

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: 6 Statesman Court, Sorell

**PROPOSED DEVELOPMENT:
MULTIPLE DWELLINGS X TWO**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 25th November 2024**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Monday 25th November 2024**.

APPLICANT: Another Perspective

APPLICATION NO: DA 2024 / 238 - 1

DATE: 07 November 2024

Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use: Residence
	Development: 2 Unit Development
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal:	\$ 500,000

Is all, or some the work already constructed:	No: <input type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address: 6 Statesman Court
	Suburb: Sorell Postcode: 7172
	Certificate of Title(s) Volume: 179793 Folio: 20

Current Use of Site	Vacant
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Current Owner/s:	Name(s) Andrew & Cheryl Walker
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Is the Property on the Tasmanian Heritage Register?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>

If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form
<https://www.sorell.tas.gov.au/services/engineering/>



Part B continued: Please note that Part B of this form is publicly exhibited

Declarations and acknowledgements

- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.
- I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council’s representatives to enter the land at any time during normal business hours.
- I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.
- I/we declare that, in accordance with s52(1) of the *Land Use Planning and Approvals Act 1993*, that I have notified the owner(s) of the intention to make this application.
- I/we declare that the information in this application is true and correct.

Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council’s Privacy Policy available on the Council website.

- I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

- Where the General Manager’s consent is also required under s.14 of the *Urban Drainage Act 2013*, by making this application I/we also apply for that consent.

Applicant Signature:	Signature: Date: 01/10/2024
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Crown or General Manager Land Owner Consent

If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the *Land Use Planning and Approvals Act 1993*).

Please note:

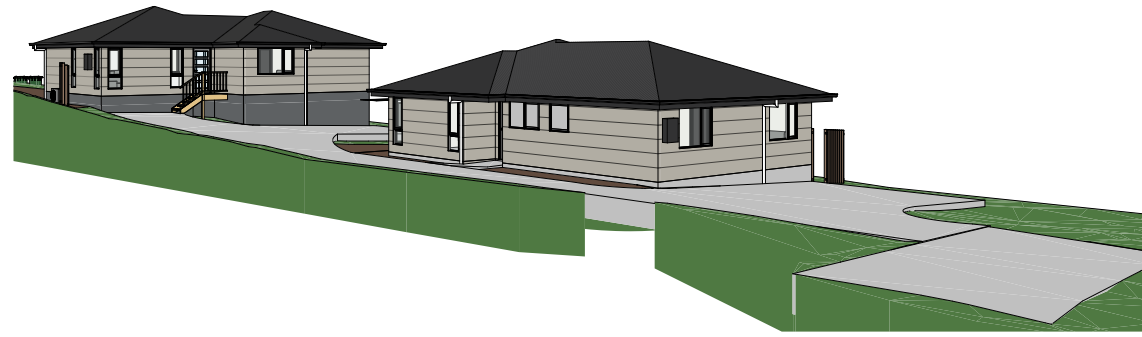
- If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au
- If the application involves Crown land you will also need a letter of consent.
- Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.

I _____ being responsible for the administration of land at _____

declare that I have given permission for the making of this application for _____



Signature of General Manager, Minister or Delegate:	Signature: Date:
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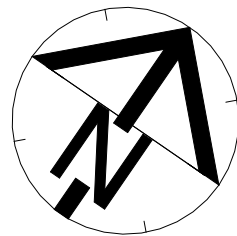
AP2024-2361 - PROPOSED AC WALKER FAMILY TRUST
DEVELOPMENT
6 Statesman Court,
SORELL

SHEET		DRAWING TITLE
01	A	SITE PLAN
01a		DRAINAGE PLAN
01b		MANOEUVRING PLAN SHEET 1
01c		MANOEUVRING PLAN SHEET 2
01d		MANOEUVRING PLAN SHEET 3
01e	A	LANDSCAPING PLAN
01f	A	INDICATIVE STRATA PLAN
02		UNIT 1 FLOOR PLAN
03		UNIT 1 ELEVATIONS
04		UNIT 2 FLOOR PLAN
05		UNIT 2 ELEVATIONS
05a		PERSPECTIVE VIEWS

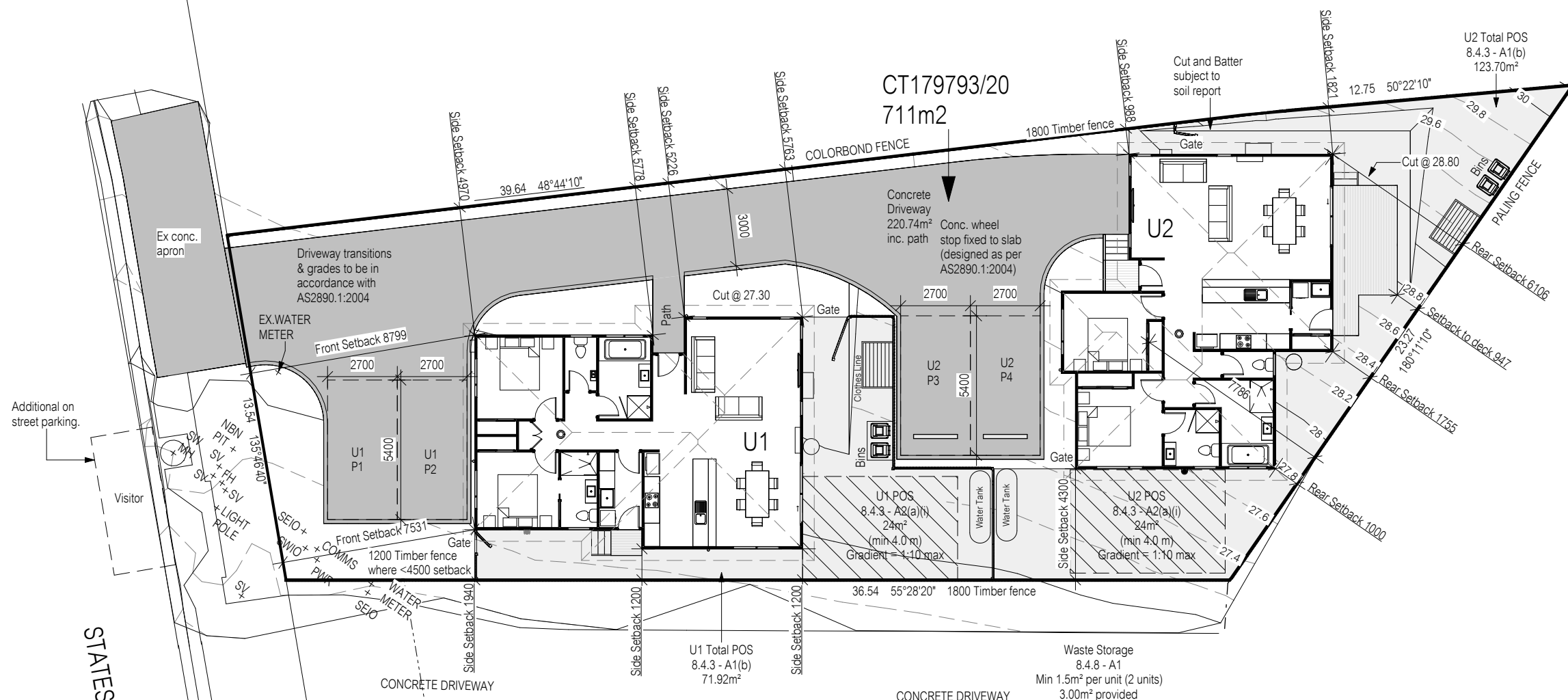
Sorell Council
Development Application: 5.2024.238.1 - 6 statesman court, Sorell.pdf
Plans Reference: P2
Date received: 05/11/2024

Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	Client / Project info PROPOSED AC WALKER FAMILY TRUST DEVELOPMENT 6 Statesman Court, SORELL	Soil Classification: Title Reference: Floor Areas: Porch / Deck Areas: Wind Speed: Climate Zone: Alpine Zone: Corrosion Environment: Certified BAL: Designed BAL: (Refer to Standard Notes for Explanation)	TBC CT179793/20 Refer to plans Refer to plans TBC 7 N/A LOW TBC TBC	COVER SHEET	
					Date 19 September 2024 Scale Sheet AP2024-2361 00/05	

No.	Amendment	Date	Drawn	Checked	Sheet
A	Council RFI (14 Oct. 2024): Provide shadow diagrams (separate drawing set), Show visitor parking spot located on Statesman Court, Provide a Landscaping Plan, Provide an Indicative Strata Plan.	31 Oct. 2024	CK	ST	01, 01e, 01f
	DA PLAN SET	19 Sep. 2024	RJ	CK	01-05



U1 Ground Floor FFL 27.45
 U2 Ground Floor FFL 29.30



1. THIS PLAN HAS BEEN PREPARED BY ANOTHER PERSPECTIVE PTY LTD FROM A COMBINATION OF EXISTING SURVEY PLANS AND GPS SURVEY CARRIED OUT BY ANOTHER PERSPECTIVE PTY LTD.
 2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED AT THE TIME OF THIS SURVEY.
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 6. VERTICAL DATUM IS AHD (RTK GPS).
 7. CONTOUR INTERVAL IS 0.1 METRE, INDEX IS 1.0 METRE.
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EXPLANATORY NOTES: TASMANIAN PLANNING SCHEME - SORELL COUNCIL	
8.4.1 - Residential density for multiple dwellings	
A1	Site Density: Min. 325m ² per unit 711m ² / 2 (units) = 355.50m ² provided
8.4.3 - Site coverage and private open space for all dwellings	
A1 (a)	Site Coverage: Max. 50% of site = 355.50m ² Proposed site coverage (excl. eaves up to 0.6m): 210.79m ² (29.65%)

Sorell Council
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 statesman court, Sorell.pdf
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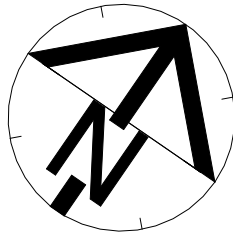
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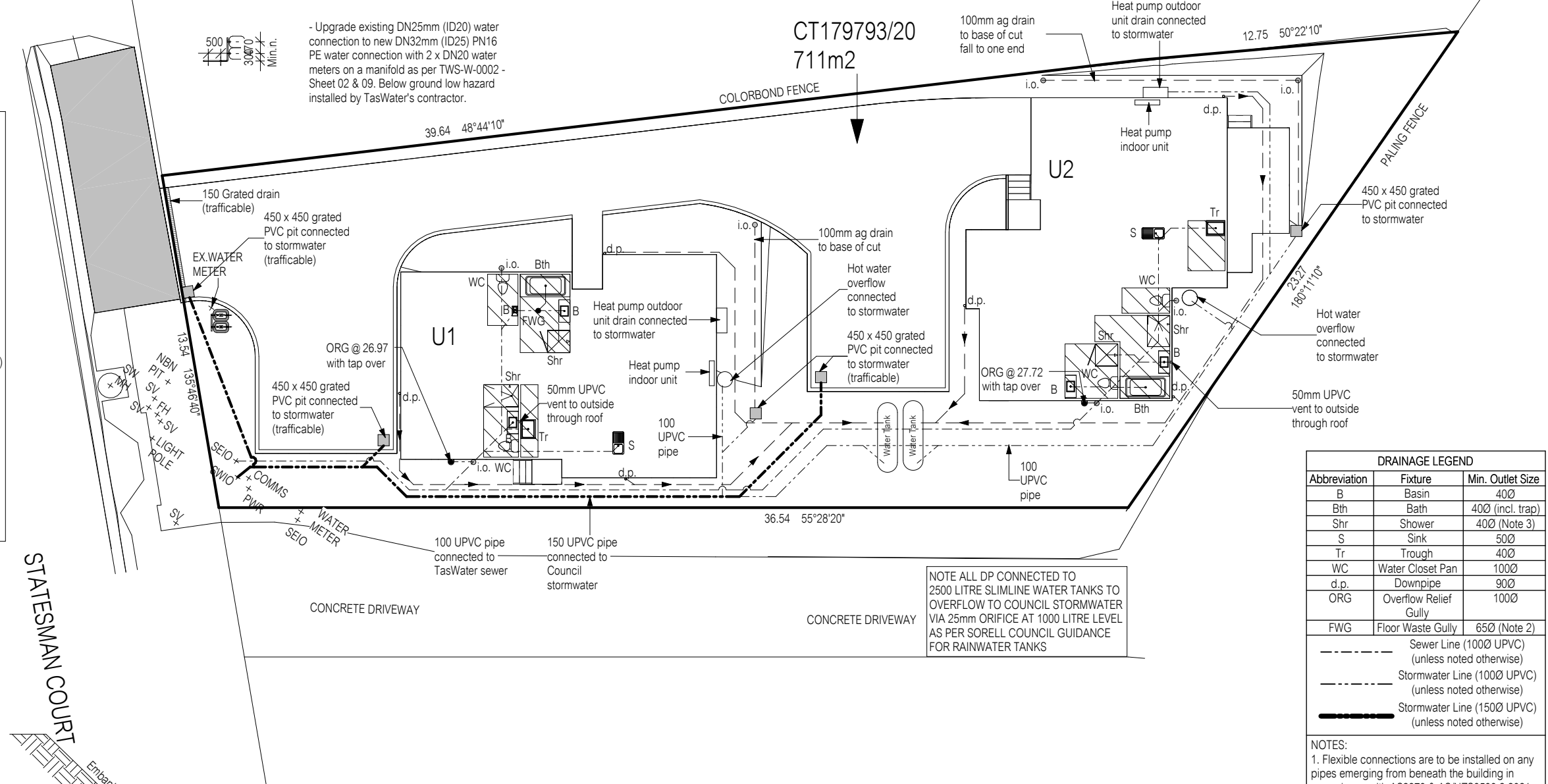
SITE PLAN		
Drawn	PJ	AP2024-2361
Date	28 August 2024	Sheet
Scale	1:200	
01/05		

A	Date	Int.
	31 Oct. 2024	CK
No.	Date	Int.

