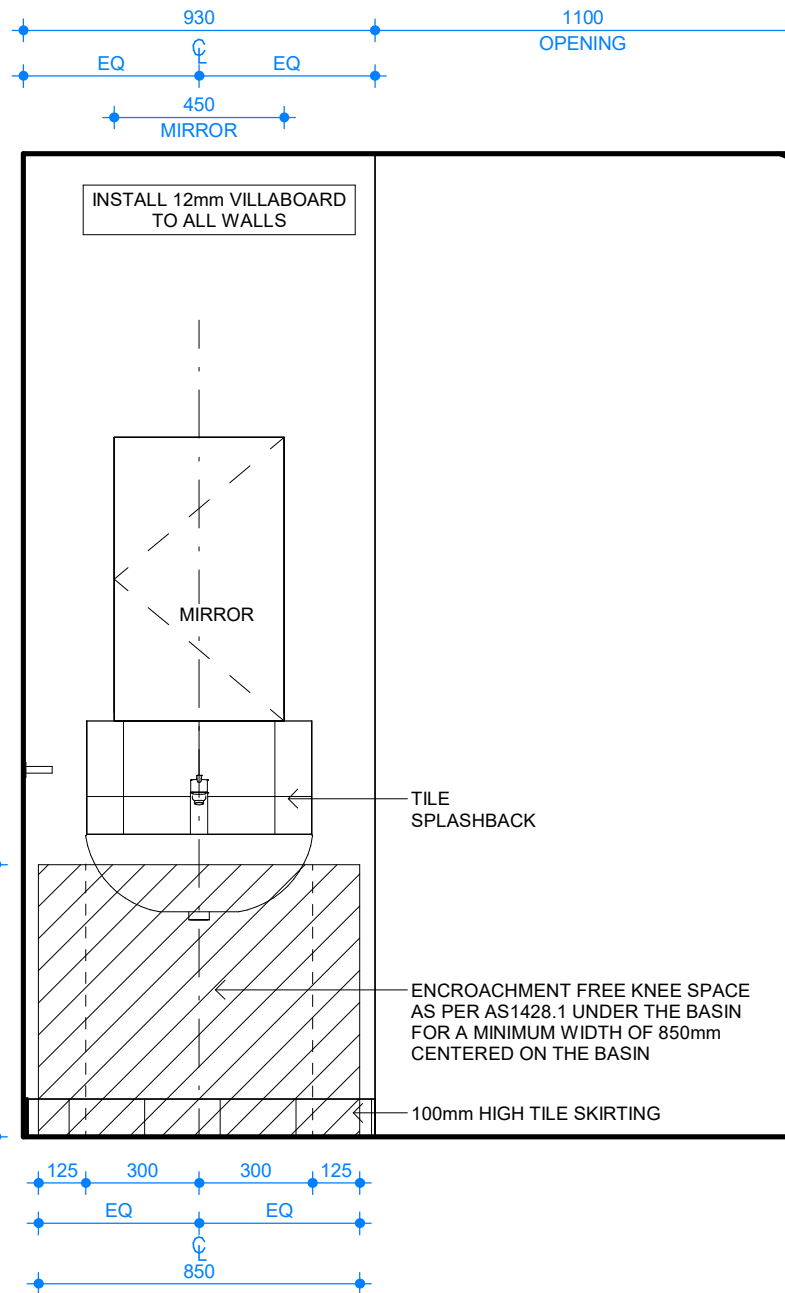
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| As indicated           | A3          |
| JOB No:                | <b>527N</b> |
| Drwg No:               | <b>D07e</b> |
| Issue                  | <b>A02</b>  |

All dimensions to be verified on site



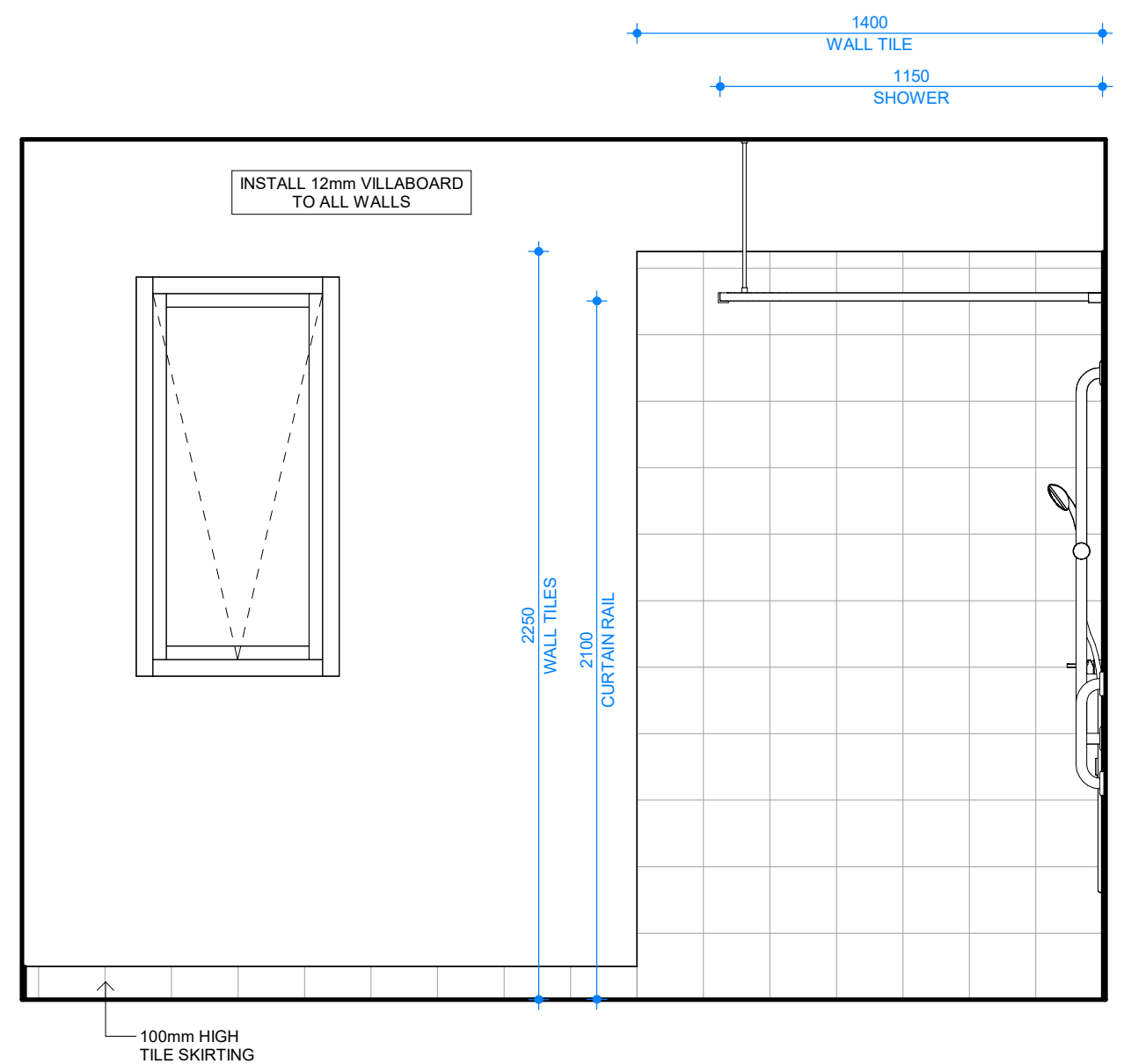
### ENSUITE 2 PLAN

1 : 50



### 3 ENSUITE 2 ELEVATION

D07e 1 : 20



### 4 ENSUITE 2 ELEVATION

D07e 1 : 20

**D PULL HANDLE:**  
D PULL CUPBOARD HANDLES TO ALL CUPBOARDS UNLESS NOTED OTHERWISE

PUSH TO RELEASE MECHANISMS FOR BOTH OVERHEAD AND UNDER BENCH CUPBOARDS

**C.O.S. DIMENSION:**  
ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE

**BENCHTOP:**  
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)

**IMPORTANT NOTES:**

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.
- ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE, ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
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1/37 Ascot Dr, Huntingfield TAS 7055  
P +61 3 6289 6601

Home: ABELIA-12.5(05H.03)

Client: SJM

Location: 12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171

Drawing: WET AREA ELEVATIONS - ENSUITE 2

Facade: B-CLARE  
03-COCOA



Development Application: 5.2024.284.1 - 12 Lytham Court, Midway Point.pdf

Plans Reference:P1  
Date Received: 6/11/2024

**DRAWING DETAILS**

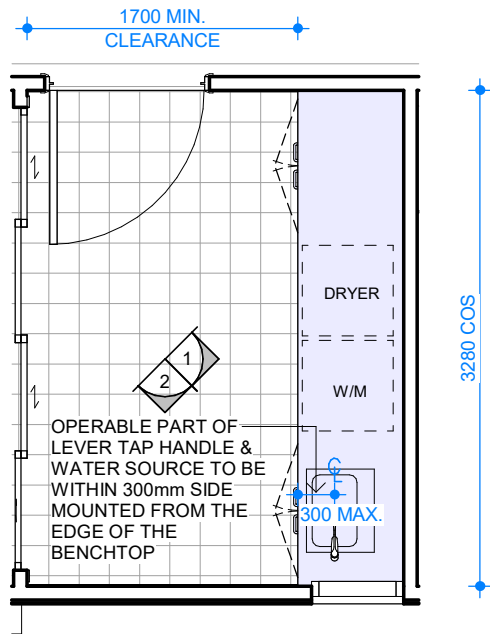
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JOB No: 527N

