

# NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

**SITE: 618 Carlton River Road, Carlton River**

**PROPOSED DEVELOPMENT:  
CHANGE OF USE (DWELLING TO VISITOR  
ACCOMMODATION)**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at [www.sorell.tas.gov.au](http://www.sorell.tas.gov.au) until **Monday 2<sup>nd</sup> December 2024**.

Any person may make representation in relation to the proposal by letter or electronic mail ([sorell.council@sorell.tas.gov.au](mailto:sorell.council@sorell.tas.gov.au)) addressed to the General Manager. Representations must be received no later than **Monday 2<sup>nd</sup> December 2024**

**APPLICANT: Jacqueline C Investments Pty Ltd**

**APPLICATION NO: DA 2024 / 148 - 1**  
**DATE: 14 November 2024**

*Part B: Please note that Part B of this form is publicly exhibited.*

Full description of Proposal:	Use: Short term rental \$25,000
	Development:  Please refer to letter in file
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal:	\$ 2,000.....

Is all, or some the work already constructed:	No: <input type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address: ..618 Carlton River Road.....
	Suburb: ..Carlton River..... Postcode: ..7173.....
	Certificate of Title(s) Volume: ..31119..... Folio: ..2.....

Current Use of Site	3 bedroom dwelling, currently rented to a family as a 6 month rental.....
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Current Owner/s:	Name(s)..... Jacqueline C Super Fund.....
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Is the Property on the Tasmanian Heritage Register?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>

**If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form**  
<https://www.sorell.tas.gov.au/services/engineering/>



Part B continued: Please note that Part B of this form is publicly exhibited

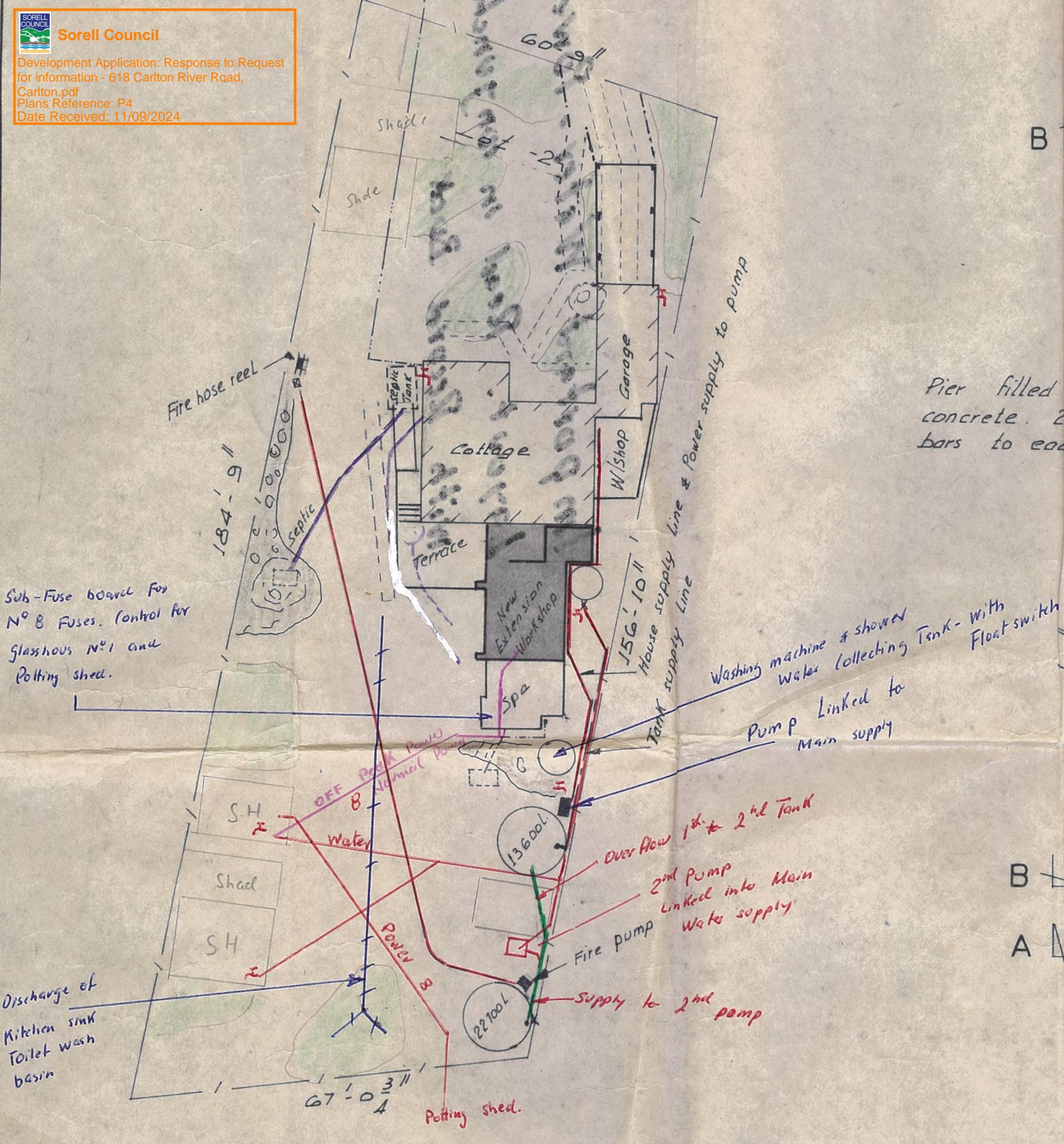
Declarations and acknowledgements	
<ul style="list-style-type: none"> <li>I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.</li> <li>I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council's representatives to enter the land at any time during normal business hours.</li> <li>I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.</li> <li>I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application.</li> <li>I/we declare that the information in this application is true and correct.</li> </ul> <p><i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council's Privacy Policy available on the Council website.</i></p>	
<ul style="list-style-type: none"> <li>I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.</li> </ul>	
<ul style="list-style-type: none"> <li>Where the General Manager's consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent.</li> </ul>	
<b>Applicant Signature:</b>	Signature: ..... Date: <u>9/9/2024</u>

Crown or General Manager Land Owner Consent	
<p>If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>).</p> <p>Please note:</p> <ul style="list-style-type: none"> <li>If General Manager consent is required, please first complete the General Manager consent application form available on our website <a href="http://www.sorell.tas.gov.au">www.sorell.tas.gov.au</a></li> <li>If the application involves Crown land you will also need a letter of consent.</li> <li>Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.</li> </ul>	
<p>I _____ being responsible for the administration of land at _____</p> <p>declare that I have given permission for the making of this application for</p> <p>_____</p>	
<b>Signature of General Manager, Minister or Delegate:</b>	Signature: ..... Date: .....