Amendment changes as per cover sheet



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DRAINAGE LEGEND		
Abbreviation	Fixture	Min. Outlet Size
B	Basin	400
Bth	Bath	400 (incl. trap)
Shr	Shower	400 (Note 3)
S	Sink	500
Tr	Trough	400
WC	Water Closet Pan	1000
d.p.	Downpipe	900
ORG	Overflow Relief Gully	1000
FWG	Floor Waste Gully	650 (Note 2)

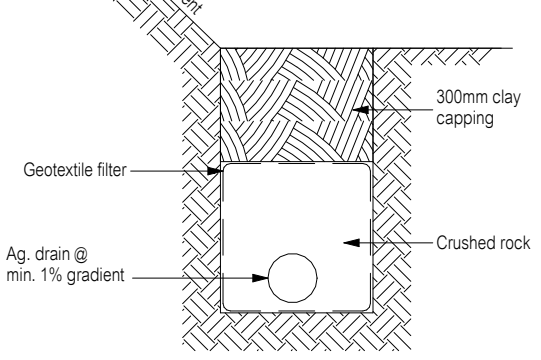
---	Sewer Line (1000 UPVC) (unless noted otherwise)
---	Stormwater Line (1000 UPVC) (unless noted otherwise)
---	Stormwater Line (1500 UPVC) (unless noted otherwise)

NOTE ALL DP CONNECTED TO 2500 LITRE SLIMLINE WATER TANKS TO OVERFLOW TO COUNCIL STORMWATER VIA 25mm ORIFICE AT 1000 LITRE LEVEL AS PER SORELL COUNCIL GUIDANCE FOR RAINWATER TANKS

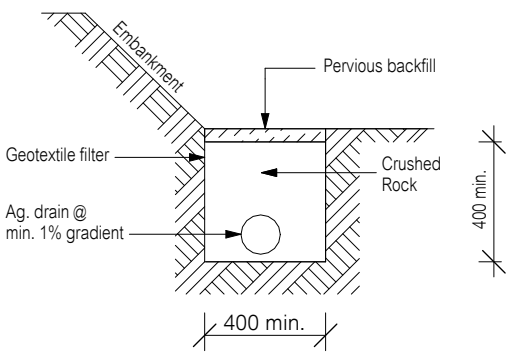
- NOTES:
1. Flexible connections are to be installed on any pipes emerging from beneath the building in accordance with AS2870 & AS/NZS3500.2:2021.
 2. Untrapped Bath tub pipe to connect to FWG if trap not accessible from below or access panel.
 3. 500 required for multiple shower heads.
 4. Showers to comply with N.C.C. 10.2.14.
 5. Falls to floor waste to be minimum 1:80 & maximum 1:50

Where ag drain is < 1.5m from footing, the following engineering principles are required:

1. Ag drain to be capped with 300mm of clay to prevent ingress of surface run-off unless it is under a paving slab etc (ag drains are designed for removal of ground water, surface water should be dealt with separately).
2. Ag drain to have a minimum 1% fall to a grated pit which drains to the stormwater system.
3. Install a geotextile filter sock to the slotted drain, and enclose the whole drain in geofabric (to the underside of clay capping).
4. Provide additional grated pits / or inspection openings along the length of the ag drain and at the high point to make the effect of a blockage visible and enable a blockage to be cleared.



TYPICAL AG. DRAIN DETAIL (<1800 FROM HOUSE)
Not to scale



TYPICAL AG. DRAIN DETAIL (≥1800 FROM HOUSE)
Not to scale

Refer to Roof Plan for downpipe calculations

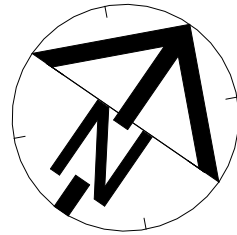
All works are to be in accordance with the Water Supply Code of Australia WSA 03-2011-3.1 Version 3.1 MRWA Edition V2.0 and Sewerage Code of Australia Melbourne Retail Water Agencies Code WSA 02-2014-3.1 MRWA Version 2.0 and TasWater's supplements to these codes.

Sorell Council
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ROOF DRAINAGE NOTE:
Min. medium rectangular gutter & min. 90a downpipe specified as per N.C.C. part 7.4. These sizes and downpipe quantities are based on a max. roof catchment area of 70m²



Soil classification: TBC		- Wet areas to comply with NCC 10.2 and AS3740	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer:	Client / Project info		DRAINAGE PLAN	
Refer to Soil Report for nominated founding depth and description of founding material.				ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED AC WALKER FAMILY TRUST DEVELOPMENT 6 Statesman Court, SORELL			
All Materials and construction to comply with AS/NZ3500 Part 2 & Part 3						Date	19 September 2024	Sheet
						Scale	1:200	01a/05
No.	Date	Int.	Amendment changes as per cover sheet					



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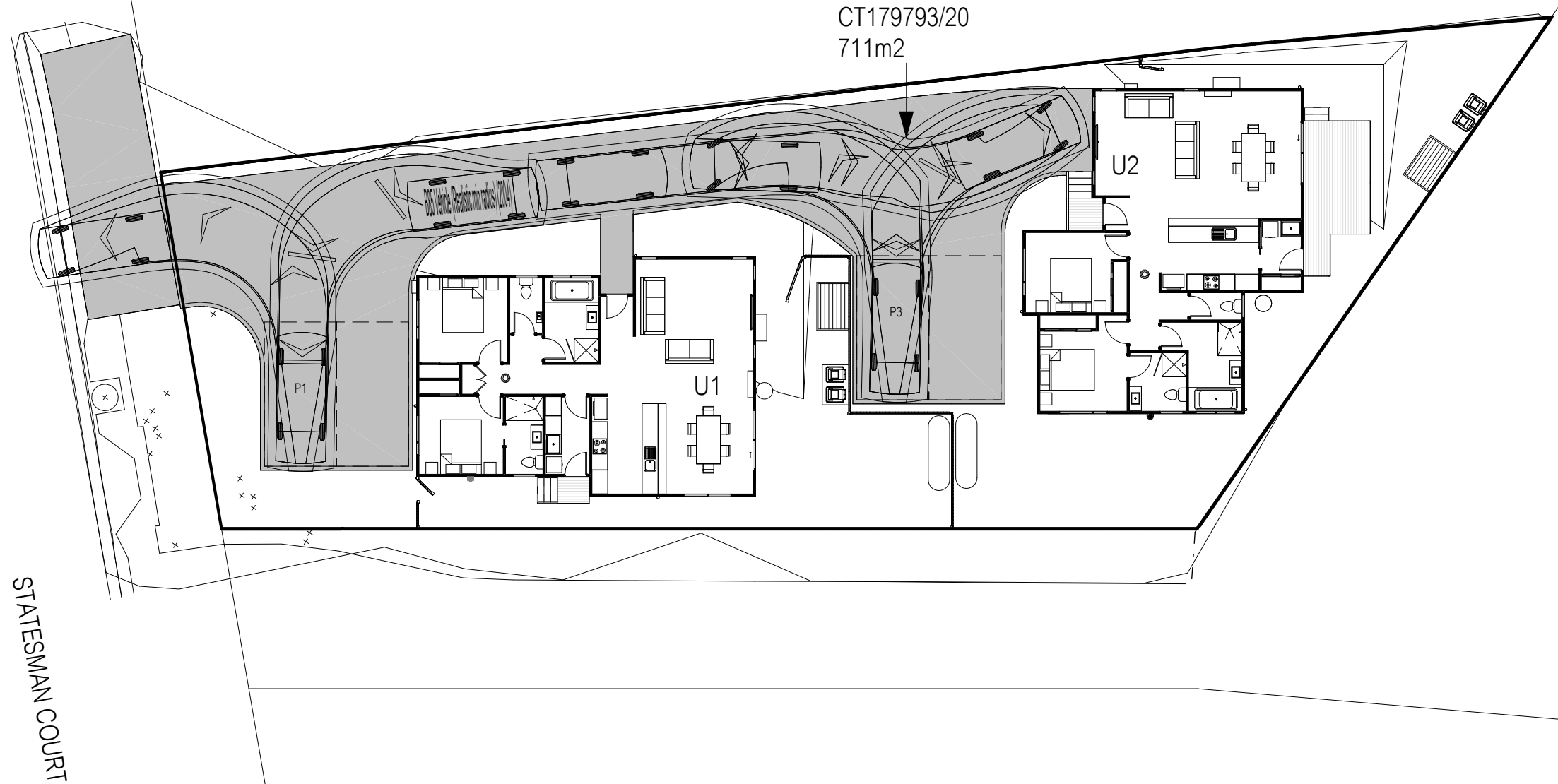
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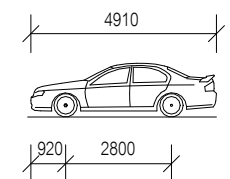
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P1 REVERSE IN/FORWARD OUT & P3 REVERSE IN/FORWARD OUT



B85 Vehicle (Realistic min radius) (2004)

Overall Length	4.910m
Overall Width	1.870m
Overall Body Height	1.421m
Min Body Ground Clearance	0.159m
Track Width	1.770m
Lock to Lock Time	4.00s
Curb to Curb Turning Radius	5.750m

* Manoeuvring has been achieved using 'autotrack 10' Manoeuvring software.



Sorell Council
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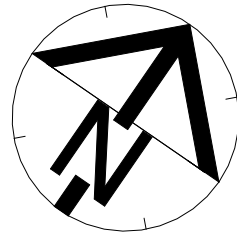
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Client / Project info
 PROPOSED AC WALKER FAMILY TRUST DEVELOPMENT
 6 Statesman Court,
 SORELL



MANOEUVRING PLAN SHEET 1	
Drawn	RJ AP2024-2361
Date	16 September 2024 Sheet
Scale	1:200
01b/05	