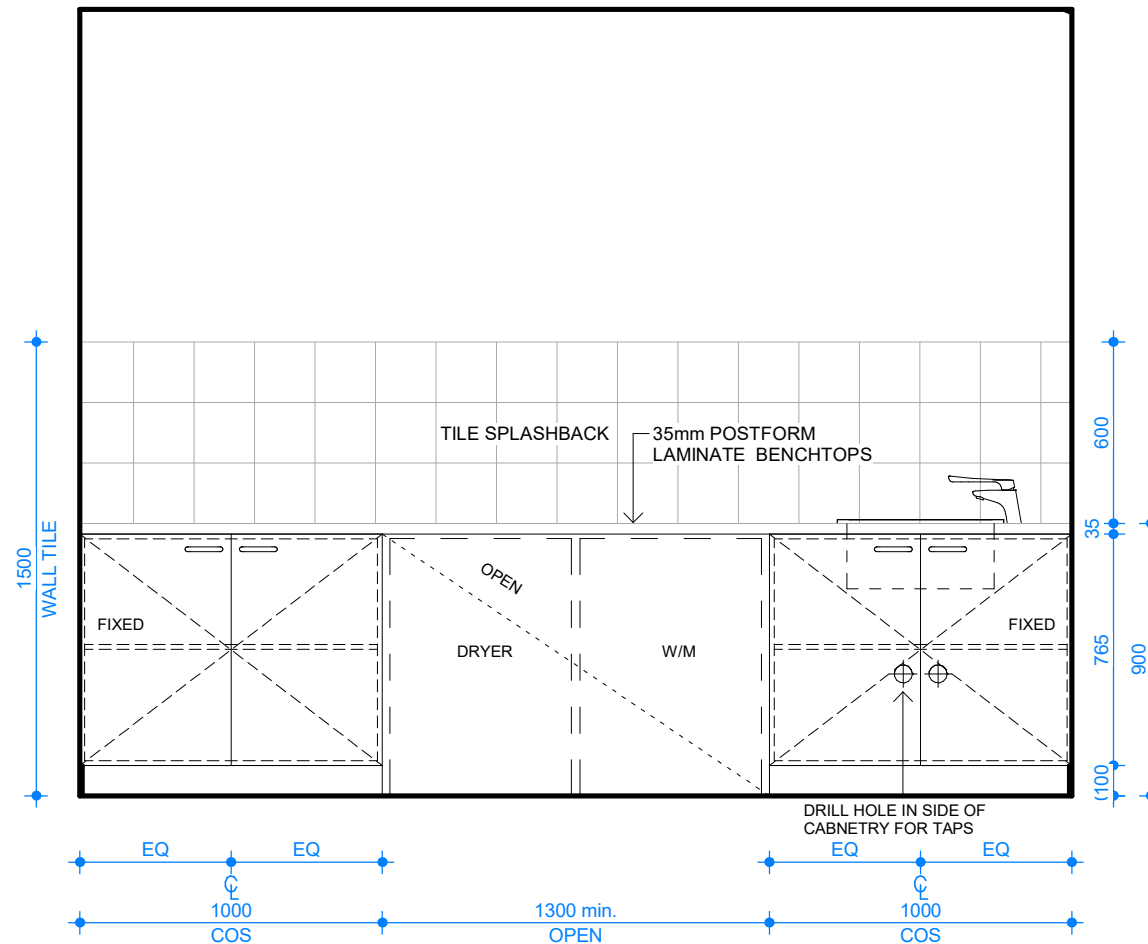
Drwg No: D07f Issue A02

All dimensions to be verified on site



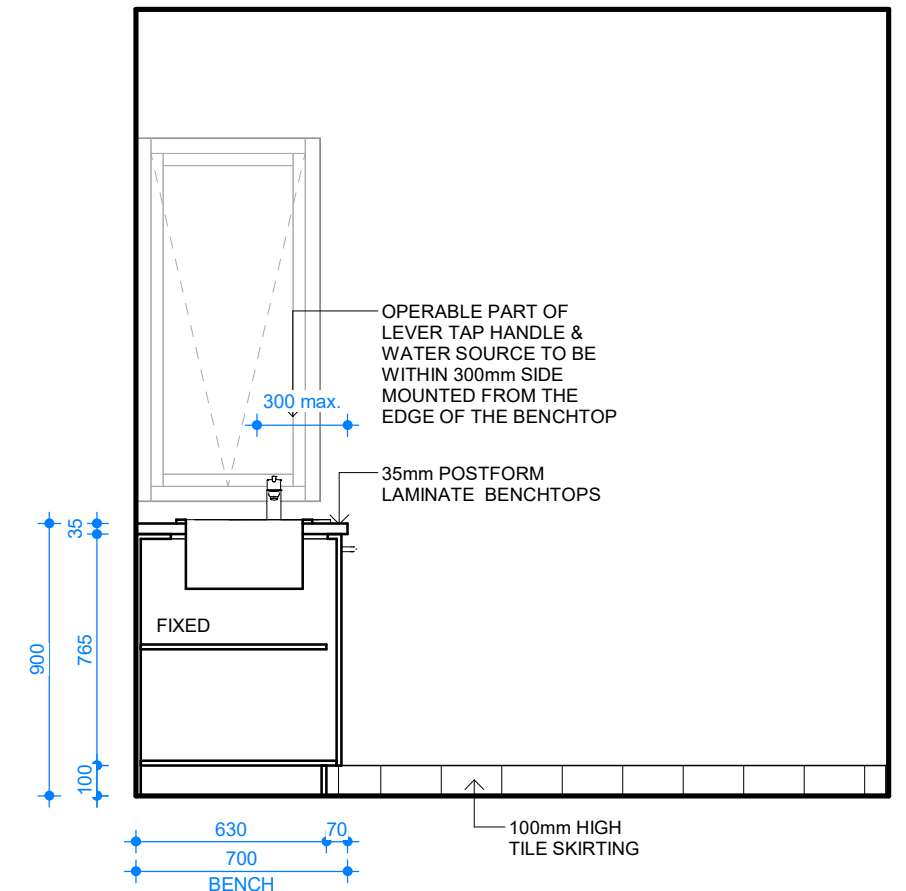
# LAUNDRY PLAN

1 : 50



# 1 LAUNDRY ELEVATION

D07g 1 : 25



# 2 LAUNDRY ELEVATION

D07g 1 : 25

**D PULL HANDLE:**  
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PUSH TO RELEASE MECHANISMS FOR BOTH OVERHEAD AND UNDER BENCH CUPBOARDS

**C.O.S. DIMENSION:**  
ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE

**BENCHTOP:**  
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**IMPORTANT NOTES:**

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Home: ABELIA-12.5(05H.03)

Client: SJM

Location: 12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171

Drawing: WET AREA ELEVATIONS - LAUNDRY

Facade: B-CLARE  
03-COCOA



Development Application: 5.2024.284.1 - 12 Lytham Court, Midway Point.pdf

Plans Reference: P1  
Date Received: 6/11/2024

**DRAWING DETAILS**

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| SCALE        | SHEET SIZE |
|--------------|------------|
| As indicated | A3         |