← To Lewisham

Carlton River Road

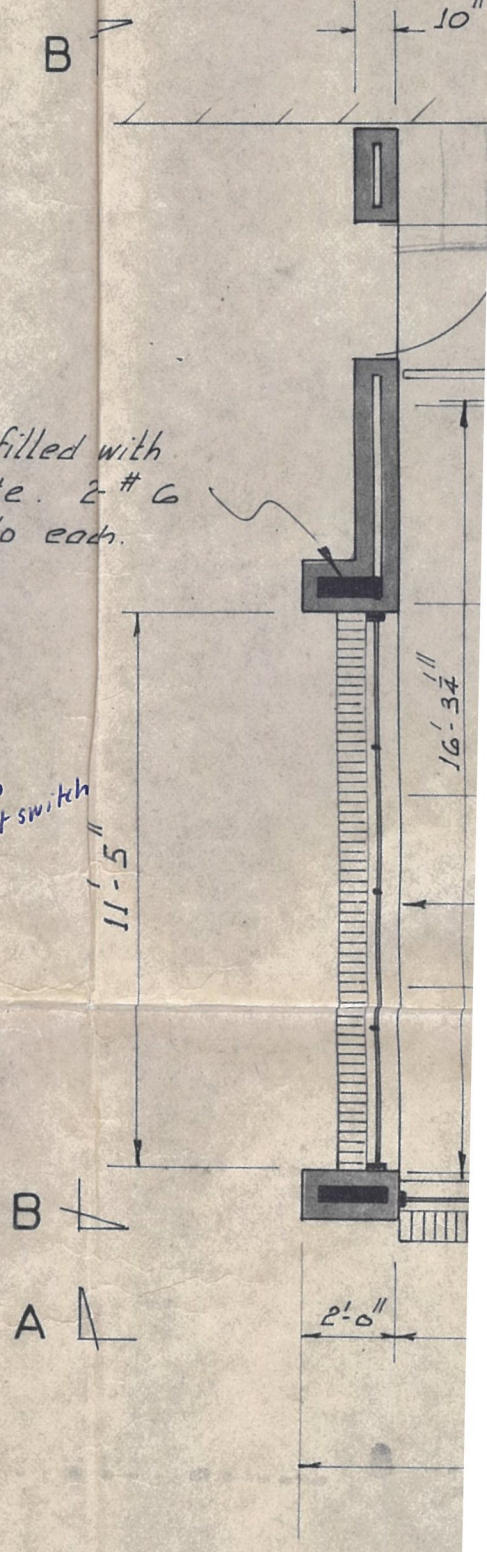
**Sorell Council**  
 Development Application: Response to Request for information - 618 Carlton River Road, Carlton.pdf  
 Plans Reference: P4  
 Date Received: 11/09/2024



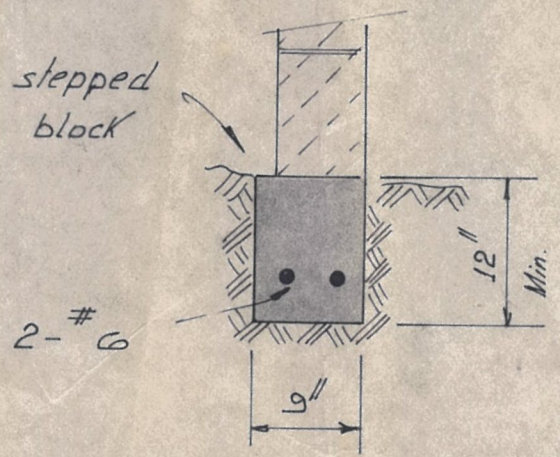
**LOCATION PLAN**

Provided shower 2" P.P.

Pier filled with concrete. 2 # 6 bars to each.