No.	Date	Int.	Amendment changes as per cover sheet
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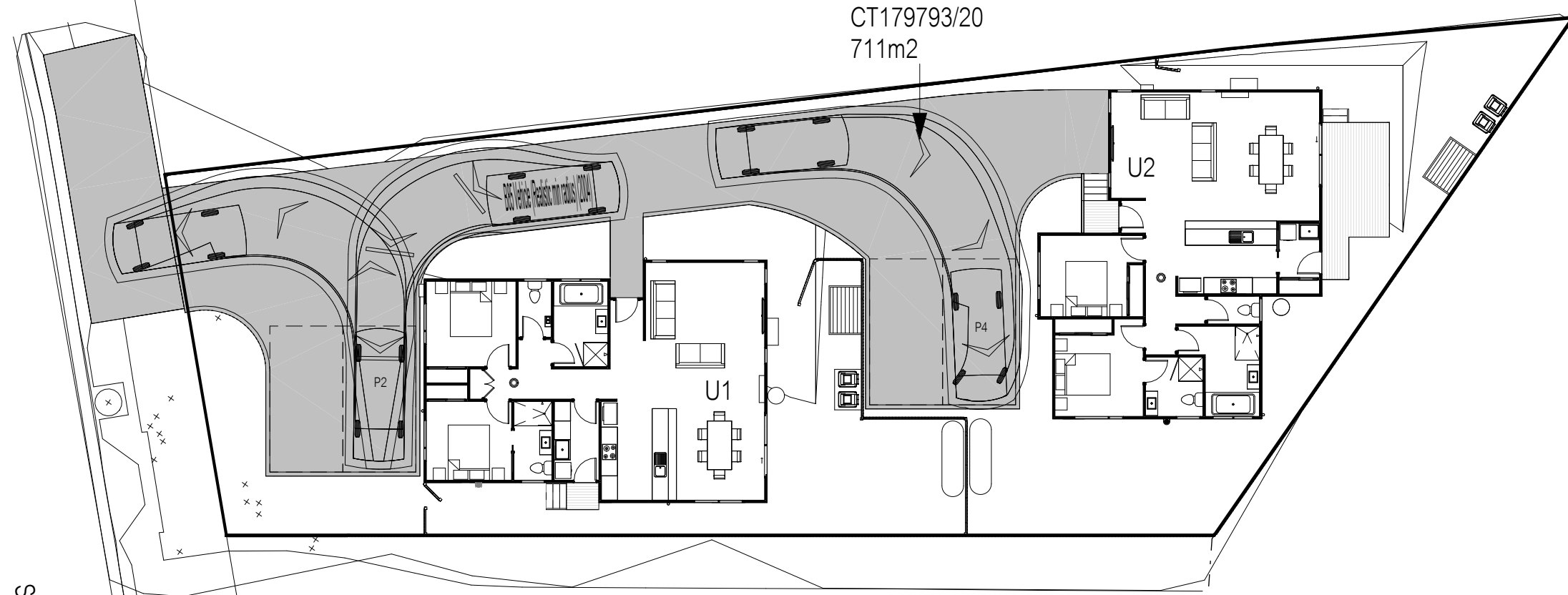
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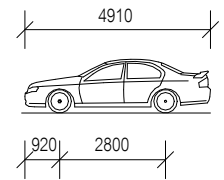
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STATESMAN COURT

P2 REVERSE IN/FORWARD OUT & P4 FORWARD IN



B85 Vehicle (Realistic min radius) (2004)

Overall Length	4.910m
Overall Width	1.870m
Overall Body Height	1.421m
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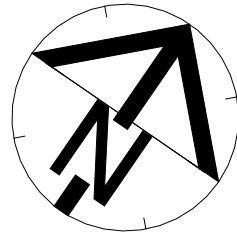
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MANOEUVRING PLAN SHEET 2		
Drawn	RJ	AP2024-2361
Date	16 September 2024	Sheet
Scale	1:200	01c/05

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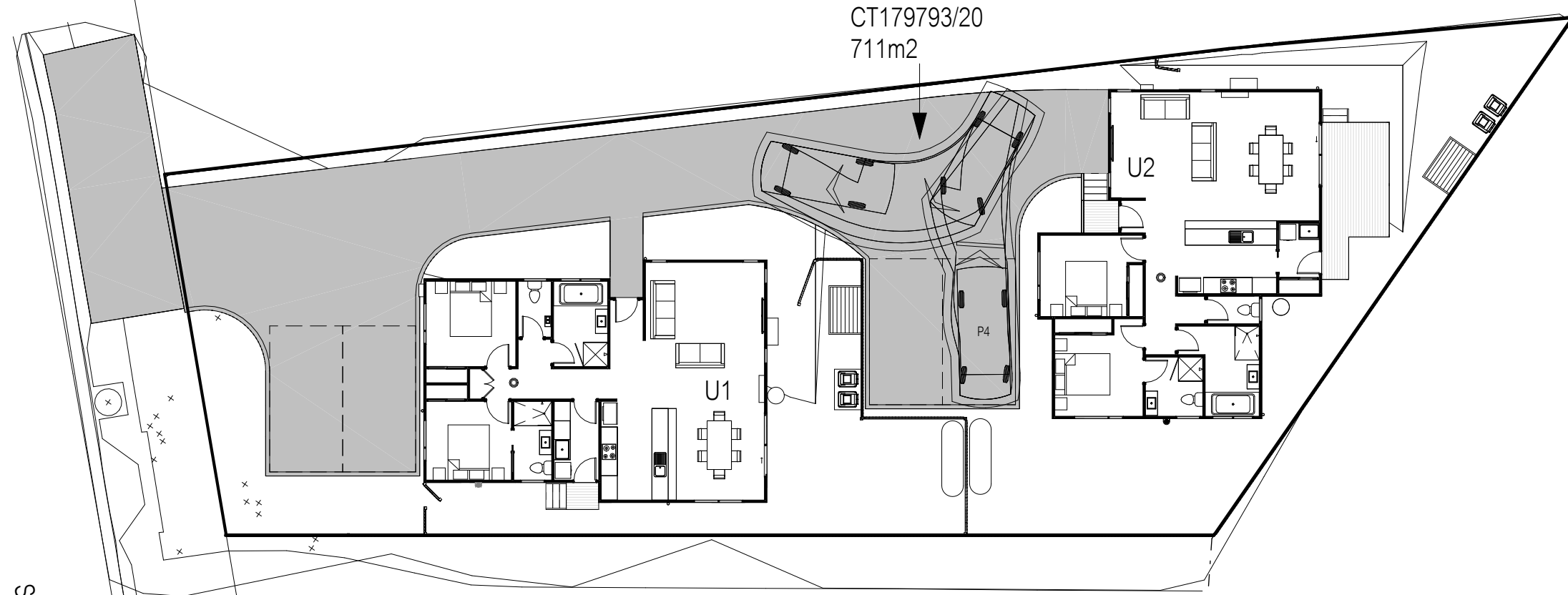
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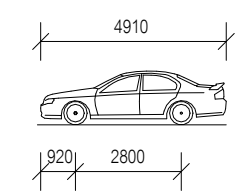
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STATESMAN COURT

P4 REVERSE OUT



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Client / Project info

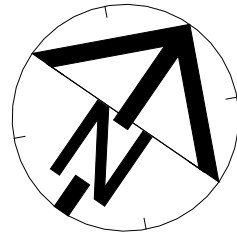
PROPOSED AC WALKER FAMILY TRUST DEVELOPMENT

6 Statesman Court,
SORELL



MANOEUVRING PLAN SHEET 3		
Drawn	RJ	AP2024-2361
Date	16 September 2024	Sheet
Scale	1:200	01d/05

No.	Date	Int.	Amendment changes as per cover sheet
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2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED AT THE TIME OF THIS SURVEY.

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5. HORIZONTAL DATUM IS BASED ON SP179793 (MGA94) (TS CROMER Surveyor) DISTANCES ARE SCALED TO PLANE (CSF 0.999623 about pt 40 SP179793)

6. VERTICAL DATUM IS AHD (RTK GPS).

7. CONTOUR INTERVAL IS 0.1 METRE, INDEX IS 1.0 METRE.

NOTE: BOUNDARIES AND EASEMENTS (IF INCLUDED) ARE COMPILED FROM SURVEY PLAN SP179793.

ANOTHER PERSPECTIVE ARE NOT REGISTERED LAND SURVEYORS AND IF REQUIRED A REGISTERED LAND SURVEYOR SHOULD BE ENGAGED TO IDENTIFY AND MARK TITLE BOUNDARIES & EASEMENTS.



	Golf Ball Pittosporum
	Lomandra Tanika Dianella
	Seeded lawn
	Pine bark
	Concrete

NOTE:
Outdoor lighting is to be provided in communal areas throughout the site. Outdoor lighting must be designed, baffled & located to prevent any adverse effect on adjoining land, and be in accordance with clause 3.1 "Basis of Design" and clause 3.6 "Car Parks" in AS/NZS 1158.3.1:2005 Lighting for roads and public spaces Part 3.1: Pedestrian area (Category P) lighting.

STATESMAN COURT



Sorell Council
 Development Application: 5.2024.238.1 - 6 statesman court, Sorell.pdf
 Plans Reference: P2
 Date received: 05/11/2024

Notes

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Designer:
 ANOTHER PERSPECTIVE PTY LTD
 PO BOX 21
 NEW TOWN
 LIC. NO. 685230609 (S. Turvey)
 Ph: (03) 6231 4122
 Fx: (03) 6231 4166
 Email:
 info@anotherperspective.com.au

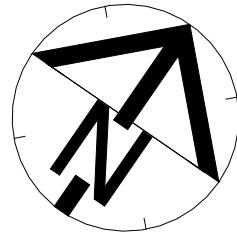
Client / Project info
 PROPOSED AC WALKER FAMILY TRUST DEVELOPMENT
 6 Statesman Court,
 SORELL



LANDSCAPING PLAN		
Drawn	CK	AP2024-2361
Date	31 October 2024	Sheet
Scale	1:200	01e/05

A	31 Oct. 2024	CK
No.	Date	Int.

Amendment changes as per cover sheet



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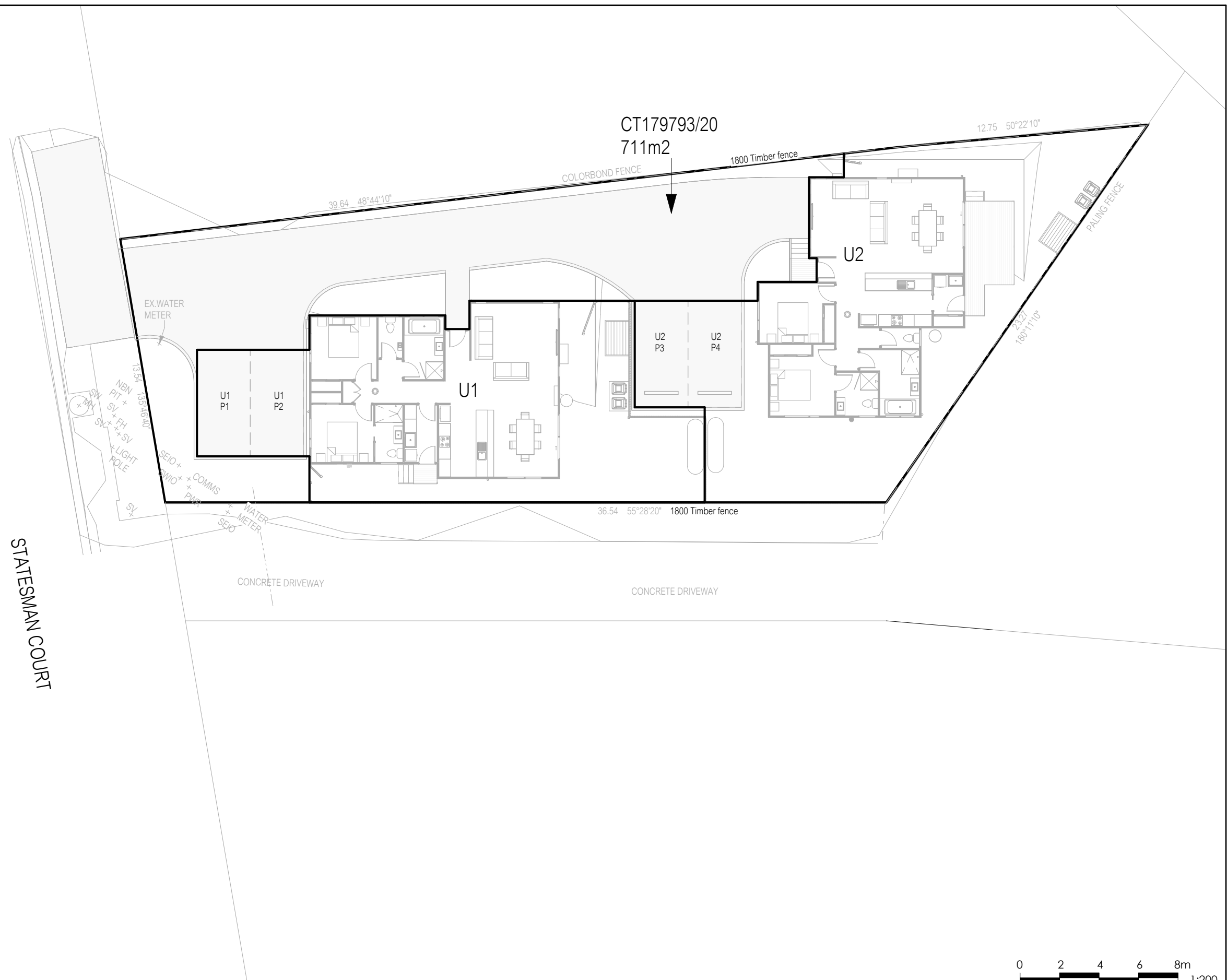
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A	31 Oct. 2024	CK
No.	Date	Int.