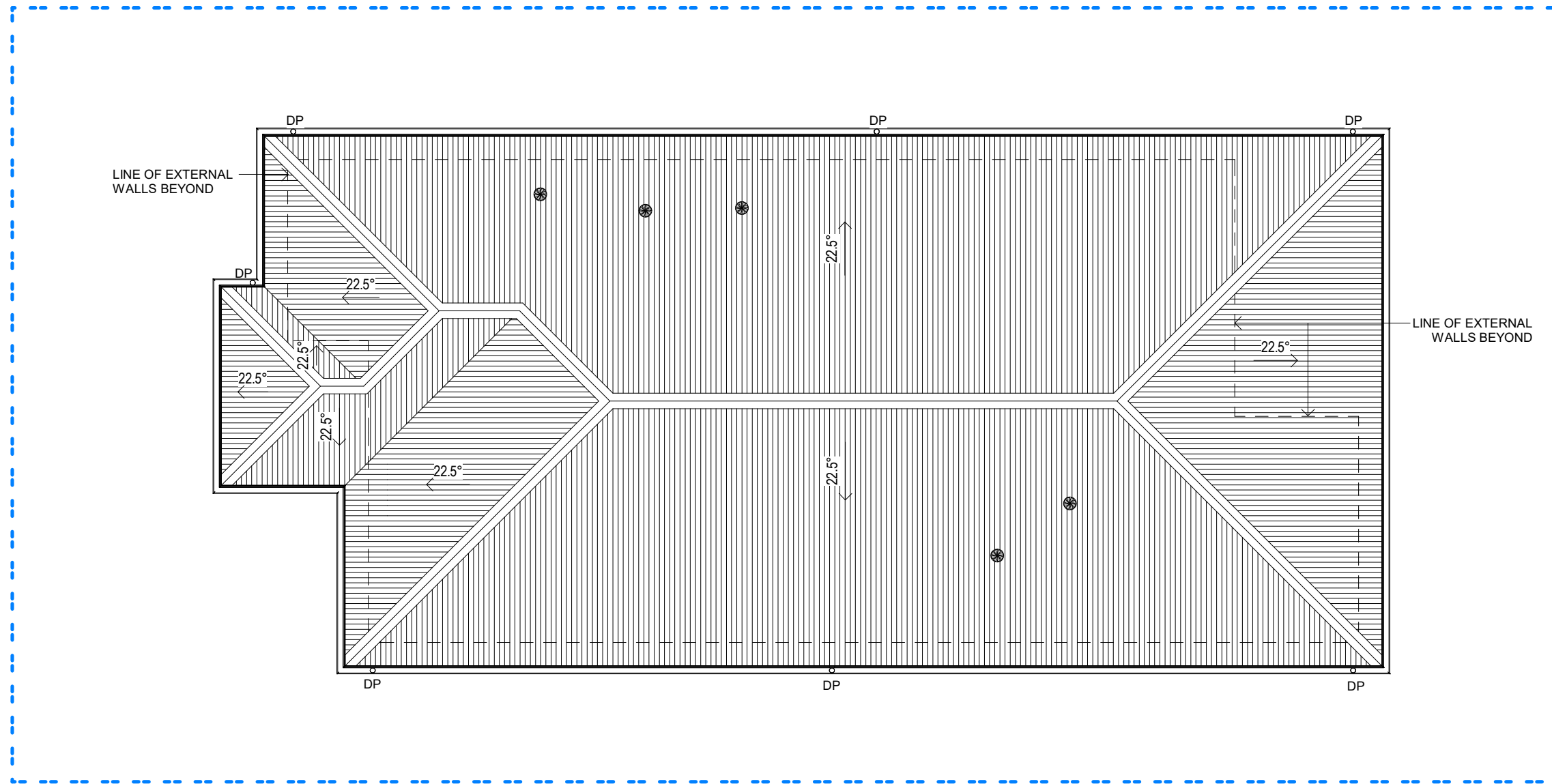
JOB No: 527N

Drwg No: D07g Issue A02

All dimensions to be verified on site



|   |  |
|---|--|
| LEGEND  |  |
|  | ROOF VENTILATION - TO NCC REQUIREMENTS |



## ROOF PLAN

1 : 100

### IMPORTANT NOTES:

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P +61 3 6289 6601

Home: ABELIA-12.5(05H.03)

Client: SJM

Location: 12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171

Drawing: ROOF PLAN

Facade: B-CLARE  
03-COCOA



All dimensions to be verified on site

### DRAWING DETAILS

31/10/2024 11:58:52 AM

SCALE 1 : 100 SHEET SIZE A3

JOB No: 527N

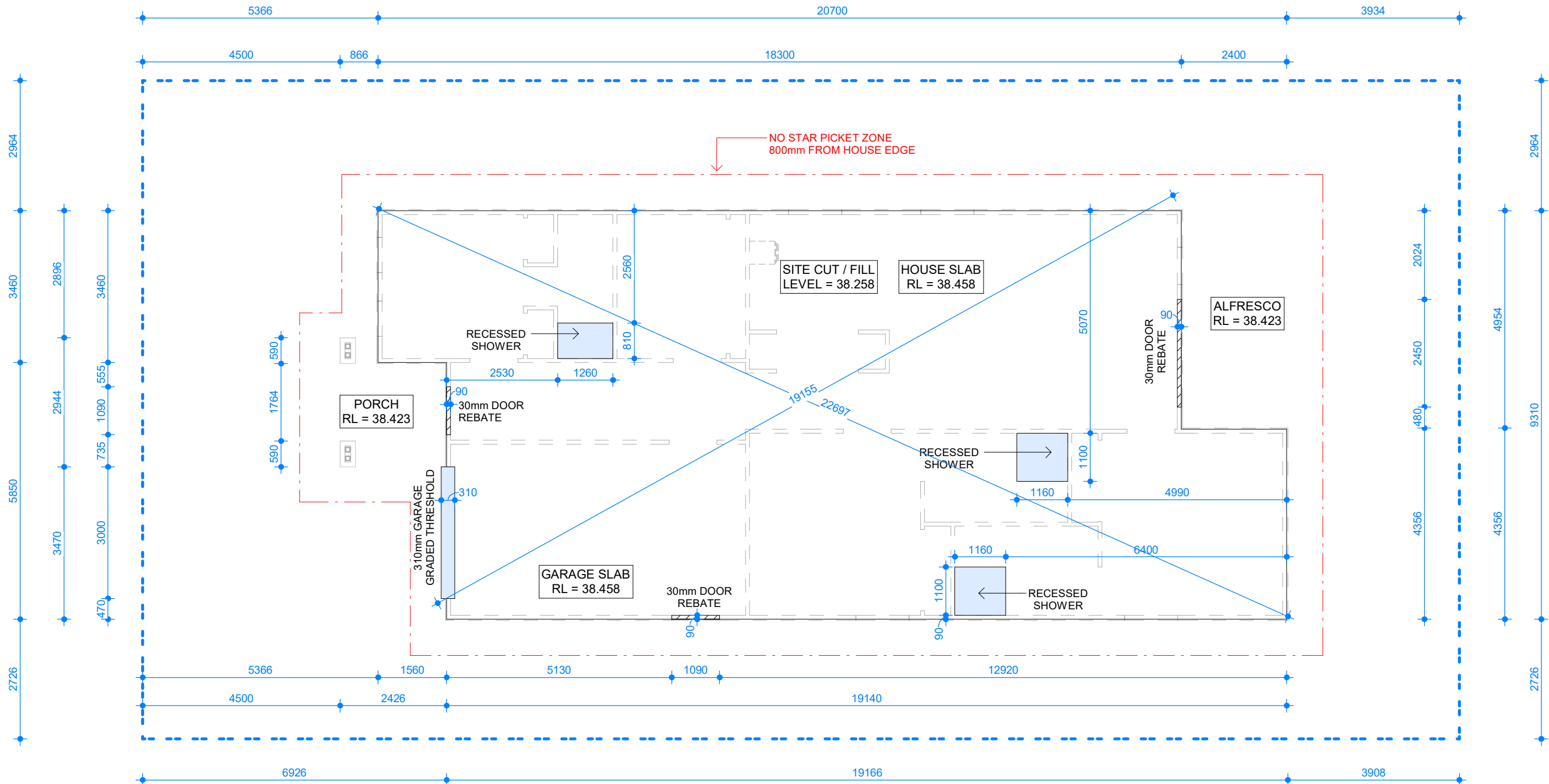
Drwg No: D08 Issue A02

 **Sorell Council**  
Development Application: 5.2024.284.1 - 12  
Lytham Court, Midway Point.pdf  
Plans Reference:P1  
Date Received: 6/11/2024



**SLAB PLAN NOTE:**  
 REFER TO DRAWING D09 FOR SLAB PENETRATIONS.  
 REFER TO STRUCTURAL ENGINEER'S PLANS FOR CONCRETE  
 SLAB CONSTRUCTION. SLAB TO BE DESIGNED BASED ON  
 SOIL CLASSIFICATION AS PER AS2870

**SHOWER RECESS:**  
 SHOWER BASES TO BE  
 RECESSED 50mm IN TO SLAB



**SLAB PLAN**  
 1 : 100

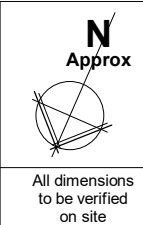
- IMPORTANT NOTES:**
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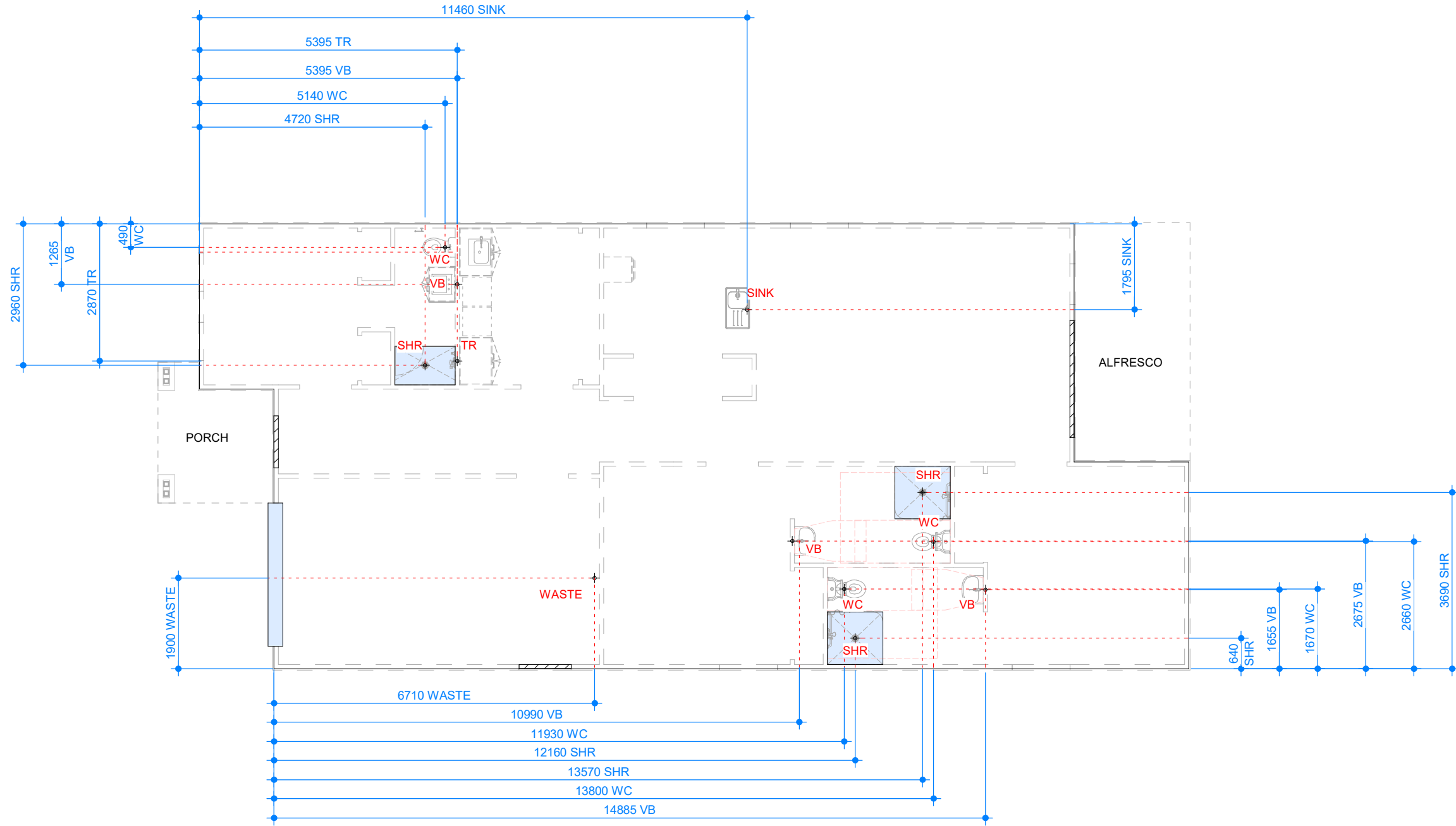
Home: **ABELIA-12.5(05H.03)**  
 Client: **SJM**  
 Location: **12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171**  
 Drawing: **SLAB PLAN**