Footing stepped to suit block module

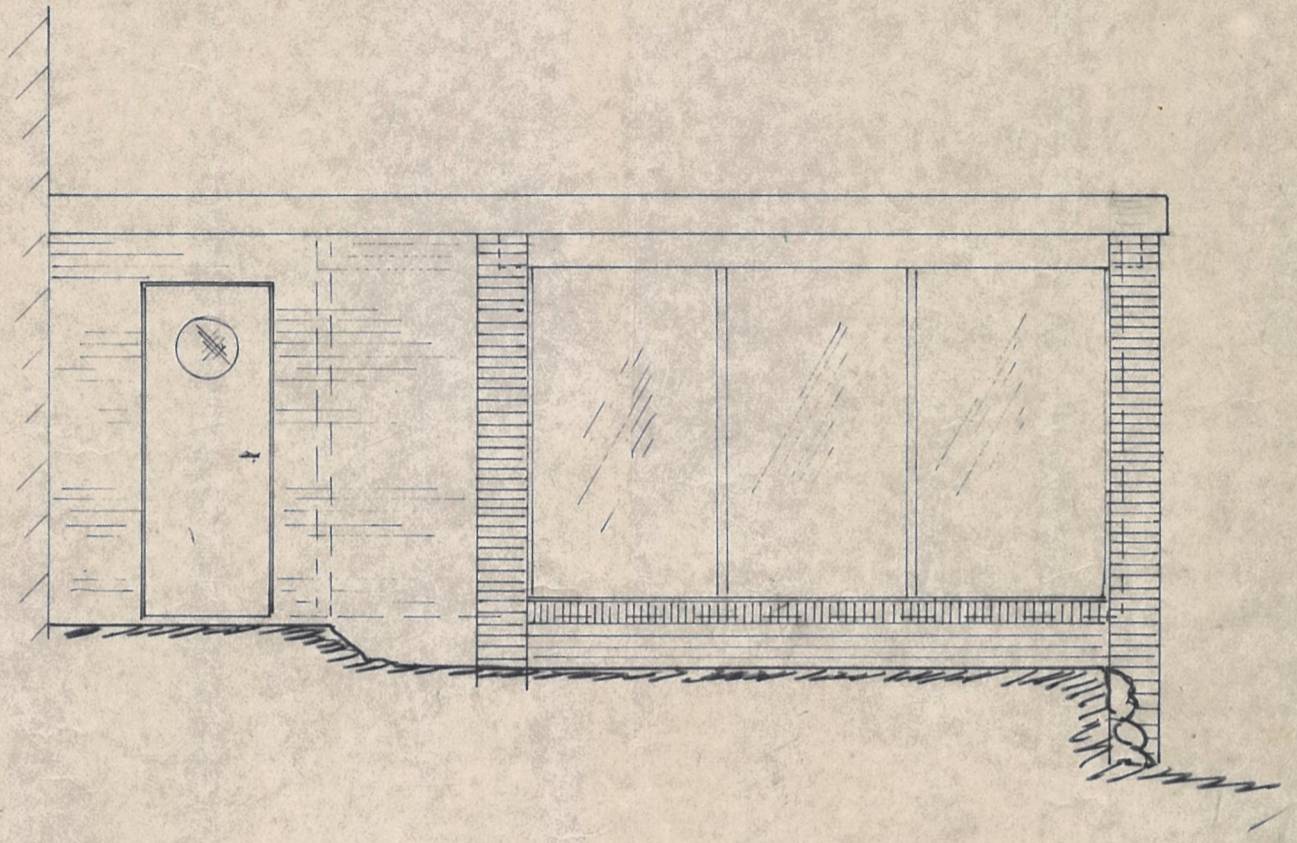
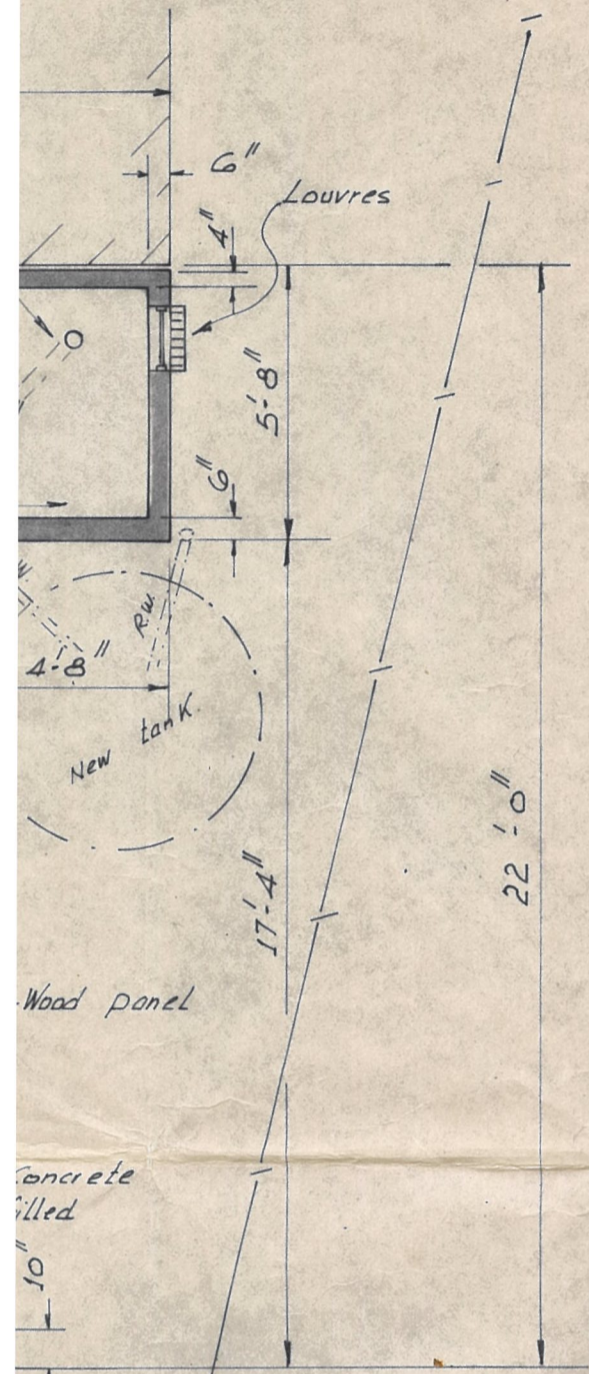