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 Development Application: 5.2024.238.1 - 6 statesman court, Sorell.pdf
 Plans Reference: P2
 Date received: 05/11/2024

Notes

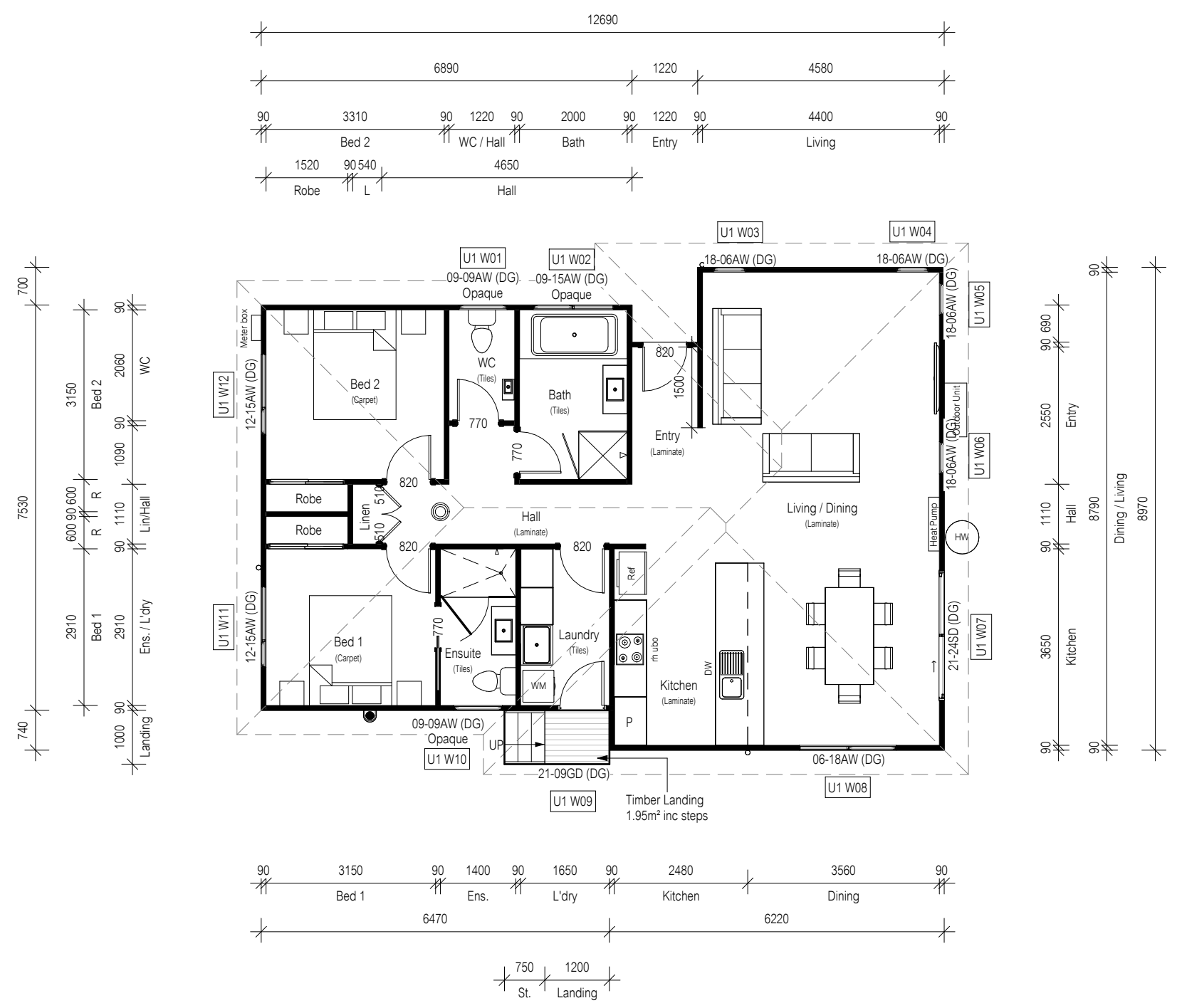
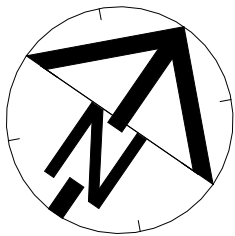
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Client / Project info
 PROPOSED AC WALKER FAMILY TRUST DEVELOPMENT
 6 Statesman Court,
 SORELL

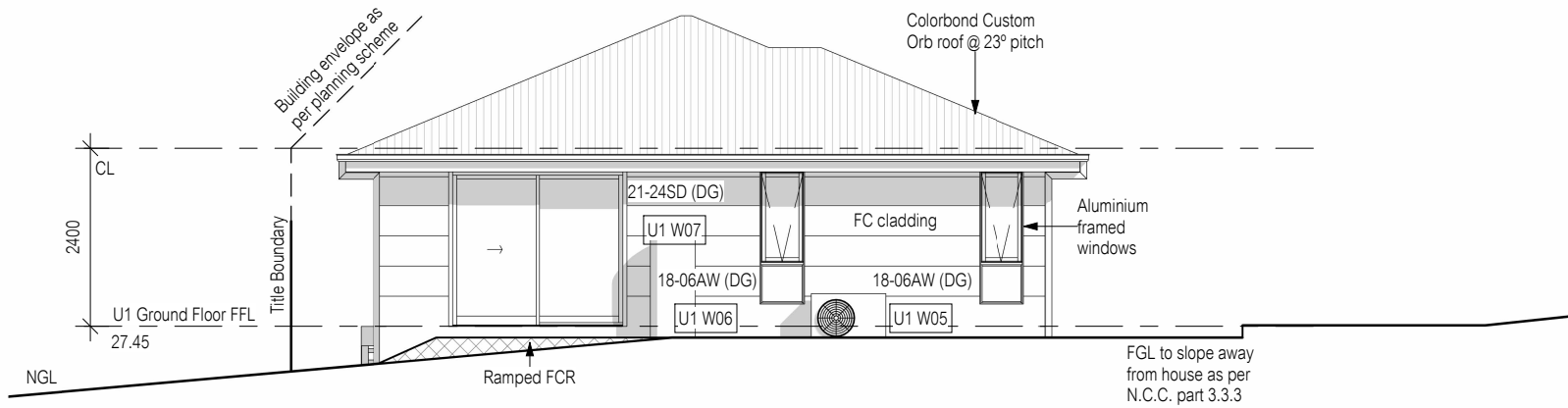


INDICATIVE STRATA PLAN		
Drawn	CK	AP2024-2361
Date	31 October 2024	Sheet
Scale	1:200	01f/05

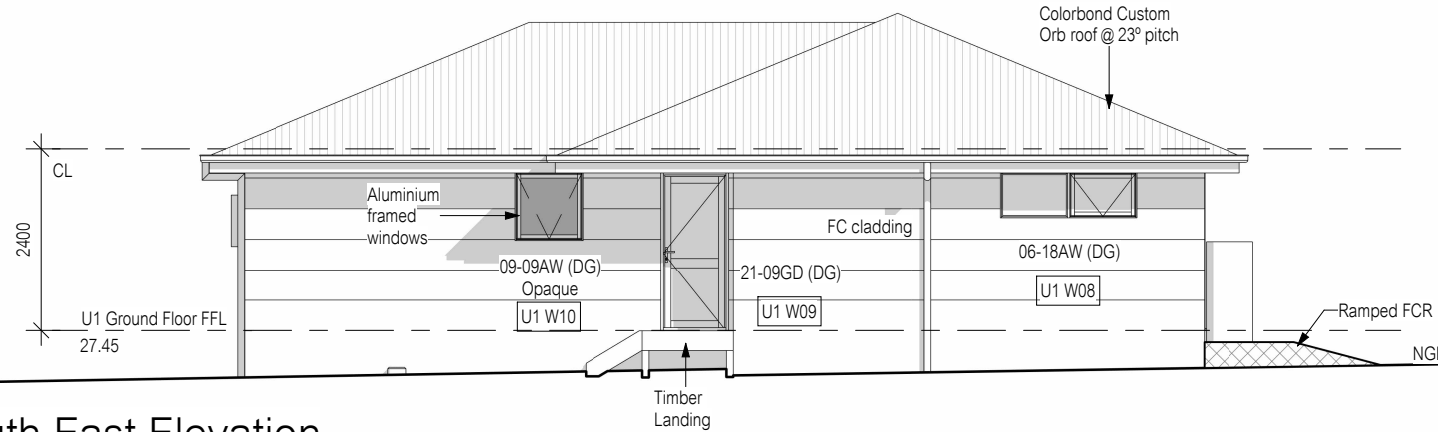


No. Date Int. Amendment changes as per cover sheet	Floor Area = 102.52m ² —●— Articulation joints ☉ Smoke Alarm (interconnected where more than 1)	All window sizes to be checked and/or confirmed on site prior to ordering glazing units	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	Client / Project info PROPOSED AC WALKER FAMILY TRUST DEVELOPMENT 6 Statesman Court, SORELL		UNIT 1 FLOOR PLAN	
				Drawn PJ AP2024-2361 Date 28 August 2024 Sheet Scale 1:100 Copyright © 02/05				

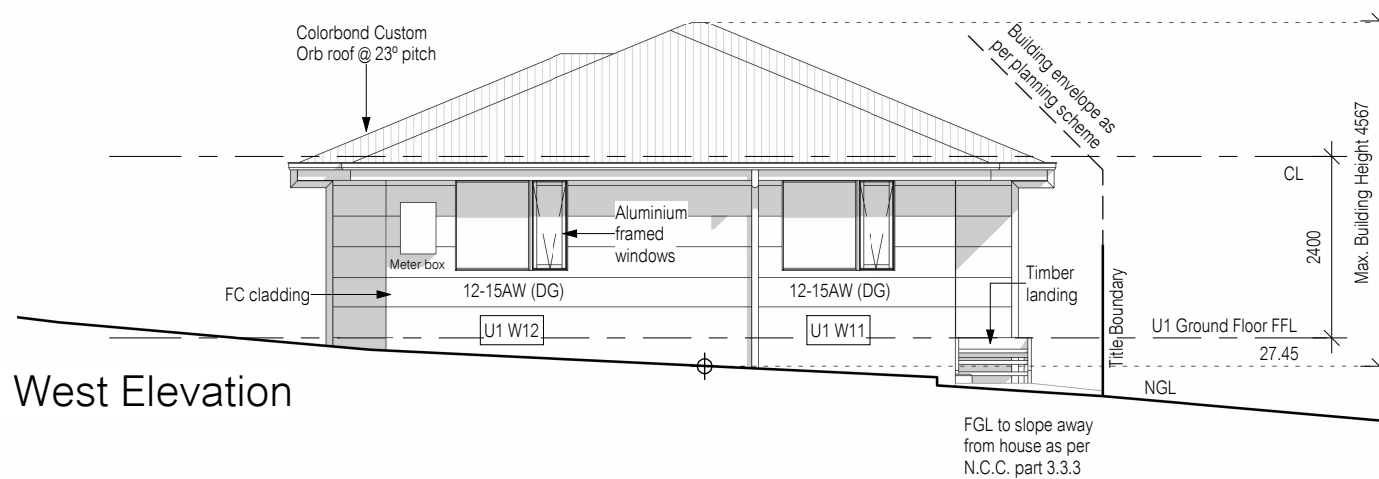
Material	Colour
Colorbond Roof	tbc
Face Brick	tbc
FC Sheet	tbc