Facade: **B-CLARE  
 03-COCOA**



**Sorell Council**  
 Development Application: 5.2024.284.1 - 12 Lytham Court, Midway Point.pdf  
 Plans Reference:P1  
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| DRAWING DETAILS        |                             |
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| 31/10/2024 11:58:53 AM |                             |
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| 1 : 100                | A3                          |
| JOB No:                | <b>527N</b>                 |
| Drwg No:               | <b>D09</b> Issue <b>A02</b> |



# SLAB PENETRATION PLAN

1 : 100

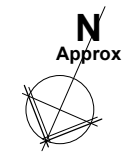
**IMPORTANT NOTES:**

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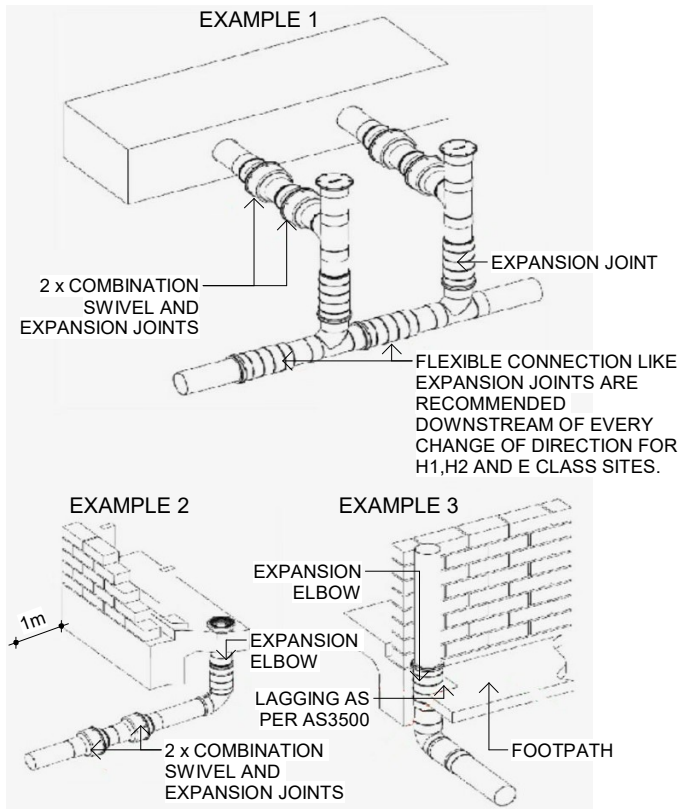
Home: **ABELIA-12.5(05H.03)** Facade: **B-CLARE 03-COCOA**  
 Client: **SJM**  
 Location: **12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171**  
 Drawing: **SLAB PENETRATION PLAN**



All dimensions to be verified on site

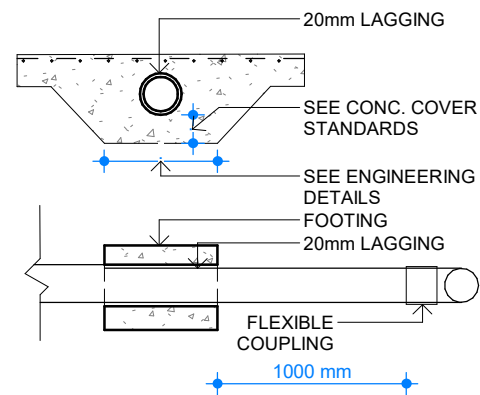
**Sorell Council**  
 Development Application: 5.2024.284.1 - 12 Lytham Court, Midway Point.pdf  
 Plans Reference:P1  
 Date Received: 6/11/2024

| DRAWING DETAILS        |             |
|------------------------|-------------|
| 31/10/2024 11:58:53 AM |             |
| SCALE                  | SHEET SIZE  |
| 1 : 100                | A3          |
| JOB No:                | <b>527N</b> |
| Drwg No:               | <b>D10a</b> |
| Issue                  | <b>A02</b>  |



## PLUMBING DETAILS 1

1 : 40



## PLUMBING DETAILS 2

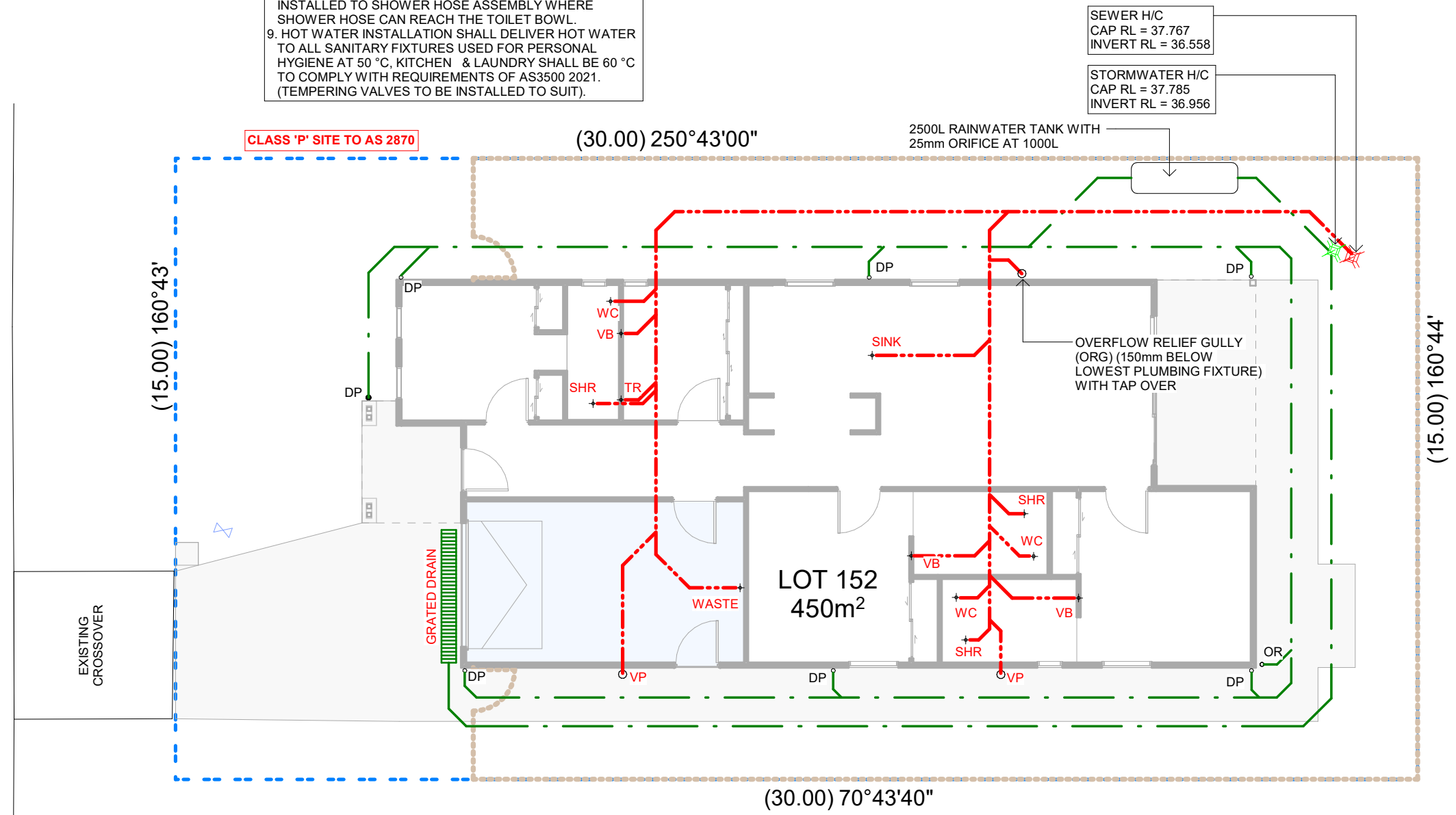
1 : 40

**PLUMBING LEGEND:**

|      |                      |
|------|----------------------|
|      | 100Ø SEWER PIPE      |
|      | 100Ø STORMWATER PIPE |
| WC   | Ø100 WATER CLOSER    |
| VP   | Ø50 VENT PIPE        |
| TR   | Ø50 TROUGH           |
| SHR  | Ø50 SHOWER           |
| SINK | Ø50 SINK             |
| VB   | Ø40 VANITY/BASIN     |
| AAV  | AIR ADMITTANCE VALVE |
| DP   | Ø90 DOWNPIPE         |