**TYPICAL FOOTING**

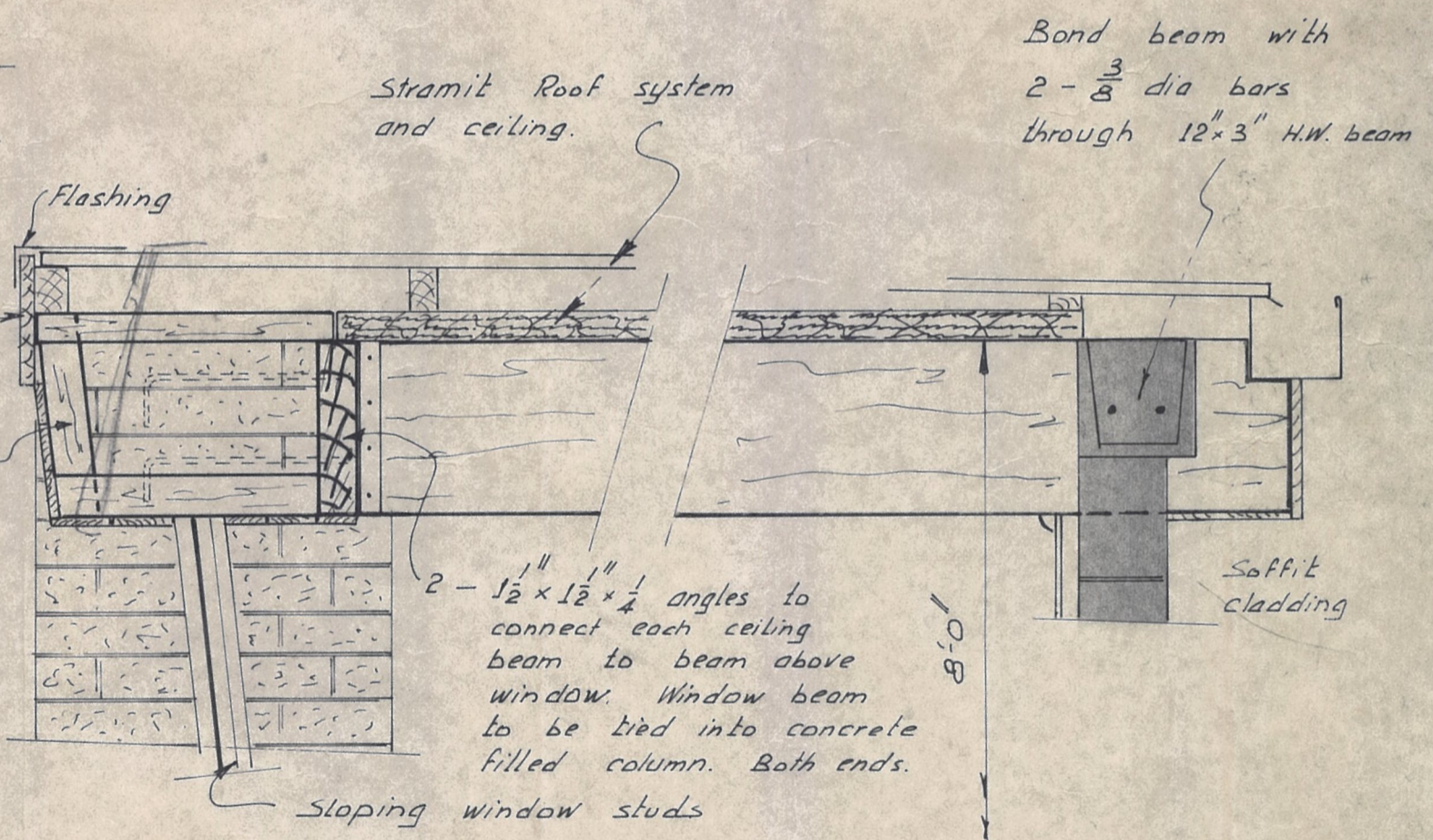
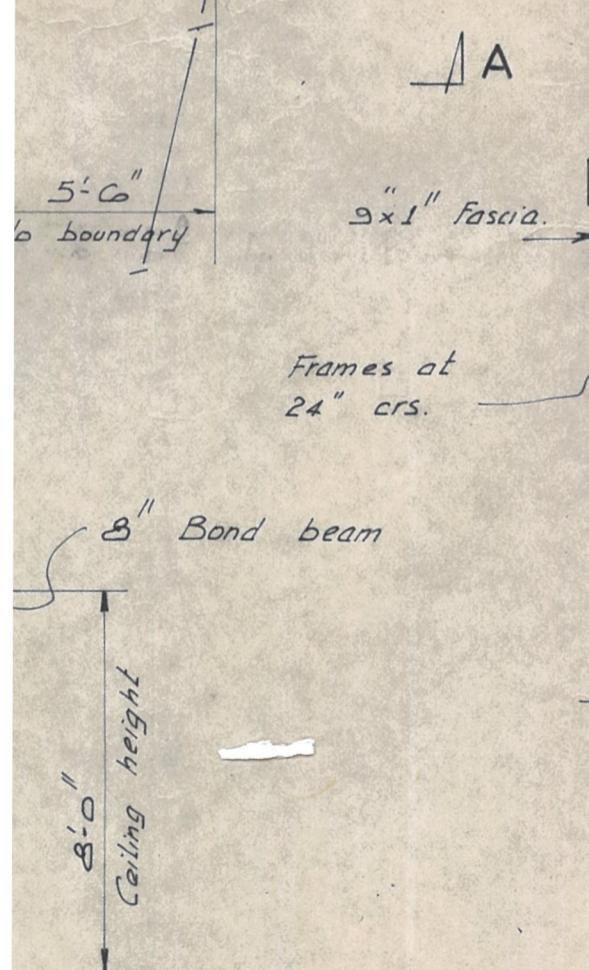
1" - 1'-0"

General construction:

1. Floor: T & G Hardwood - 4x2 joist at 18" crs.  
6x3 bearers at 6'-0" crs. on 8" piers
2. Walls: 10" Splitrock cavity - (View A-A and B-B)  
6" Blockwall with wood paneling other external wall  
4" Blockwall - internally.
3. Ceiling and Roof: 'Stramit' ceiling and 'SpeedeK'



VIEW B-B  
1/4" = 1'-0"