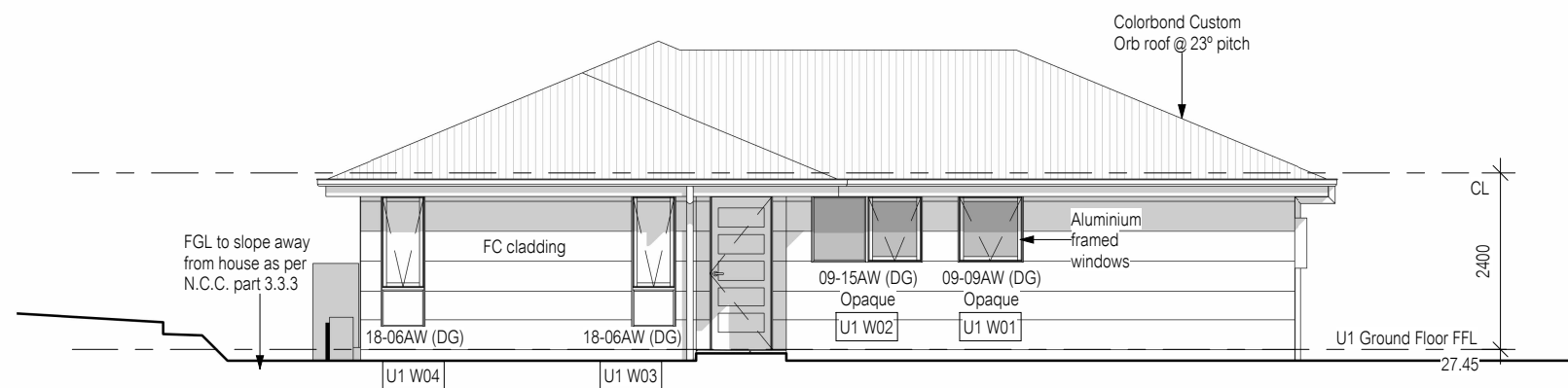
Unit 1 North East Elevation



Unit 1 South East Elevation



Unit 1 South West Elevation



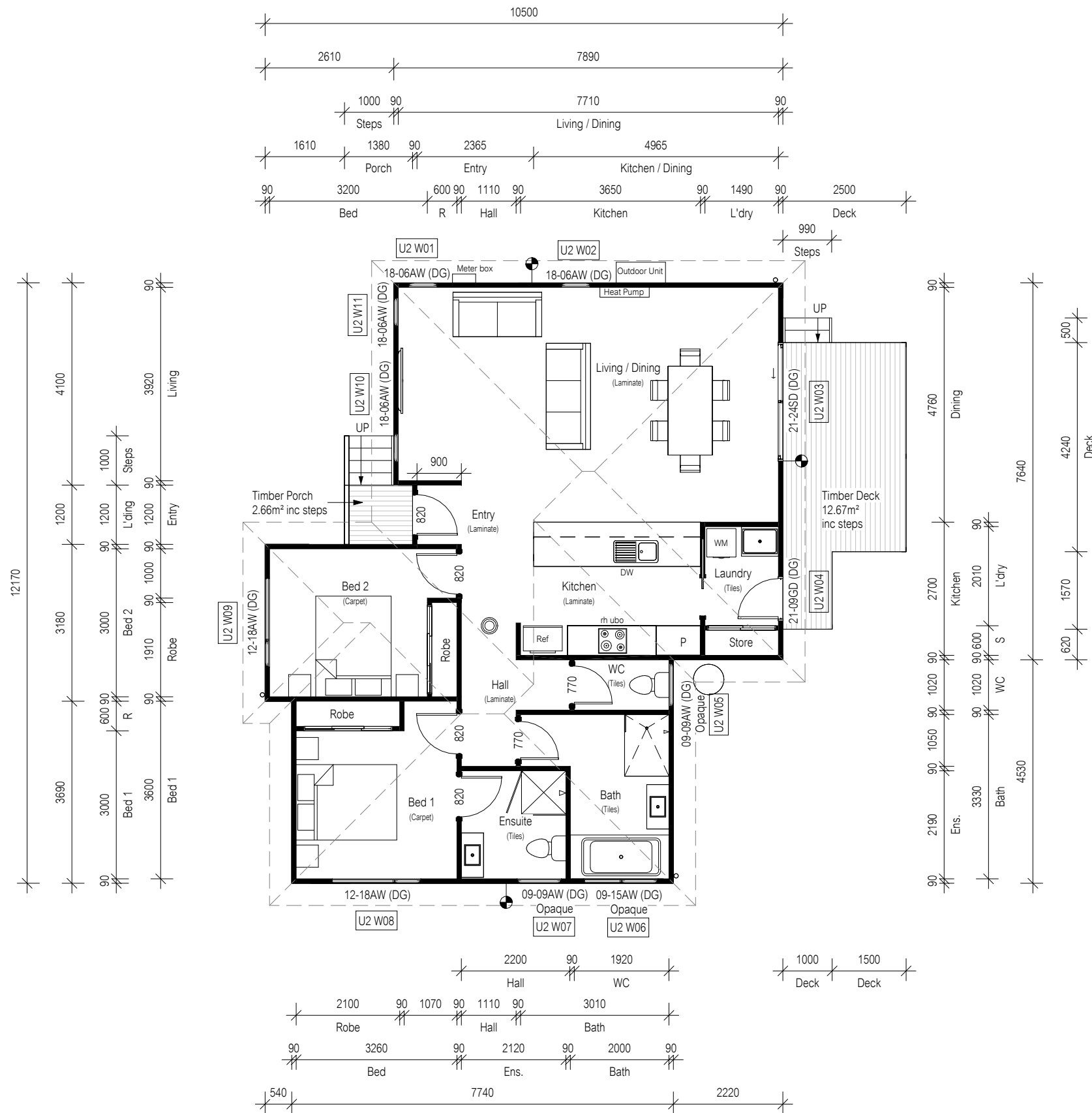
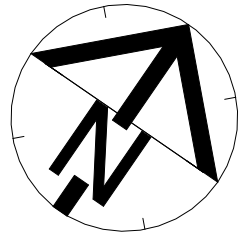
Unit 1 North West Elevation

All window sizes to be checked and/or confirmed on site prior to ordering glazing units

Shadows shown for stylisation purposes only

Sorell Council
 Development Application: 5.2024.238.1 - 6 statesman court, Sorell.pdf
 Plans Reference: P2
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No.	Date	Int.
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Notes		
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Designer:		
ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au		
Client / Project info		
PROPOSED AC WALKER FAMILY TRUST DEVELOPMENT 6 Statesman Court, SORELL		
UNIT 1 ELEVATIONS		
Drawn	RJ	AP2024-2361
Date	17 September 2024	Sheet
Scale	1:100	03/05
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 statesman court, Sorell.pdf
 Plans Reference: P2
 Date received: 05/11/2024

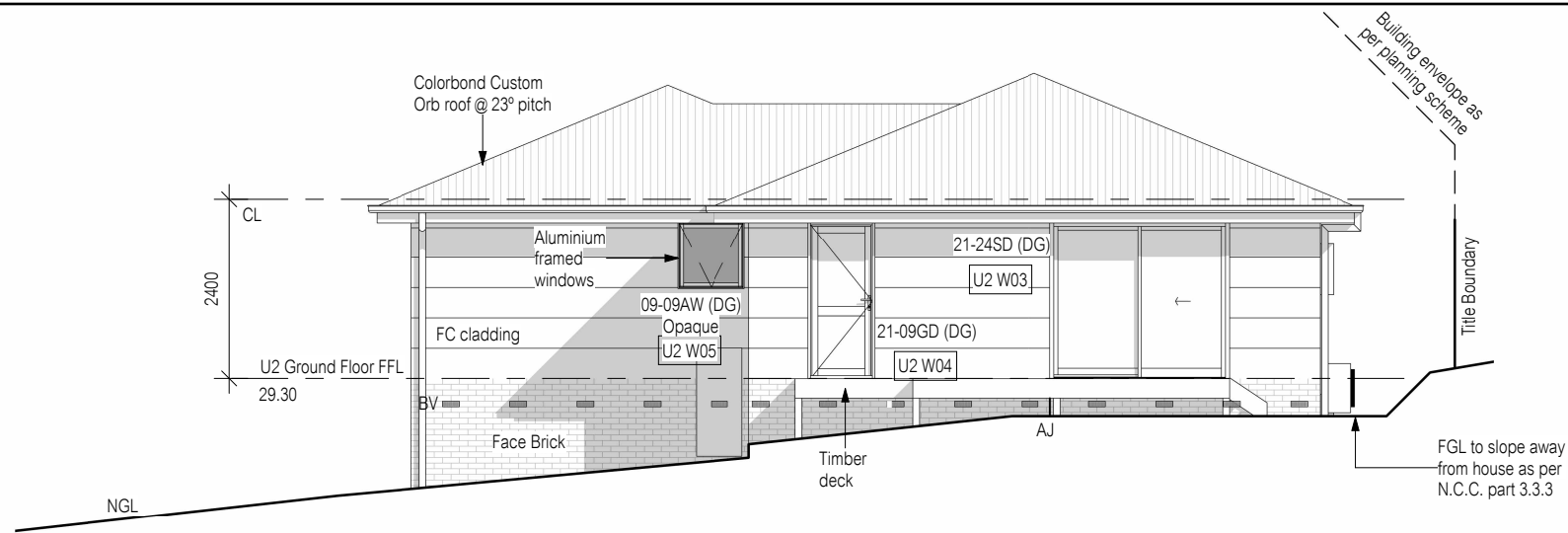


Floor Area = 101.45m ² Articulation joints Smoke Alarm (interconnected where more than 1) <div style="border: 1px solid black; padding: 2px; width: fit-content;"> All window sizes to be checked and/or confirmed on site prior to ordering glazing units </div>	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	Client / Project info PROPOSED AC WALKER FAMILY TRUST DEVELOPMENT 6 Statesman Court, SORELL		UNIT 2 FLOOR PLAN	
					Drawn PJ Date 28 August 2024 Scale 1:100 Copyright ©	AP2024-2361 Sheet <div style="font-size: 2em; font-weight: bold;">04/05</div>

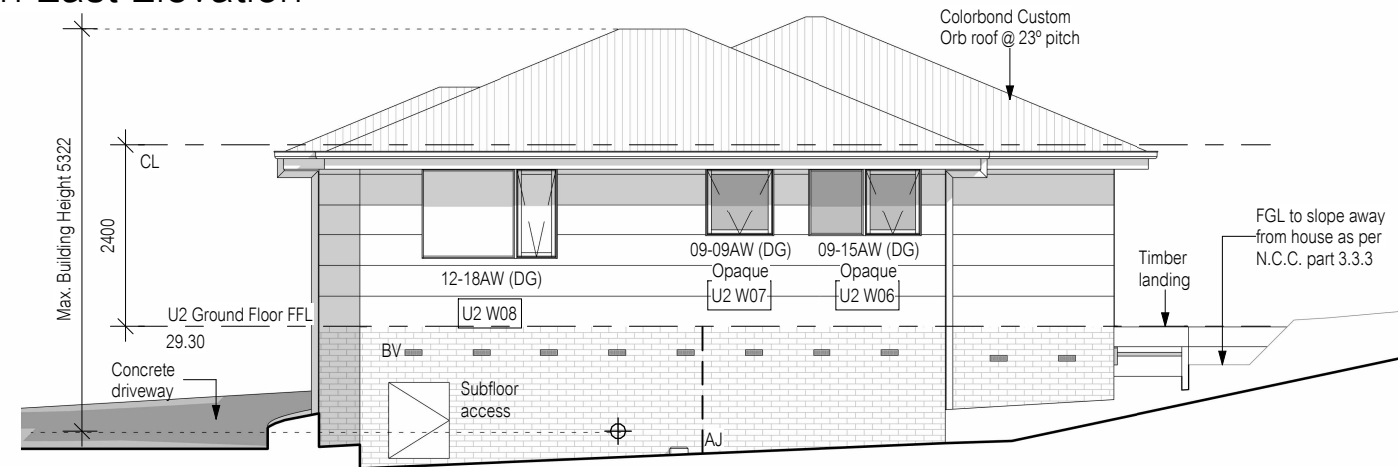
No.	Date	Int.