- PLUMBING NOTES AND DRAINAGE NOTES:**
1. PROVIDE PLASTIC DN100 SWIVEL EXPANSION JOINT AT ALL DOWNPIPES AND SEWER CONNECTIONS TO MAIN LINES. LOCATE WITHIN 1m OF BUILDING LINE.
  2. WHERE PIPEWORK PENETRATES FOUNDATION OR SLAB EDGE PROVIDE 40mm LAGGING AROUND PIPEWORK.
  3. FOR CLASS 'H' AND 'E' SITES INSTALL PLASTIC DN100 SWIVEL EXPANSION JOINT AT ALL CHANGES OF DIRECTION.
  4. FOR CLASS 'P' SITES INSTALL MIN 150mm OF COMPACTED FCR IN ALL TRENCHES BEFORE PLACING PIPEWORK.
  5. WHERE PIPEWORK PENETRATES SLAB VERTICALLY, PROVIDE 10mm LAGGING.
  6. VENTING OF DRAINS TO COMPLY WITH AS/NZS 3500.2 3.9.2.1 CLAUSE.
  7. PLUMBING AND DRAINAGE WORKS TO COMPLY WITH AS3500 2021.
  8. BACKFLOW PROTECTION VALVE IS REQUIRED TO BE INSTALLED TO SHOWER HOSE ASSEMBLY WHERE SHOWER HOSE CAN REACH THE TOILET BOWL.
  9. HOT WATER INSTALLATION SHALL DELIVER HOT WATER TO ALL SANITARY FIXTURES USED FOR PERSONAL HYGIENE AT 50 °C, KITCHEN & LAUNDRY SHALL BE 60 °C TO COMPLY WITH REQUIREMENTS OF AS3500 2021. (TEMPERING VALVES TO BE INSTALLED TO SUIT).

LYTHAM CRESCENT



## PLUMBING PLAN

1 : 125

- IMPORTANT NOTES:**
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**SJM** property developments

1/37 Ascot Dr, Huntingfield TAS 7055

P +61 3 6289 6601

Home: ABELIA-12.5(05H.03) Facade: B-CLARE 03-COCOA

Client: SJM

Location: 12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171

Drawing: PLUMBING PLAN

**Sorell Council**

Development Application: 5.2024.284.1 - 12 Lytham Court, Midway Point.pdf

Plans Reference: P1

Date Received: 6/11/2024

**DRAWING DETAILS**




31/10/2024 11:58:53 AM

SCALE: As indicated SHEET SIZE: A3

JOB No: 527N

Drwg No: D10b Issue: A02

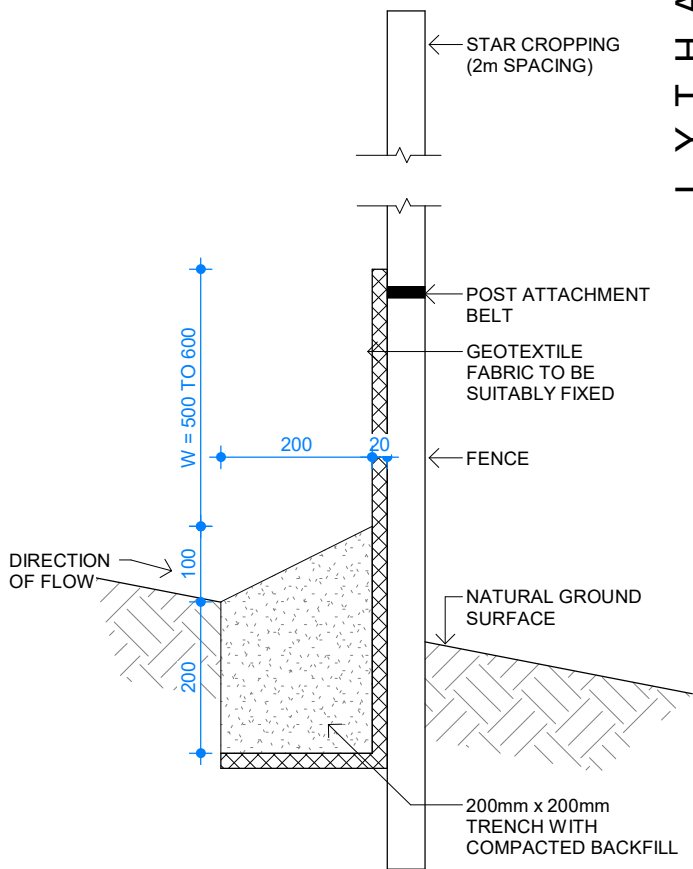
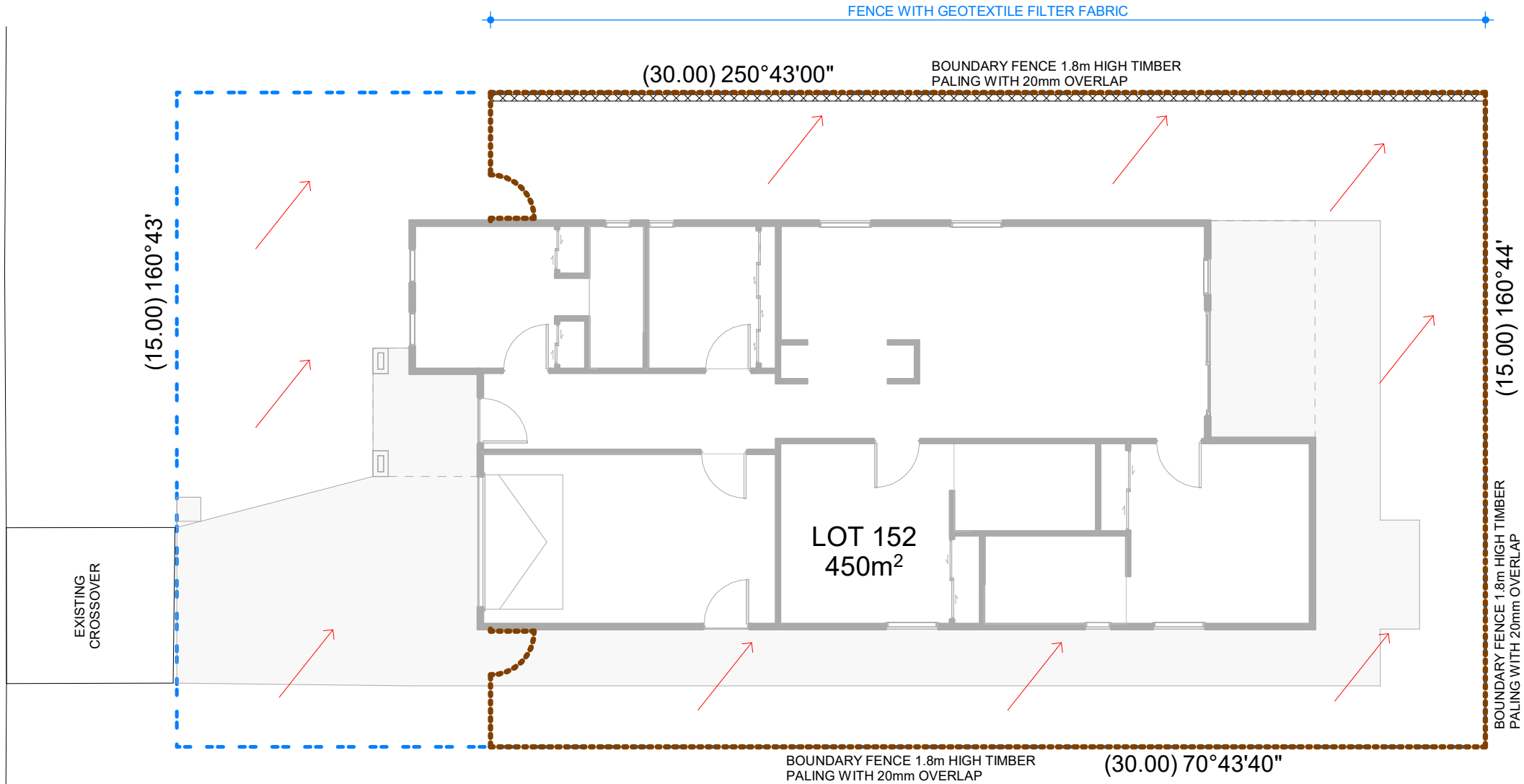
All dimensions to be verified on site

| LEGEND:   |                |
|---|----------------|
|  | FLOW DIRECTION |
|  | SEDIMENT FENCE |
|  | PAVING AREA    |

LYTHAM CRESCENT

# STORMWATER MANAGEMENT PLAN

1:125



## SEDIMENT FENCE SECTION DETAIL

1:10

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Drawing: STORMWATER MANAGEMENT PLAN

Facade: B-CLARE  
03-COCOA



All dimensions to be verified on site

**Sorell Council**  
Development Application: 5.2024.284.1 - 12  
Lytham Court, Midway Point.pdf  
Plans Reference:P1  
Date Received: 6/11/2024