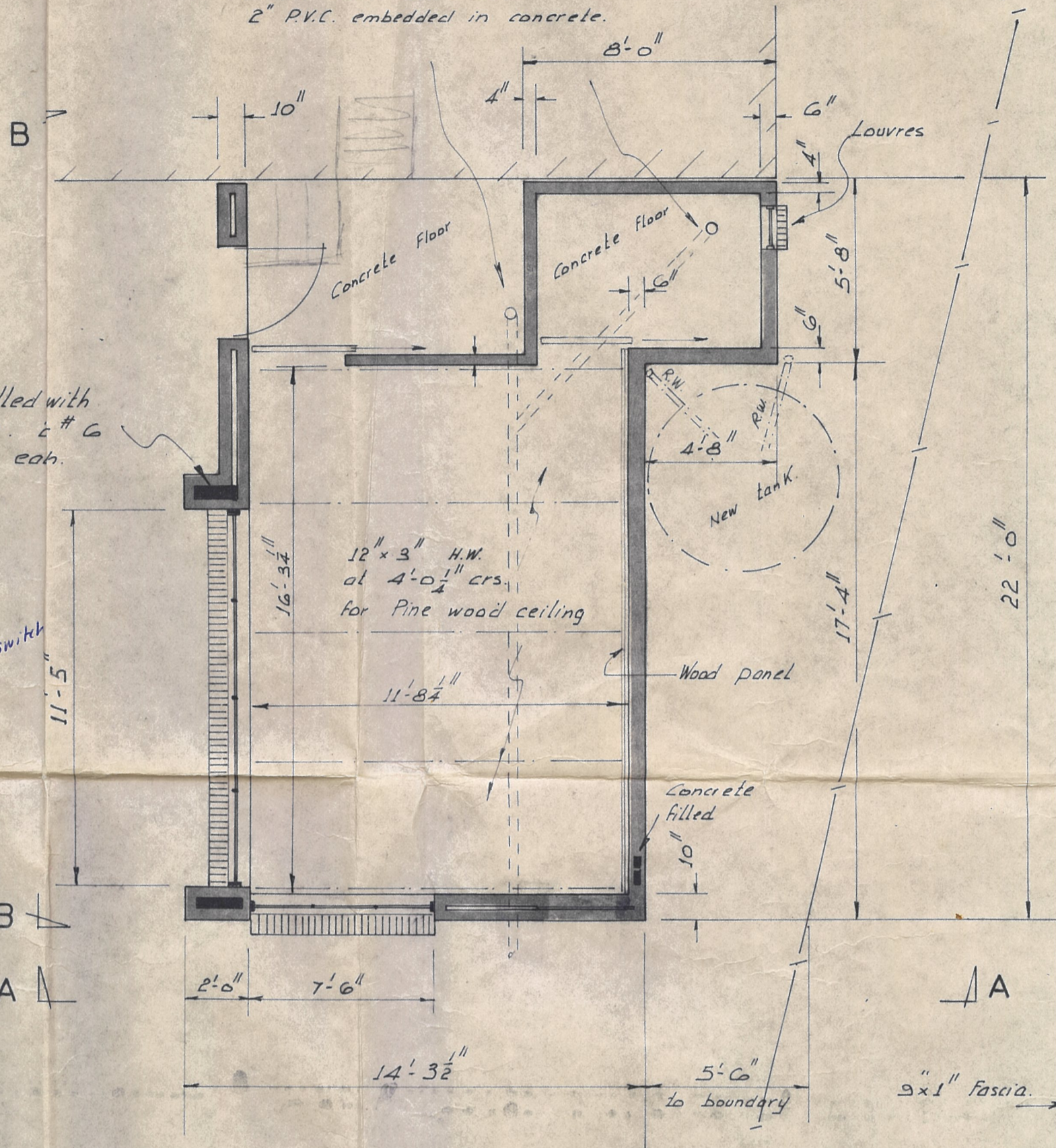


CROSS SECTION AT CEILING - ROOF LEVEL  
1" = 1'-0"

M. Bruck

PROPOSED WORKSHOP  
 FOR MR. & MRS. M. BRUCK  
 AT CARLTON RIVER LOT - 2 -

Provision for future shower and hand basin.  
2" P.V.C. embedded in concrete.



Pier filled with concrete. 2 # 6 bars to each.

12" x 3" H.W. at 4'-0 1/4" crs. for Pine wood ceiling

Washing machine & shower water collecting Tank - With Float switch  
Pump linked to Main supply

156'-10" Garage  
House supply line & Power supply to pump  
Tank supply line

Over flow 1" to 2nd Tank  
2nd Pump linked into Main Water supply  
Pump

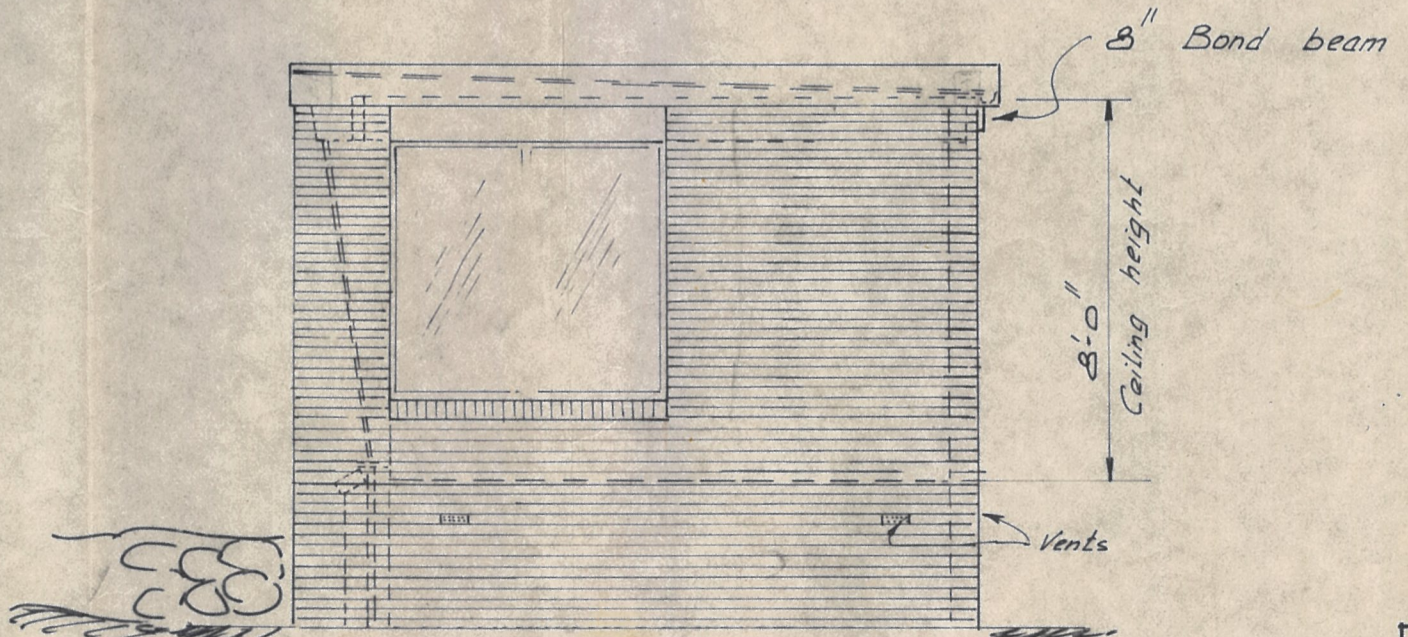
to 2nd pump

**PLAN**

1/4" = 1'-0"

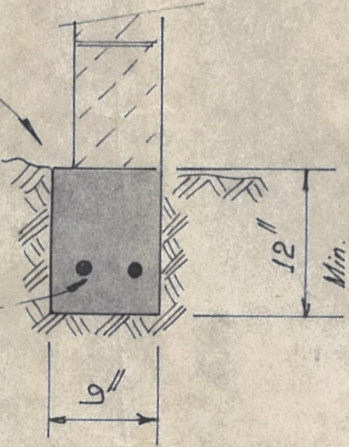
Frames at 24" crs.