Amendment changes as per cover sheet

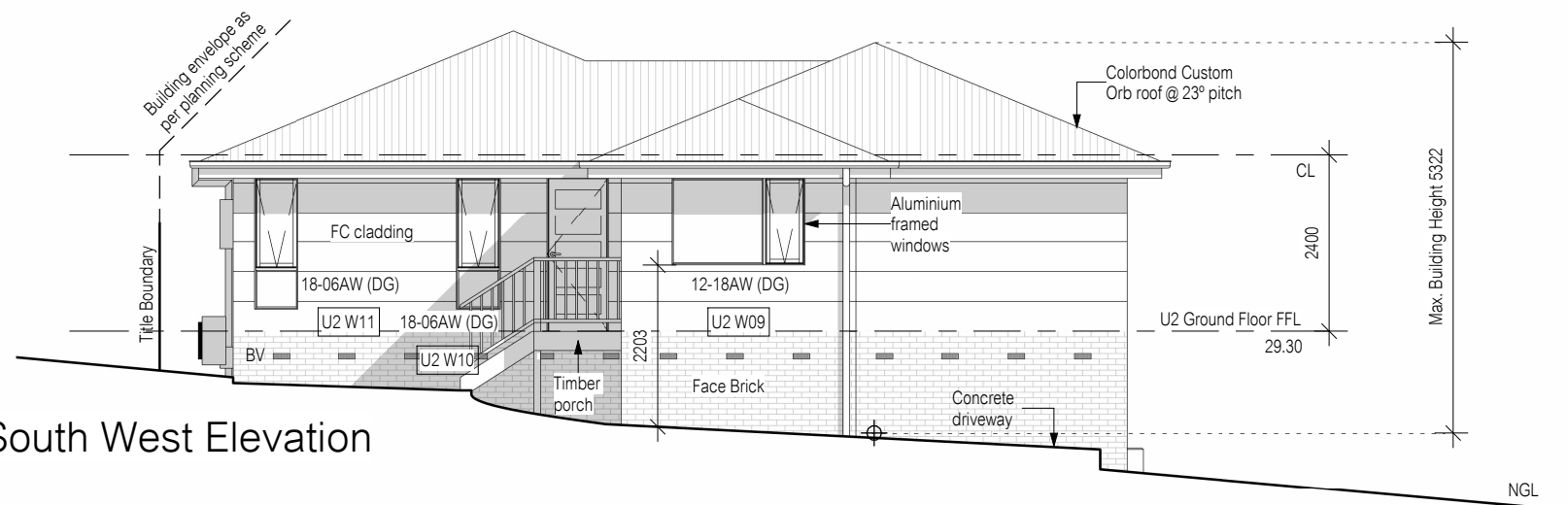
Material	Colour
Colorbond Roof	tbc
Face Brick	tbc
FC Sheet	tbc



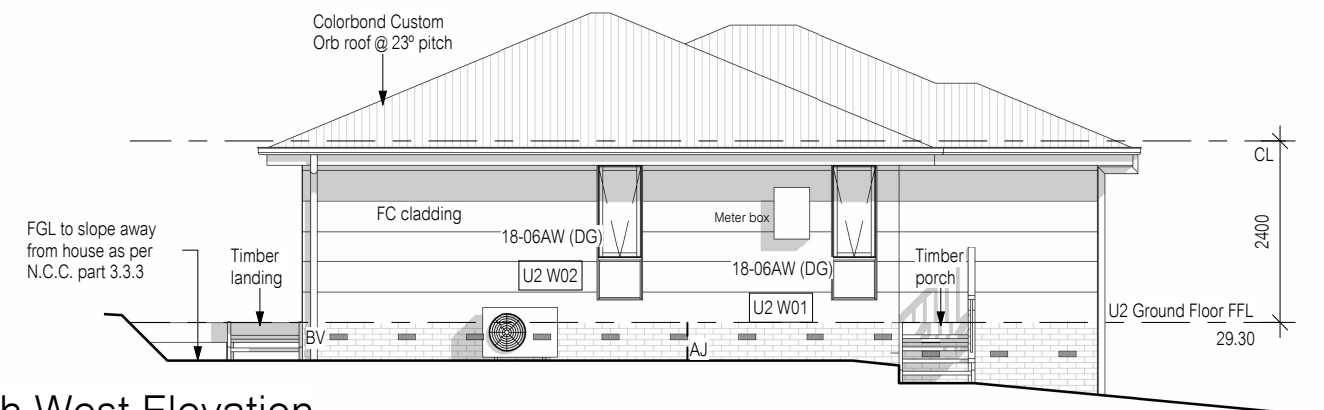
Unit 2 North East Elevation



Unit 2 South East Elevation



U2 South West Elevation



Unit 2 North West Elevation

SUB-FLOOR VENTILATION CALCULATIONS (as per N.C.C. 6.2.1)

- Minimum Sub-floor Ventilation 6000mm² per metre of subfloor perimeter (for Climatic Zone C where ground isn't sealed with impervious membrane)
- Vents to be evenly spaced around perimeter of dwelling.
- Vents to be located within 600mm of corners.
- If located within a bushfire prone area, vents to be BAL compliant as per AS3959. e.g. Pryda 230 x 75 metal vent spaced every 1048mm around subfloor perimeter.

All window sizes to be checked and/or confirmed on site prior to ordering glazing units

LEGEND:
 AJ - Articulation Joint
 BV - Brick Vent

Shadows shown for stylisation purposes only

Sorell Council
 Development Application: 5.2024.238.1 - 6 statesman court, Sorell.pdf
 Plans Reference: P2
 Date received: 05/11/2024

No.	Date	Int.
Amendment changes as per cover sheet		
Notes		
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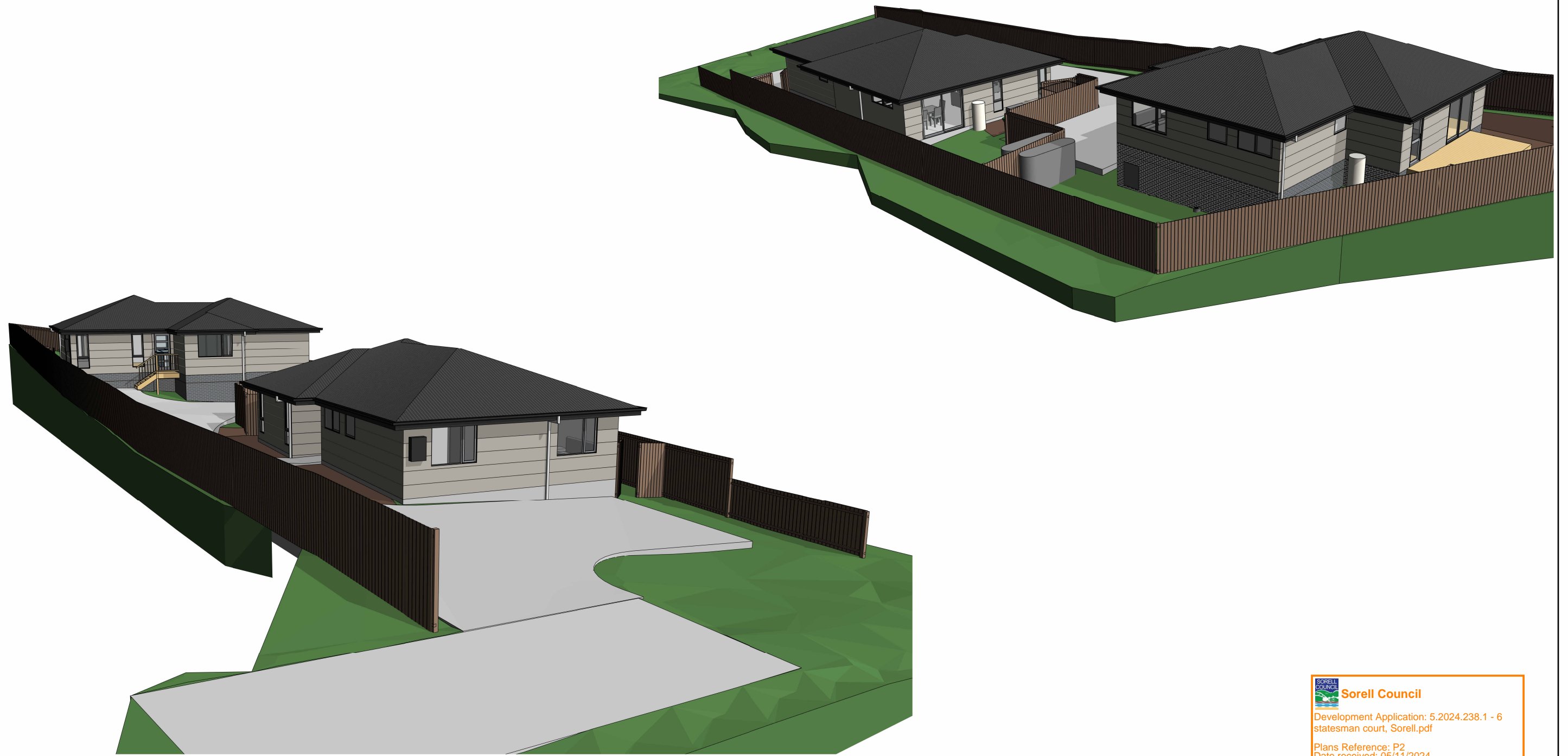
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UNIT 2 ELEVATIONS

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Date	17 September 2024	Sheet
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 Development Application: 5.2024.238.1 - 6
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 Plans Reference: P2
 Date received: 05/11/2024

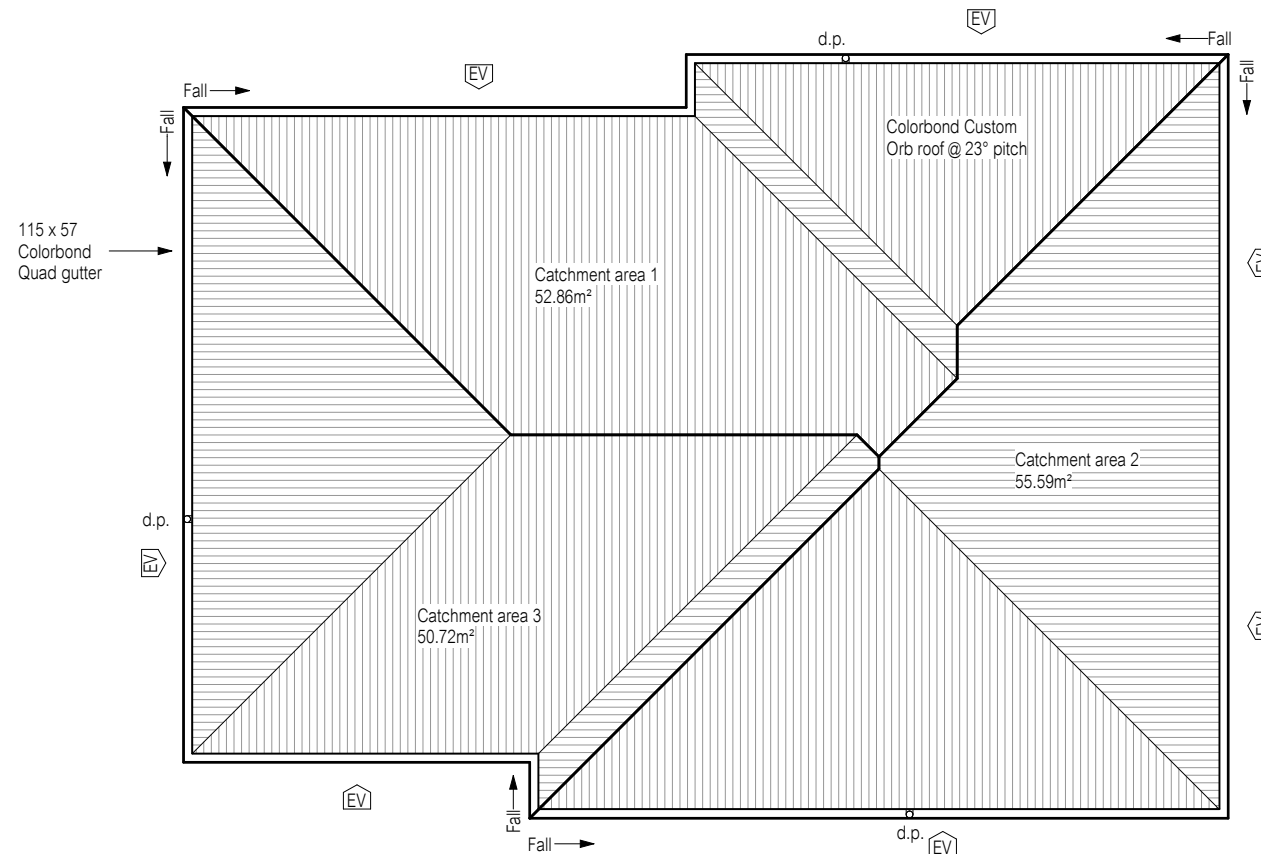
No.	Date	Int.	Amendment changes as per cover sheet	Shadows shown for stylisations purpose only	Notes • Builder to verify all dimensions and levels on site prior to commencement of work • All work to be carried out in accordance with the current National Construction Code. • All materials to be installed according to manufacturers specifications. • Do not scale from these drawings. • No changes permitted without consultation with designer.	Designer: ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	Client / Project info PROPOSED AC WALKER FAMILY TRUST DEVELOPMENT 6 Statesman Court, SORELL		PERSPECTIVE VIEWS	
						Drawn PJ Date 28 August 2024 Scale Copyright ©	AP2024-2361 Sheet 05a/05			

GUTTER OVERFLOW REQUIREMENTS as per N.C.C. Figure 7.4.6a:
 Minimum slot opening area of 1200 mm² per metre of gutter and the lower edge of the slots installed a minimum of 25 mm below the top of the fascia.
 The acceptable overflow capacity must be 0.5 L/s/m.

Batten fixings:
 100mm type 17, 14g bugle screws to comply with AS1684, or refer to AS1684 for alternatives.

Batten spacing:
 75 x 38 F8 @ 900 Centre

Colorbond fixings:
 50mm M6 11 x 50 EPDM seal to comply with AS3566 or refer to AS3566 for alternatives.



Position and quantity of downpipes are not to be altered without consultation with designer

Area's shown are surface areas / catchment areas, not plan areas.