### DRAWING DETAILS

31/10/2024 11:58:54 AM




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SHEET SIZE: A3

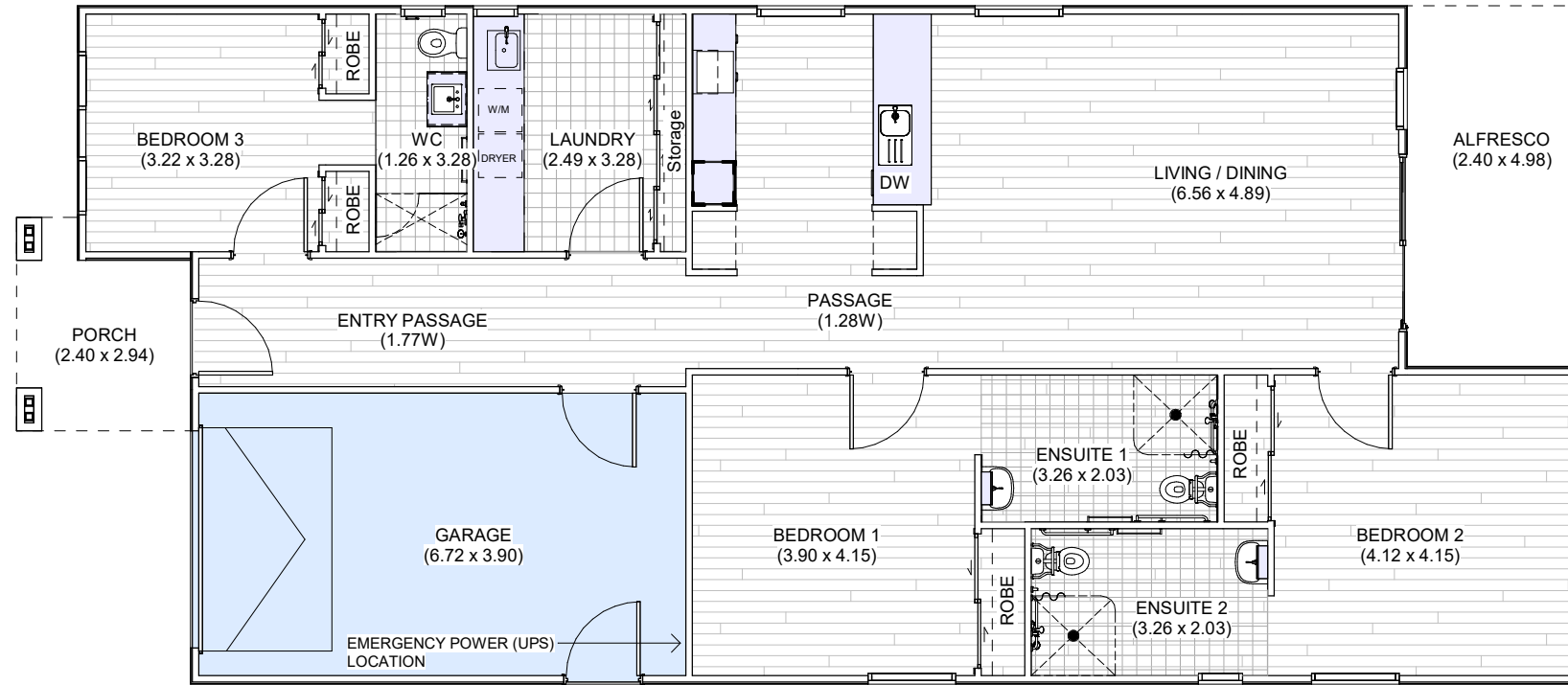
JOB No: 527N

Drwg No: D10c Issue A02

**NOTE:**  
 ALL FLOOR COVERINGS TO BE FIRM AND EVEN AND FEATURE A TRANSITION BETWEEN ABUTTING SURFACES ( A MAXIMUM VERTICAL TOLERANCE OF 3MM OR 5MM BETWEEN SURFACES IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELED.)

ALL INTERNAL FLOOR FINISHES SHALL HAVE A MINIMUM SLIP RESISTANCE OF P3 OR R10.

| LEGEND   |                |
|--|----------------|
|  | TIMBER OVERLAY |
|  | CERAMIC TILE   |
|  | CONCRETE       |



## FLOOR FINISHES PLAN

1 : 100

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Client: SJM

Location: 12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171

Drawing: FLOOR FINISHES PLAN

Facade: B-CLARE  
 03-COCOA



All dimensions to be verified on site

**DRAWING DETAILS**

31/10/2024 11:58:54 AM

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|---------|------------|
| SCALE   | SHEET SIZE |
| 1 : 100 | A3         |

JOB No: 527N

Drwg No: D11 Issue A02

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 Development Application: 5.2024.284.1 - 12 Lytham Court, Midway Point.pdf  
 Plans Reference:P1  
 Date Received: 6/11/2024



**ELECTRICAL LEGEND:**

- ⊕ **Ceiling Mounted LED - 10W**  
Sealed, IC-F rated
- ⊕ **Pendant Light as Selected LED - 10W**
- ⊕ **External Wall Mounted Light**  
@ 1800 above adjoining floor level unless otherwise indicated by height shown in brackets
- ⊗ **Light Switch - Single**  
@ 1000 above adjoining floor level unless otherwise indicated by height shown in brackets
- XD **Light Switch - Dimmer**  
@ 1000 above adjoining floor level unless otherwise indicated by height shown in brackets
- X2 **Light Switch - Two Way**  
@ 1000 above adjoining floor level unless otherwise indicated by height shown in brackets
- XR **Isolator Switch - 6mm 32 AMP**  
@300mm of bench top edge
- X **Rangehood Switch**  
@300mm of bench top edge
- ▲ **GPO - Single**  
@ 700 above adjoining floor level unless otherwise indicated by height shown in brackets
- ▲ **GPO - Double**  
@ 700 above adjoining floor level unless otherwise indicated by height shown in brackets
- ▲ **GPO - Double (External)**  
@ 1200 above adjoining floor level unless otherwise indicated by height shown in brackets
- ▲ **GPO - Single (Capped)**  
At window head height
- ▲ **GPO - Double (Capped)**  
At window head height
- ⊕ **GPO - 3 Phase for Car Charge ALLOW FOR FUTURE INSTALLATION ONLY**  
@ 1100 above adjoining floor level unless otherwise indicated by height shown in brackets
- **Conduit for 3 Phase Car Charge ALLOW FOR FUTURE CABLE INSTALLATION ONLY**
- TV **TV Socket**  
@ 300 above adjoining floor level unless otherwise indicated by height shown in brackets
- T **Phone Socket**  
@ 300 above adjoining floor level unless otherwise indicated by height shown in brackets
- ⊗ **Ceiling Mounter Exhaust Fan**  
250mm diameter
- ⊗ **Ceiling Fan with Light**
- ⊗ **Ceiling Fan**
- **Motion Sensor**
- ⊕ **Smoke Alarm**
- ↕ **Reverse Cycle Air Conditioning**
- ⊕ **Thermostat**
- MH **Man Hole**  
600x600 (Approx. Position)
- I **Intercom (1000mm above FFL)**

**ELECTRICAL NOTES:**

- LIGHT AND GPO SWITCHES SHALL BE ROCKER ACTION, TOGGLE OR PUSH PAD IN DESIGN WITH A MINIMUM WIDTH OF 35mm.
- DIMMABLE LIGHTING SWITCHES SHALL BE PROVIDED IN LIVING AREAS AND BEDROOMS.
- PROVIDE POWER AND CONTROL CABLING TO HEAD OF ENTRY DOORS OF BEDROOMS, ONE EXTERNAL ENTRY DOORWAY AND ONE EXTERNAL DOORWAY TO LIVING
- POWER POINT IN CEILING SPACE FOR DUCTED HEATING & COOLING
- PROVIDE POWER AND CONTROL CABLING TO WINDOWS OF BEDROOMS, AND LIVING AREAS FOR FUTURE WINDOW BLIND AUTOMATION. PROVIDE A CAPPED GPO AT WINDOW HEAD WHERE INDICATED.
- GPO'S IN BEDROOMS TO BE MINIMUM 600mm HIGH FROM FFL.
- GPO'S ABOVE BENCHES AND DESKS TO BE A MINIMUM 300mm FROM EDGE OF BENCH/DESK.
- PROVIDE MINIMUM 300LUX LIGHTING LEVELS AT MAXIMUM INTERVALS OF 1500MM MEASURED DIRECTLY OVER BENCHTOPS.
- ALL LIGHT SWITCHES SHALL BE POSITIONED IN A CONSISTENT LOCATION :  
- 1000mm ABOVE FINISHED FLOOR LEVEL  
- HORIZONTALLY ALIGNED WITH THE DOOR HANDLE AT THE ENTRANCE TO A ROOM.  
- A MINIMUM OF 500mm FROM AN INTERNAL CORNER TO C/L OF THE LIGHT SWITCH.
- STANDARD VIDEO INTERCOM TO BEDROOMS & KITCHEN/LIVING.
- BEDROOMS SHALL HAVE A PROVISION FOR POWER AND INBUILT STRUCTURE, CAPABLE OF INSTALLATION OF A CONSTANT CHARGE CEILING HOIST
- EMERGENCY POWER SOLUTIONS SHALL BE PROVIDED TO CATER FOR A MINIMUM 2-HOUR OUTAGE IN NO LESS THAN 2 DOUBLE GPOs IN PARTICIPANT BEDROOMS AND ANY PROVIDED AUTOMATED DOORS THAT ARE USED FOR ENTRY OR EGRESS.
- BACKUP FOR LIFE SUPPORT SYSTEMS IF NEEDED BY PARTICIPANTS.