**Sorell Council**  
Development Application: Response to Request for information - 618 Carlton River Road, Carlton.pdf  
Plans Reference: P4  
Date Received: 11/09/2024



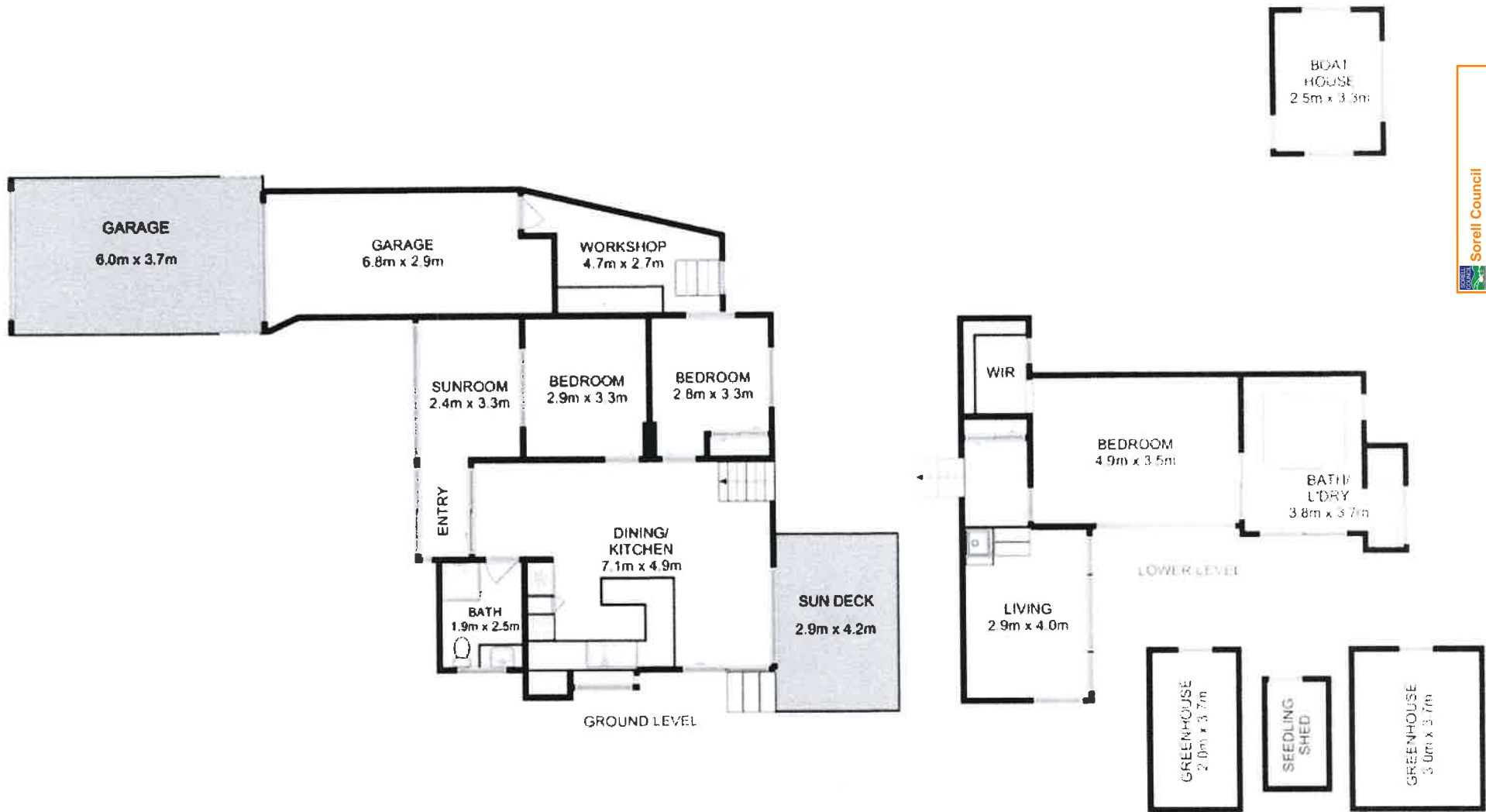
**VIEW A-A**

1/4" = 1'-0"



**CONCRETE FOOTING**

1" = 1'-0"