DOWNPIPE AND ROOF CATCHMENT AREA CALCULATIONS (as per AS/NZS 3500.3)		
Ah ¹	126.03	Area of Roof (excluding 115mm Quad gutter) (m ²)
Ah ²	131.54	Area of Roof (including 115mm Quad gutter) (m ²)
Ac	159.16	Ah ² x Slope factor (Table 3.2 from AS/NZS 3500.3) (m ²)
Ae	6555	Cross sectional area of assumed 57 x 115 Quad Gutter. (mm ²)
DRI	86.9	Design Rainfall Intensity (determined from Appendix D from AS/NZS 3500.3)
ACDP	74	Catchment area per Downpipe (determined from Figure 3.5.4(A) from AS/NZS 3500.3) (m ²)
Required Downpipes	2.15	Ac ÷ Acdp
Downpipes Provided	3	

ROOF VENTILATION GUIDE:
 Ventilation calculations must be read in conjunction with CBOS - Condensation in Buildings - Tasmanian Designers' Guide - Version 2 (published April 2019).

Continuous gap:	
Supply	Exhaust
Continuous gap at eaves is: 25mm for <16° pitch 10mm for >16° pitch	Continuous gap at ridge is at least 5mm for all roof pitches

OR

Roof vents:
 The minimum vent area should be:
 a) Ceiling area/150 for <16° pitch, or
 b) Ceiling area/300 for >16° pitch

Supply	Exhaust
75% of ventilation should be supply	25% of ventilation should be exhaust

Vent at gable should be within 900mm of ridge.

ROOF VENTILATION CALCULATION

Roof vents:	
Ceiling Area:	98.50m ²
Roof Pitch:	23°
Supply area required (75%):	0.25m ²
Exhaust area required (25%):	0.08m ²

Example	
Vent Width	200mm
Vent Length	400mm
Vent area	0.08m ²
Opening	50%
Supply number required	7 evenly spaced
Exhaust number required	Continuous 5mm gap to ridge

AS3959 compliant ember mesh and compressible blanket to ridge vents on jobs in BAL zones.

Sorell Council
 Development Application: 5.2024.238.1 - 6 statesman court, Sorell.pdf
 Plans Reference: P2
 Date received: 05/11/2024

Sarking to be cut / discontinuous along ridge line. Custom orb profile to provide N.C.C. required ventilation between ridge capping and roofing sheet.

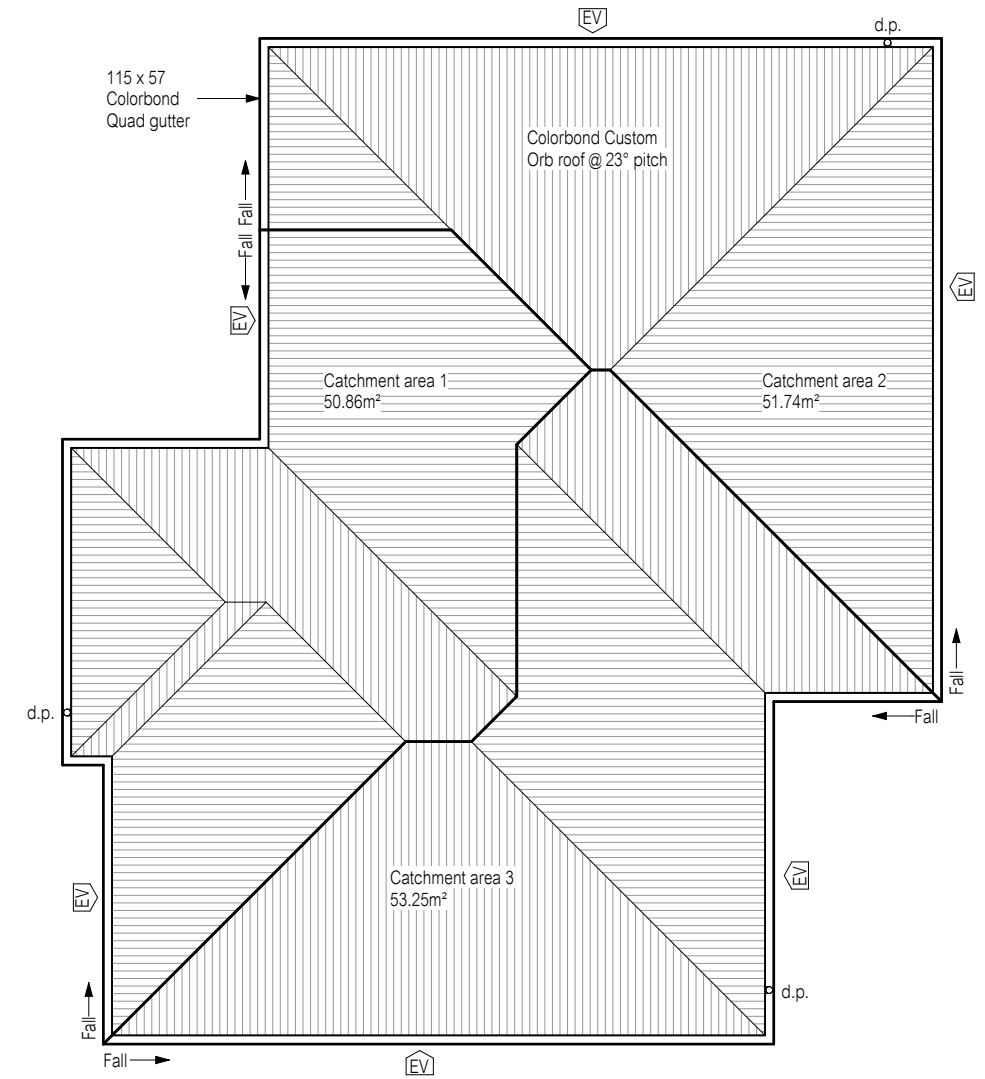
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					Drawn RJ Date 19 September 2024 Scale 1:100	AP2024-2361 Sheet 11/05			

GUTTER OVERFLOW REQUIREMENTS as per N.C.C. Figure 7.4.6a:
 Minimum slot opening area of 1200 mm² per metre of gutter and the lower edge of the slots installed a minimum of 25 mm below the top of the fascia.
 The acceptable overflow capacity must be 0.5 L/s/m.

Batten fixings:
 100mm type 17, 14g bugle screws to comply with AS1684, or refer to AS1684 for alternatives.

Batten spacing:
 75 x 38 F8 @ 900 Centre

Colorbond fixings:
 50mm M6 11 x 50 EPDM seal to comply with AS3566 or refer to AS3566 for alternatives.



Position and quantity of downpipes are not to be altered without consultation with designer

Area's shown are surface areas / catchment areas, not plan areas.

DOWNPIPE AND ROOF CATCHMENT AREA CALCULATIONS (as per AS/NZS 3500.3)		
Ah ¹	123.12	Area of Roof (excluding 115mm Quad gutter) (m ²)
Ah ²	128.80	Area of Roof (including 115mm Quad gutter) (m ²)
Ac	155.85	Ah ² x Slope factor (Table 3.2 from AS/NZS 3500.3) (m ²)
Ae	6555	Cross sectional area of assumed 57 x 115 Quad Gutter. (mm ²)
DRI	86.9	Design Rainfall Intensity (determined from Appendix D from AS/NZS 3500.3)
ACDP	74	Catchment area per Downpipe (determined from Figure 3.5.4(A) from AS/NZS 3500.3) (m ²)
Required Downpipes	2.11	Ac ÷ Acdp
Downpipes Provided	3	

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Sarking to be cut / discontinuous along ridge line. Custom orb profile to provide N.C.C. required ventilation between ridge capping and roofing sheet.

ROOF VENTILATION GUIDE:
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Continuous gap:	
Supply	Exhaust
Continuous gap at eaves is: 25mm for <16° pitch 10mm for >16° pitch	Continuous gap at ridge is at least 5mm for all roof pitches

OR

Roof vents:
 The minimum vent area should be:
 a) Ceiling area/150 for <16° pitch, or
 b) Ceiling area/300 for >16° pitch

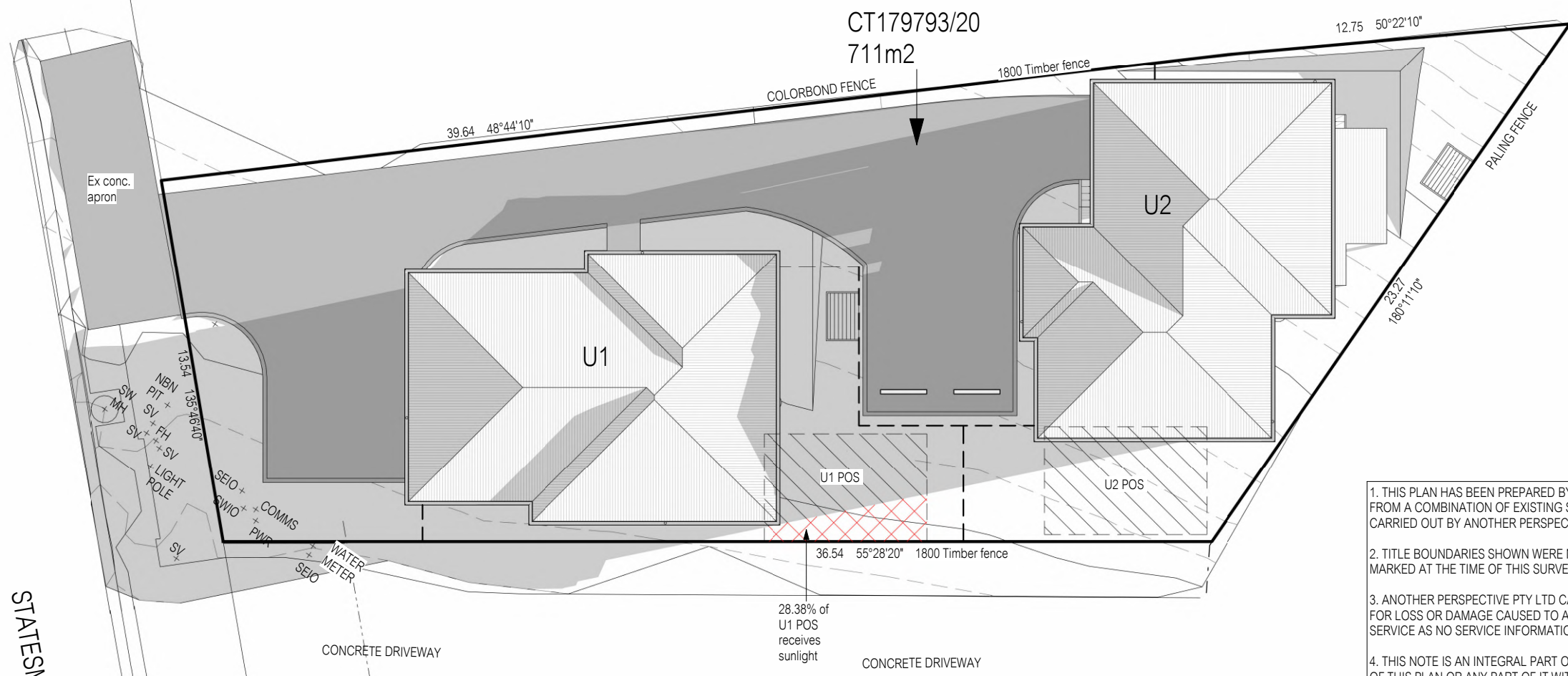
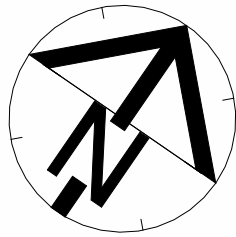
Supply	Exhaust
75% of ventilation should be supply	25% of ventilation should be exhaust

Vent at gable should be within 900mm of ridge.

ROOF VENTILATION CALCULATION

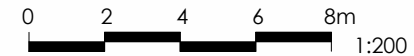
Roof vents:	
Ceiling Area:	97.33m ²
Roof Pitch:	23°
Supply area required (75%):	0.24m ²
Exhaust area required (25%):	0.08m ²
Example	
Vent Width	200mm
Vent Length	400mm
Vent area	0.08m ²
Opening	50%
Supply number required	6 evenly spaced
Exhaust number required	Continuous 5mm gap to ridge
AS3959 compliant ember mesh and compressible blanket to ridge vents on jobs in BAL zones.	