**LEGEND - SERVICES**

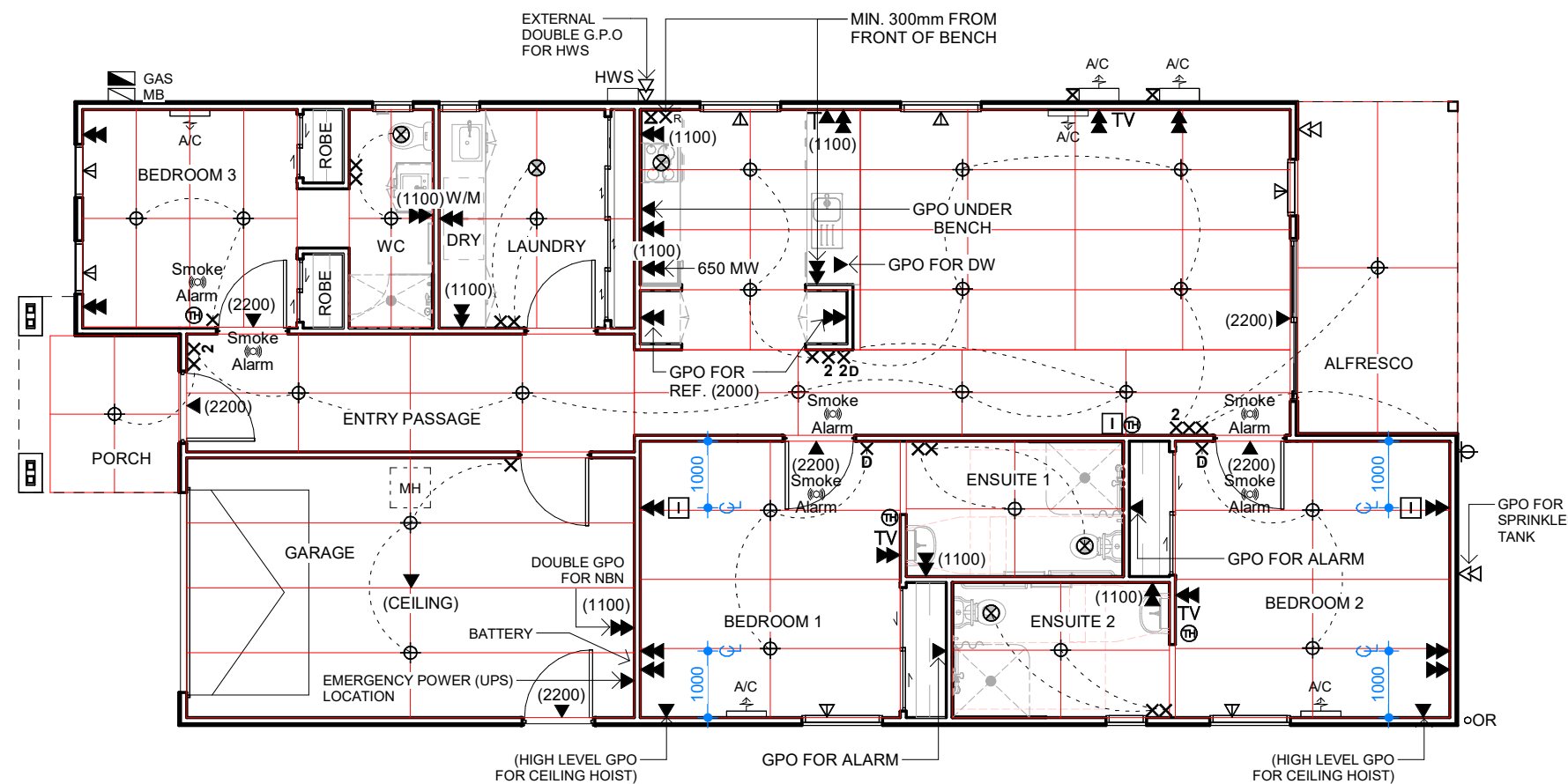
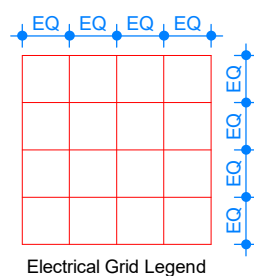
- HWS HOT WATER SERVICE
- MB METER BOX
- GAS GAS METER
- OR OVERFLOW RISER

**ILLUMINATION POWER DENSITY**

|  |                           |              |
|--|---------------------------|--------------|
| <b>LIVING AREA:</b>  | 145.70m <sup>2</sup>      |              |
| TOTAL MAXIMUM ALLOWABLE FOR LIVING AREA AT 5WATTS/m <sup>2</sup> | 728.50 WATTS              |              |
| ACTUAL USAGE = 10WATTS x   | 21 DOWNLIGHTS             | 210.00 WATTS |
| TOTAL WATTS USAGE =  | 1.44 WATTS/m <sup>2</sup> |              |

|  |                           |             |
|--|---------------------------|-------------|
| <b>GARAGE AREA:</b>  | 27.50m <sup>2</sup>       |             |
| TOTAL MAXIMUM ALLOWABLE FOR GARAGE AREA AT 3WATTS/m <sup>2</sup> | 82.50 WATTS               |             |
| ACTUAL USAGE = 10WATTS x   | 2 DOWNLIGHTS              | 20.00 WATTS |
| TOTAL WATTS USAGE =  | 0.73 WATTS/m <sup>2</sup> |             |

|  |                           |          |
|--|---------------------------|----------|
| <b>PORCH / ALFRESCO AREA:</b>  | 17.7m <sup>2</sup>        |          |
| TOTAL MAXIMUM ALLOWABLE FOR PORCH / ALFRESCO AREA AT 4WATTS/m <sup>2</sup> | 70.80 WATTS               |          |
| ACTUAL USAGE = 8WATTS x  | 2 DOWNLIGHTS              | 16 WATTS |
| TOTAL WATTS USAGE =  | 0.90 WATTS/m <sup>2</sup> |          |



**ELECTRICAL PLAN**

1 : 100

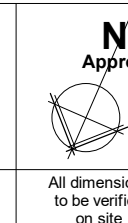
**IMPORTANT NOTES:**

1. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.
2. ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE. ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
3. WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
4. FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME.
5. ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANNER AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS.
6. THESE DRAWINGS SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION FROM ACCESS LIVING GROUP.
7. ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE.



1/37 Ascot Dr, Huntingfield TAS 7055  
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Home: **ABELIA-12.5(05H.03)** Facade: **B-CLARE 03-COCOA**  
Client: **SJM**  
Location: 12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171  
Drawing: **ELECTRICAL & LIGHTING PLANS**



**Sorell Council**  
Development Application: 5.2024.284.1 - 12 Lytham Court, Midway Point.pdf  
Plans Reference:P1  
Date Received: 6/11/2024

| DRAWING DETAILS        |                             |
|------------------------|-----------------------------|
| 31/10/2024 11:58:55 AM |                             |
| SCALE                  | SHEET SIZE                  |
| 1 : 100                | A3                          |
| JOB No:                | <b>527N</b>                 |
| Drwg No:               | <b>D12</b> Issue <b>A02</b> |



**NOTES:**

**THIS PLAN IS FOR A PROVISIONAL WATER LINE TO BE CONNECTED TO THE TOWN'S MAIN VIA THE DRINKING WATER METER. THIS PLAN IS NOT TO BE USED FOR TANK & PUMP WATER SUPPLIES.**

**INSTALLATION REQUIREMENTS**

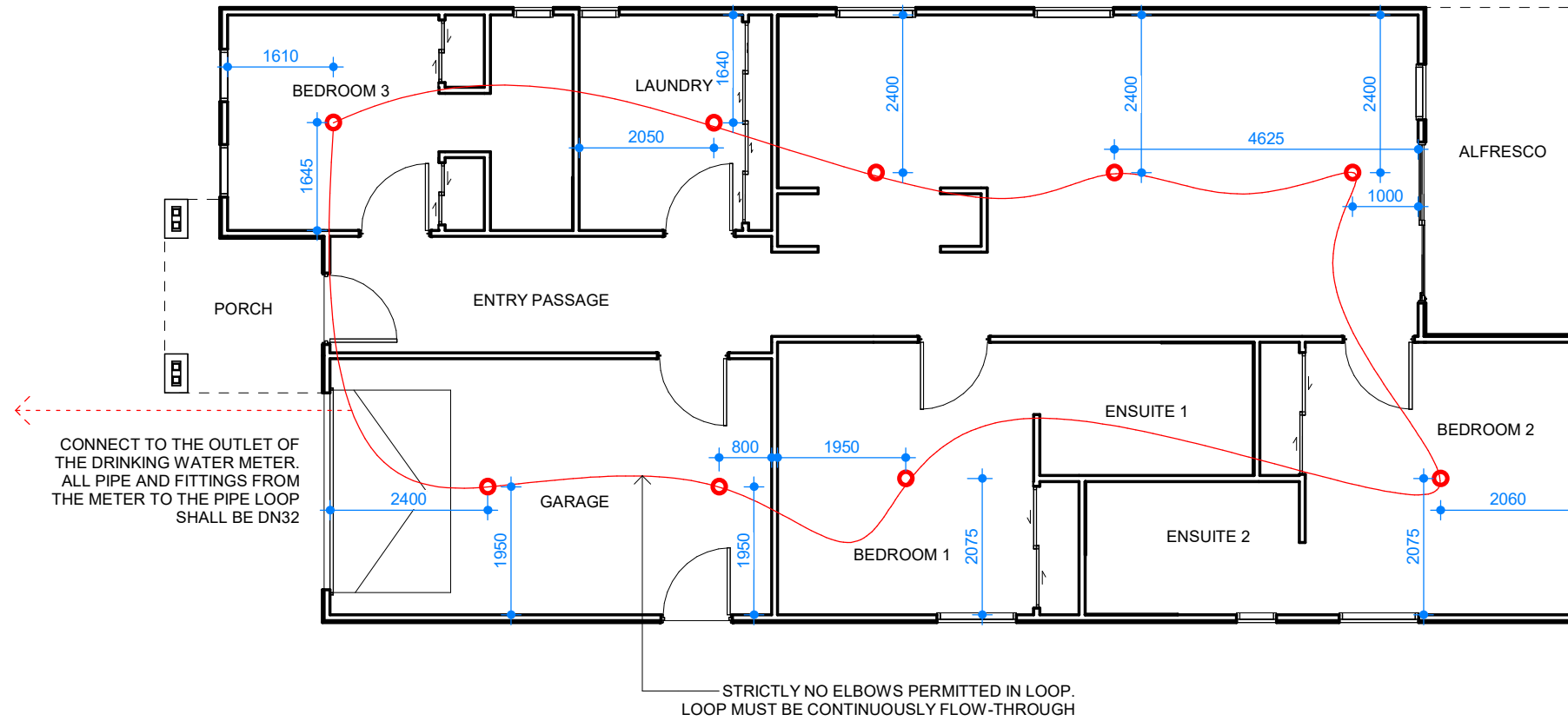
- FOR TOWN'S MAIN WATER SUPPLIES, ALL COLD-WATER DRINKING FIXTURES SHALL BE SUPPLIED BY THE SPRINKLER LOOP WITH THE ONLY PERMITTED EXCEPTION BEING THOSE THAT ARE REQUIRED TO BE SUPPLIED BY NON-POTABLE WATER SUPPLY, BY JURISDICTIONAL REQUIREMENTS.