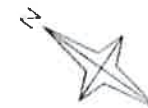


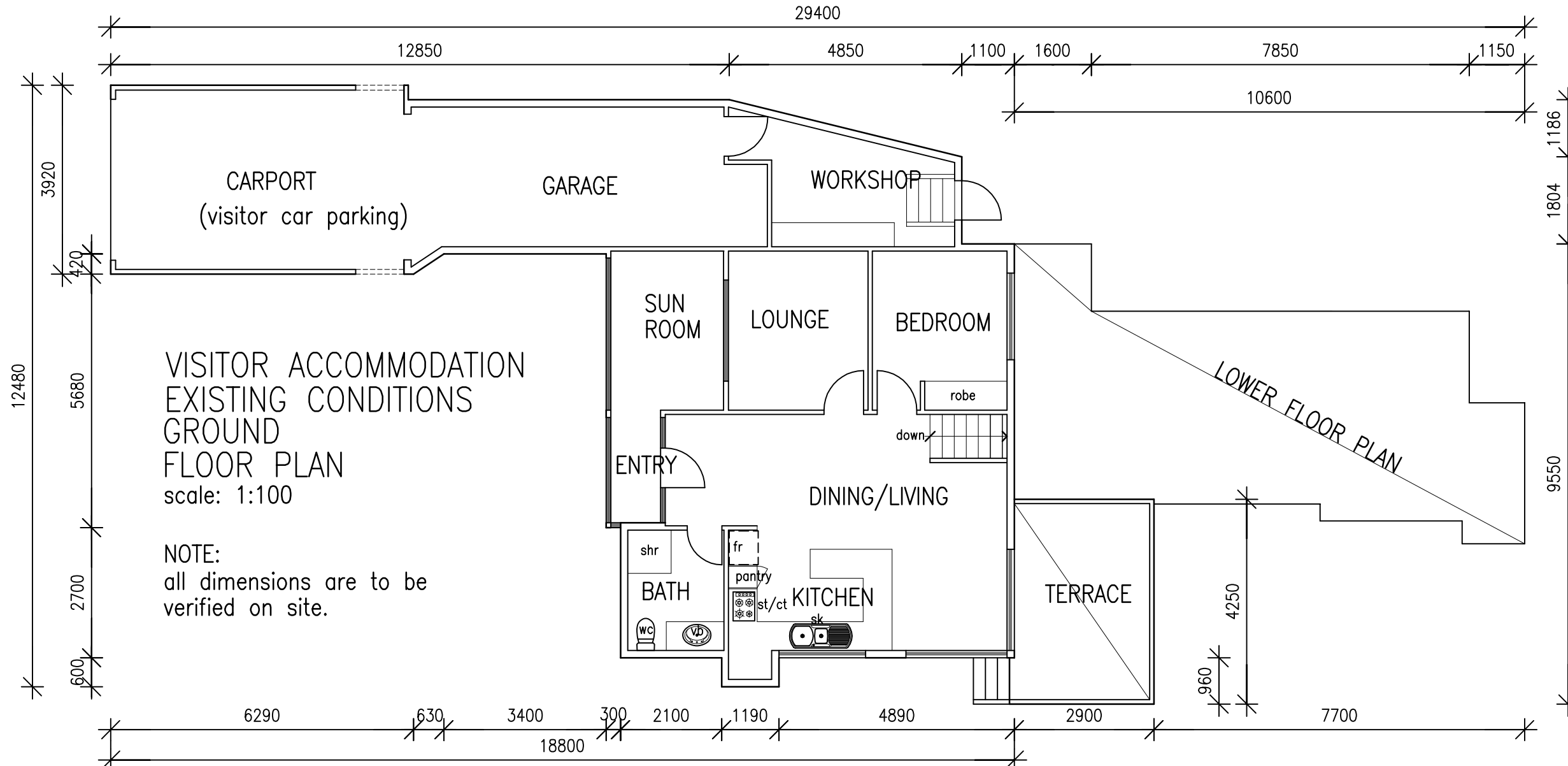
**Sorell Council**  
 Development Application: Development  
 Application - 618 Carlton River Road, Carlton -  
 P5.pdf  
 Plans Reference: P1  
 Date Received: 27/09/2024

Fixtures and fittings are for display only and not to scale.  
 All measurements are internal and approximate.  
 This plan is a sketch for illustration, not valuation.  
 Produced by Open2view.com

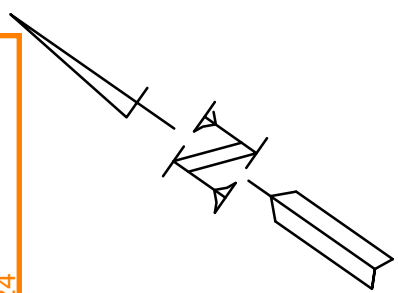


Approx. floor area: 163 sqm  
 Approx outbuilding area: 30 sqm

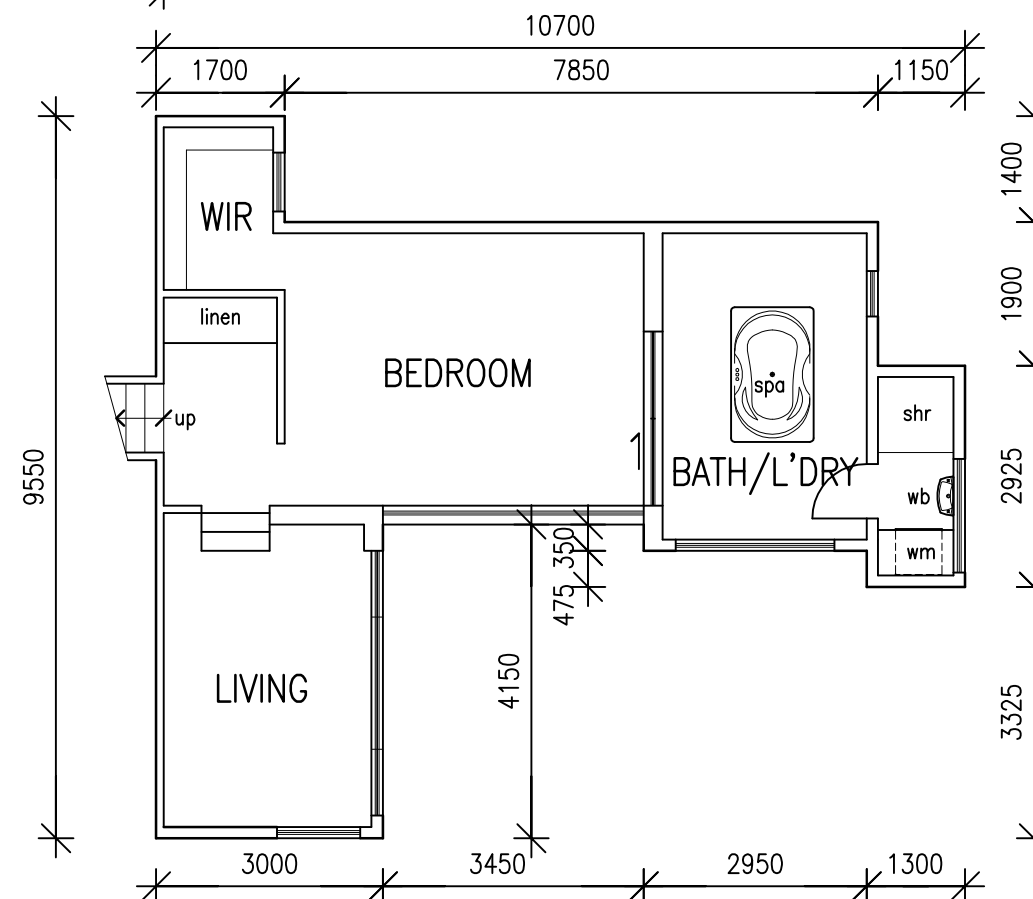




**Sorell Council**  
 Development Application: 5.2024.148.1 -  
 Response to Request for Information - 618  
 Carlton River Road, Carlton River  
 Plans Reference: P6  
 Date Received: 07/11/2024