No.	Date	Int.	Amendment changes as per cover sheet	Notes	Designer:	Client / Project info	another perspective drafting&design	UNIT 2 ROOF PLAN	
				<ul style="list-style-type: none"> Builder to verify all dimensions and levels on site prior to commencement of work All work to be carried out in accordance with the current National Construction Code. All materials to be installed according to manufacturers specifications. Do not scale from these drawings. No changes permitted without consultation with designer. 	ANOTHER PERSPECTIVE PTY LTD PO BOX 21 NEW TOWN LIC. NO. 685230609 (S. Turvey) Ph: (03) 6231 4122 Fx: (03) 6231 4166 Email: info@anotherperspective.com.au	PROPOSED AC WALKER FAMILY TRUST DEVELOPMENT 6 Statesman Court, SORELL		Drawn RJ Date 19 September 2024 Scale 1:100	AP2024-2361 Sheet 12/05



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Sorell Council
 Development Application: 5.2024.238.1 - 6 statesman court, Sorell.pdf
 Plans Reference: P2
 Date received: 05/11/2024



NOTES

- LATITUDE: -42°46'
- LONGITUDE: 147°33'
- No allowance for surrounding topography.
- Ground terrain for development site derived from detail survey.

Notes

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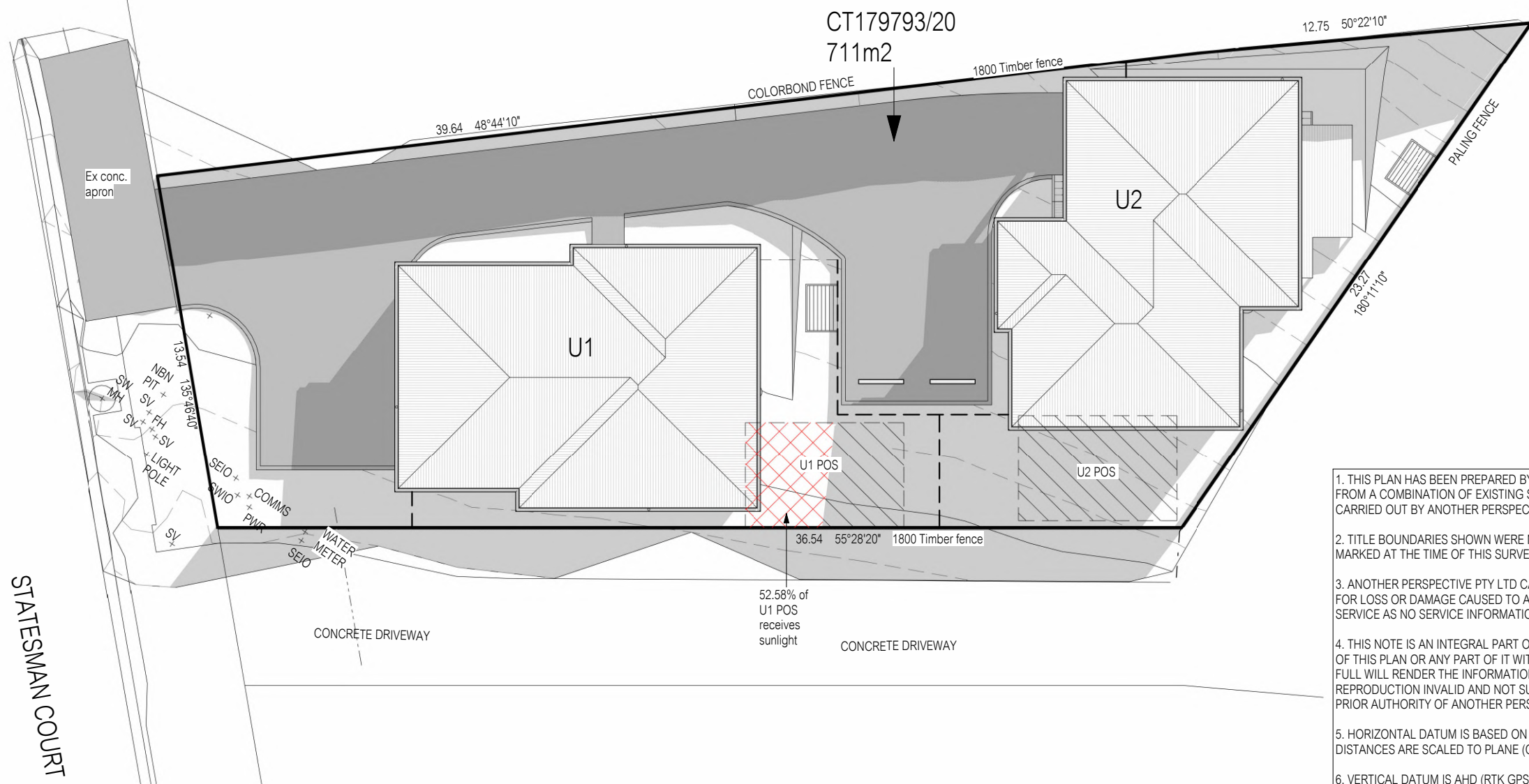
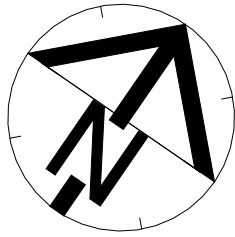
Designer:
 ANOTHER PERSPECTIVE PTY LTD
 PO BOX 21
 NEW TOWN
 LIC. NO. 685230609 (S. Turvey)
 Ph: (03) 6231 4122
 Fx: (03) 6231 4166
 Email:
 info@anotherperspective.com.au

Client / Project info
 PROPOSED AC WALKER FAMILY TRUST DEVELOPMENT
 6 Statesman Court,
 SORELL



SHADOW DIAGRAM - 21/06/25		
9am		
Drawn	CK	AP2024-2361
Date	31 October 2024	Sheet
Scale	1:200	N/A

No.	Date	Int.	Amendment changes as per cover sheet
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1. THIS PLAN HAS BEEN PREPARED BY ANOTHER PERSPECTIVE PTY LTD FROM A COMBINATION OF EXISTING SURVEY PLANS AND GPS SURVEY CARRIED OUT BY ANOTHER PERSPECTIVE PTY LTD.
 2. TITLE BOUNDARIES SHOWN WERE NOT VERIFIED OR MARKED AT THE TIME OF THIS SURVEY.
 3. ANOTHER PERSPECTIVE PTY LTD CAN NOT ACCEPT LIABILITY WHATSOEVER FOR LOSS OR DAMAGE CAUSED TO ANY UNDERGROUND SERVICE AS NO SERVICE INFORMATION HAS BEEN COLLECTED.
 4. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN/DATA. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS NOTE BEING INCLUDED IN FULL WILL RENDER THE INFORMATION SHOWN ON SUCH A REPRODUCTION INVALID AND NOT SUITABLE FOR USE WITHOUT PRIOR AUTHORITY OF ANOTHER PERSPECTIVE PTY LTD.
 5. HORIZONTAL DATUM IS BASED ON SP179793 (MGA94) (TS CROMER Surveyor) DISTANCES ARE SCALED TO PLANE (CSF 0.999623 about pt 40 SP179793)
 6. VERTICAL DATUM IS AHD (RTK GPS).
 7. CONTOUR INTERVAL IS 0.1 METRE, INDEX IS 1.0 METRE.
- NOTE: BOUNDARIES AND EASEMENTS (IF INCLUDED) ARE COMPILED FROM SURVEY PLAN SP179793.
- ANOTHER PERSPECTIVE ARE NOT REGISTERED LAND SURVEYORS AND IF REQUIRED A REGISTERED LAND SURVEYOR SHOULD BE ENGAGED TO IDENTIFY AND MARK TITLE BOUNDARIES & EASEMENTS.

Sorell Council
 Development Application: 5.2024.238.1 - 6 statesman court, Sorell.pdf
 Plans Reference: P2
 Date received: 05/11/2024



NOTES

- LATITUDE: -42°46'
- LONGITUDE: 147°33'
- No allowance for surrounding topography.
- Ground terrain for development site derived from detail survey.

Notes

- Builder to verify all dimensions and levels on site prior to commencement of work
- All work to be carried out in accordance with the current National Construction Code.
- All materials to be installed according to manufacturers specifications.
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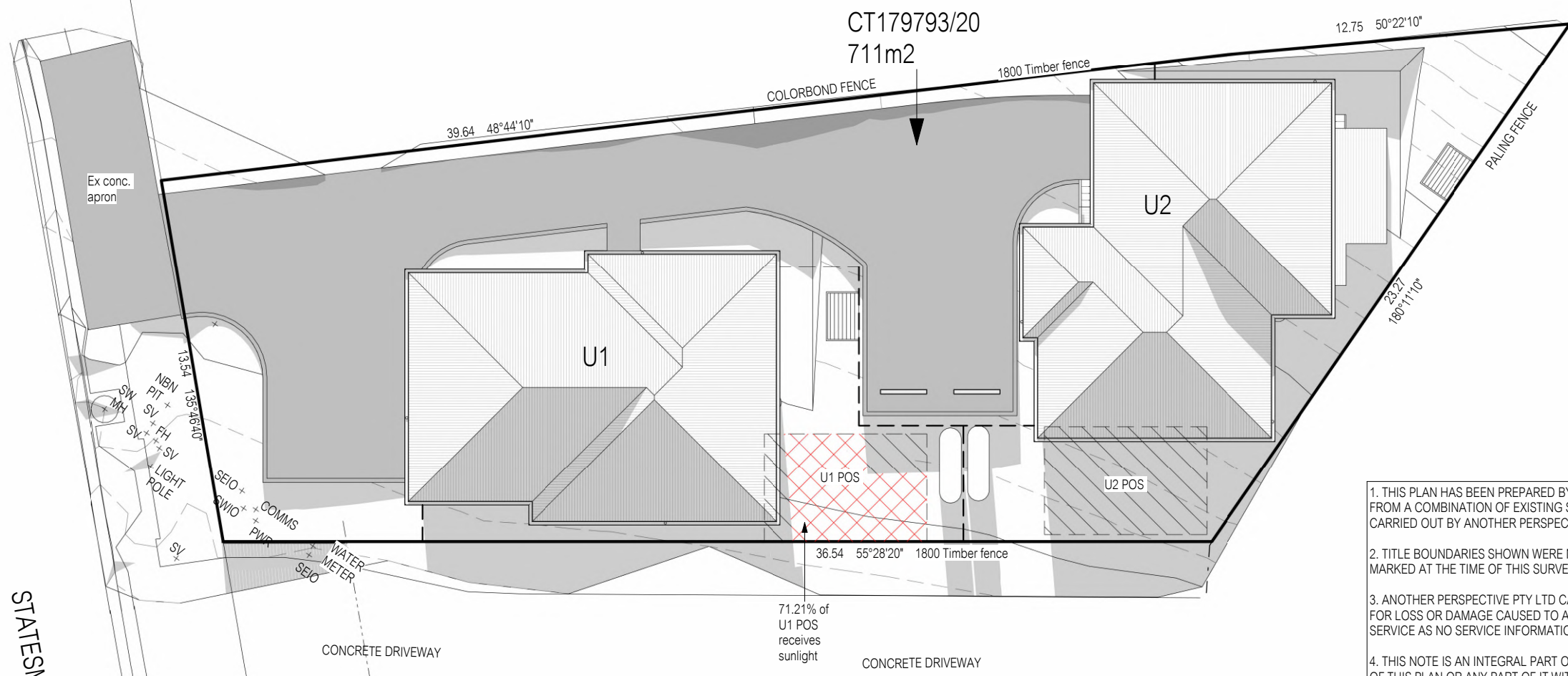
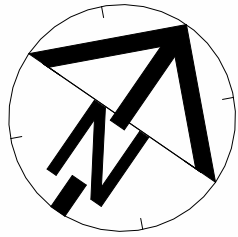
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 SORELL



SHADOW DIAGRAM - 21/06/25		
12pm		
Drawn	CK	AP2024-2361
Date	31 October 2024	Sheet
Scale	1:200	N/A

No.	Date	Int.	Amendment changes as per cover sheet
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STATESMAN COURT

CT179793/20
711m²

12.75 50°22'10"

39.64 48°44'10"

COLORBOND FENCE

1800 Timber fence

PALING FENCE

Ex conc. apron

U2

U1

U1 POS

U2 POS

36.54 55°28'20" 1800 Timber fence

71.21% of U1 POS receives sunlight

CONCRETE DRIVEWAY

CONCRETE DRIVEWAY

WATER METER

NBN
PT + SV
FH + SV
LIGHT POLE
SEIO + SWO + COMMS + PWR

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SORELL



SHADOW DIAGRAM - 21/06/25	
3pm	
Drawn	CK AP2024-2361
Date	31 October 2024 Sheet
Scale	1:200
N/A	

No.	Date	Int.	Amendment changes as per cover sheet
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