**HYDRAULIC REQUIREMENTS**

- ALL PIPE, FITTINGS AND VALVES FEEDING THE LOOP FROM TOWNS' MAIN WATER METER, SHALL BE NOT LESS THAN DN 32.  
 - BRIDGING OF THE LOOP IS NOT PERMITTED.  
 - NO ELBOWS ARE PERMITTED IN THE PIPE LOOP. LOOP MUST BE CONTINUOUSLY FLOW-THROUGH ONLY.

**LEGENDS:**

- INDICATIVE SPRINKLER LOCATION
- OR OVERFLOW RISER





**LAYOUT OF PROVISIONAL WATER LINE FOR OPTIONAL FUTURE SPRINKLER INSTALLATION**

1 : 100

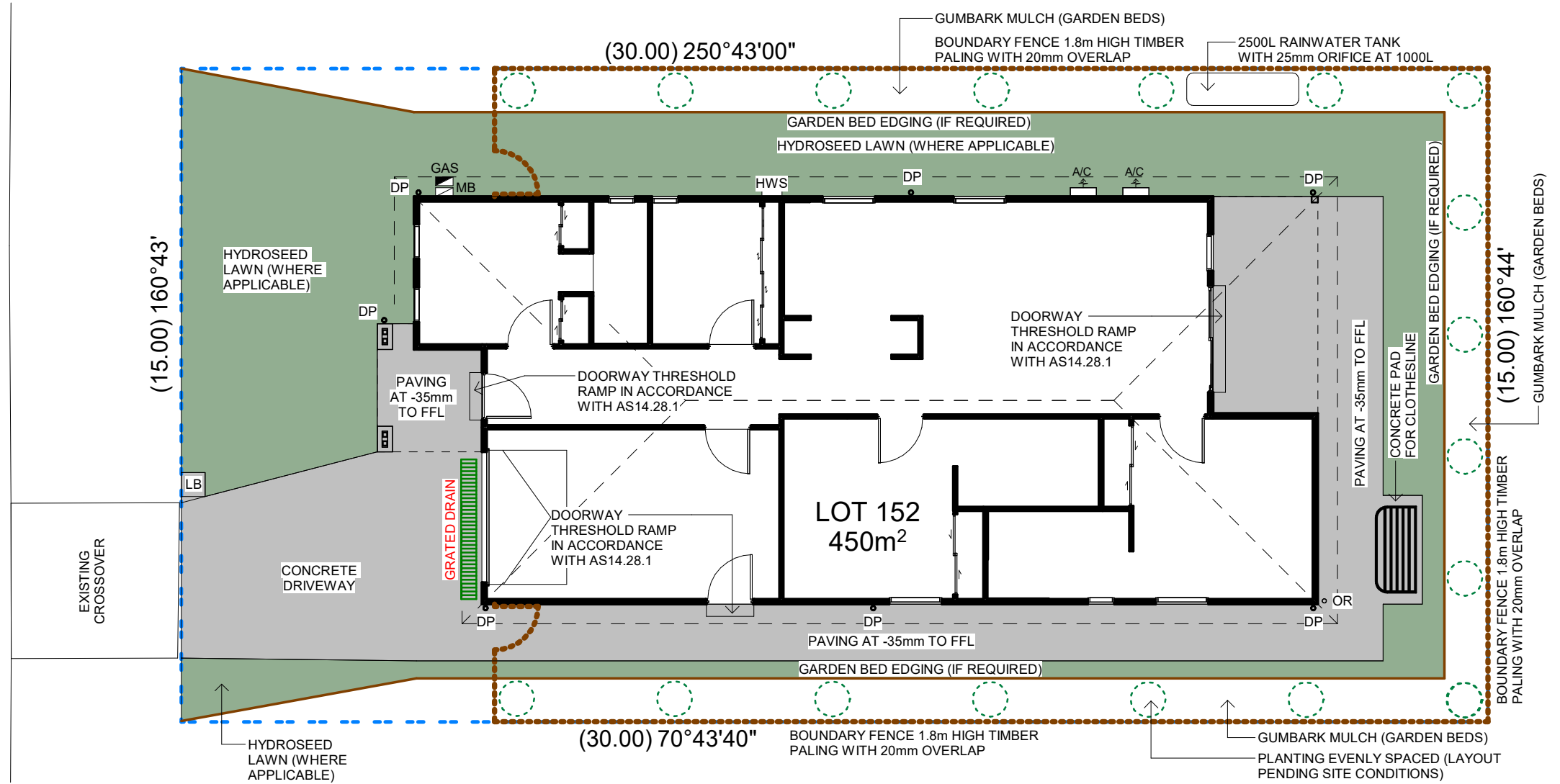
**IMPORTANT NOTES:**

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**Sorell Council**  
 Development Application: 5.2024.284.1 - 12  
 Lytham Court, Midway Point.pdf  
 Plans Reference:P1  
 Date Received: 6/11/2024

|   |   |   |  |  |  |
|---|---|---|--|--|--|
|  <p>1/37 Ascot Dr, Huntingfield TAS 7055<br/>P +61 3 6289 6601</p> | Home: <b>ABELIA-12.5(05H.03)</b><br>Client: <b>SJM</b><br>Location: <b>12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171</b> | Facade: <b>B-CLARE 03-COCOA</b>                             |  <p>All dimensions to be verified on site</p> | <b>DRAWING DETAILS</b><br>31/10/2024 11:58:55 AM |  |
|   | Drawing: <b>SPRINKLER PLAN</b>  | JOB No: <b>527N</b><br>Drwg No: <b>D13</b> Issue <b>A02</b> |  | SCALE<br>1 : 100<br>SHEET SIZE<br>A3             |  |

LYTHAM CRESCENT



# LANDSCAPE PLAN

1 : 125

**PLANTING:**  
 18 X LOMANDRA TANIKA  
 7 X LOMADRA LIME TUFF  
 1 X PITTOSPORUM SCREEN BETWEEN


**NOTE:**  
 PLANTING TO BE SPACED EVENLY AROUND THE PROPERTY

**LANDSCAPING NOTES:**  
 GRASSED AREAS TO BE HYDRO-SEEDED LAWN (LEVEL AREAS ONLY)  
 GUM BARK MULCH TO BE PLACED IN THE FOLLOWING AREAS:  
 -SLOPED EMBANKMENTS  
 -TOP SIDE OF ANY WALLS OR LAWN EDGING  
 -WHERE MOWING IS IMPRACTICAL

TREATED PINE LAWN EDGING WHERE REQUIRED.

**NOTE:**  
 THIS DRAWING IS A PRELIMINARY INDICATION OF GENERAL LANDSCAPING LAYOUT. FINAL LAYOUT MAY CHANGE DUE TO SITE SPECIFIC LIMILATIONS.

- IMPORTANT NOTES:**
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.
  - ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE, ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
  - WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
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1/37 Ascot Dr, Huntingfield TAS 7055  
 P +61 3 6289 6601

Home: **ABELIA-12.5(05H.03)** Facade: **B-CLARE 03-COCOA**

Client: **SJM**

Location: 12 LYTHAM CRESCENT (LOT 152) MIDWAY POINT TAS 7171

Drawing: **LANDSCAPE PLAN**

|  |                        |                  |
|--|------------------------|------------------|
| <br>N<br>Approx | <b>DRAWING DETAILS</b> |                  |
|  | 31/10/2024 11:58:56 AM | SHEET SIZE       |
|  | SCALE                  | A3               |
|  | 1 : 125                |                  |
| JOB No:  | <b>527N</b>            |                  |
| Drwg No:   | <b>D14</b>             | Issue <b>A02</b> |



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Plans Reference:P1  
 Date Received: 6/11/2024