**VISITOR ACCOMMODATION EXISTING CONDITIONS LOWER FLOOR PLAN**  
scale: 1:100



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# use figure dimensions in preference to scale - all dimensions and levels to be verified on site

AMENDMENTS:



Glen Harris CC. 290'Q'  
 PO Box 243  
 CAIRNS NORTH  
 QUEENSLAND  
 Mob: 0402 867929  
 Email: southeastdesign@iprimus.com.au

client:  
 Jacqueline CHAPPEL  
 project & address:

**VISITOR ACCOMMODATION EXISTING CONDITIONS**  
 © No618 (Lot 2)  
 Carlton River Road,  
 CARLTON

title:  
 FLOOR PLANS

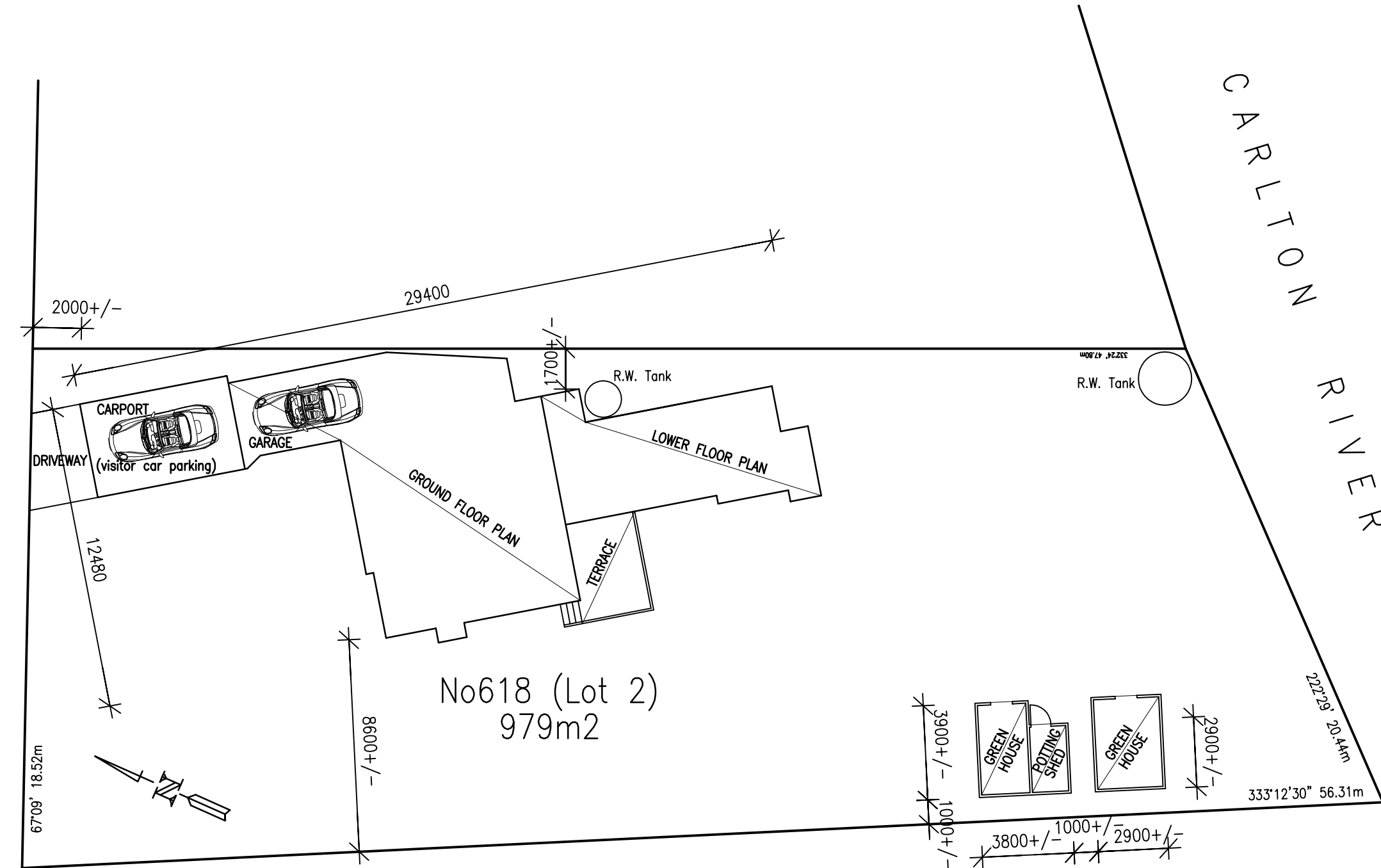
scale: 1:100  
 date: 20/10/2024  
 drawn: GWH  
 job no: 2024-13

drawing no:  
**13-Wd02**



CARLTON RIVER ROAD

CARLTON RIVER



No618 (Lot 2)  
979m<sup>2</sup>

**VISITOR ACCOMMODATION  
EXISTING CONDITIONS  
SITE PLAN**  
scale: 1:100

NOTE:  
all dimensions are to be  
verified on site.

**SITE DETAILS**  
No618(Lot 2) Carlton River Road, CARLTON.  
Registered No D.31119  
Land District of PEMBROKE  
Parish of CARLTON  
Site Area = 979m<sup>2</sup>

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# use figure dimensions in preference to scale – all dimensions and levels to be verified on site

AMENDMENTS:



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Email: southeastdesign@iprimus.com.au

client:  
Jacqueline CHAPPEL

project & address:  
**VISITOR ACCOMMODATION  
EXISTING CONDITIONS  
@ No618 (Lot 2)  
Carlton River Road,  
CARLTON**

title:  
SITE PLAN

scale: 1:200  
date: 20/10/2024  
drawing no: 13-Wd01

drawn: GWH  
job no: 2024-13

**Sorell Council**  
Development Application: 5.2024.148.1 -  
Response to Request for Information - 618  
Carlton River Road, Carlton River  
Plans Reference: P6  
Date Received: 07/11/2024