

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: 59 Midway Point Esplanade, Midway Point

PROPOSED DEVELOPMENT:

ADDITIONS & ALTERATIONS TO DWELLING

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Tuesday 29th October 2024**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Tuesday 29th October 2024**.

APPLICANT: Lyne Design

APPLICATION NO: DA 2024 / 216 - 1

DATE: 10 October 2024

Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use:
	Development:
	<i>Large or complex proposals should be described in a letter or planning report.</i>

Design and construction cost of proposal:	\$
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Is all, or some the work already constructed:	No: <input type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address:
	Suburb: Postcode:
	Certificate of Title(s) Volume: Folio:

Current Use of Site
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Current Owner/s:	Name(s).....
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Is the Property on the Tasmanian Heritage Register?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>

If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form
<https://www.sorell.tas.gov.au/services/engineering/>



Sorell Council
 Development Application: Development Application - 59 Midway Point Esplanade, Midway Point.pdf
 Plans Reference: P1
 Date Received: 10/09/2024

Part B continued: Please note that Part B of this form is publicly exhibited

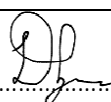
Declarations and acknowledgements

- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.
- I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council’s representatives to enter the land at any time during normal business hours.
- I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.
- I/we declare that, in accordance with s52(1) of the *Land Use Planning and Approvals Act 1993*, that I have notified the owner(s) of the intention to make this application.
- I/we declare that the information in this application is true and correct.

Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council’s Privacy Policy available on the Council website.

- I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.

- Where the General Manager’s consent is also required under s.14 of the *Urban Drainage Act 2013*, by making this application I/we also apply for that consent.

Applicant Signature:	Signature:  Date:
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Crown or General Manager Land Owner Consent

If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the *Land Use Planning and Approvals Act 1993*).

Please note:

- If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au
- If the application involves Crown land you will also need a letter of consent.
- Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.

I _____ being responsible for the administration of land at _____

declare that I have given permission for the making of this application for _____



Sorell Council
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Signature of General Manager, Minister or Delegate:	Signature: Date:
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PLANNING

59 MIDWAY POINT ESPLANADE MIDWAY POINT, TASMANIA, 7171

LUKE JOHNSTON

REV P1 - ISSUE FOR PLANNING APPROVAL 10.09.2024

PLEASE READ CAREFULLY

THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE BUILDING CONTRACT AND I UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE.

FINAL PLAN : ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE

GENERAL INFORMATION:

DESIGNER: DAVID LYNE CC7063
CLIENT: LUKE JOHNSTON
JOB NUMBER: 1559/24
CLASSIFICATION: 1a
TITLE REFERENCE: 163364/14
DESIGN WIND SPEED: 'N3'
SOIL CLASSIFICATION: 'M'
CLIMATE ZONE: 7
BAL: LOW
LOT SIZE: 479m²
EXISTING FLOOR AREA: 196.47m²
PROPOSED NEW FLOOR AREA: 33m²

DRAWING REGISTER:

B00	COVER SHEET	N/A
B01	NOTES SHEET 1	N/A
B02	NOTES SHEET 2	N/A
B03	EXISTING SITE PLAN	1:200
B04	PROPOSED SITE PLAN	1:200
B05	EXISTING GROUND FLOOR PLAN	1:100
B06	EXISTING FIRST FLOOR PLAN	1:100
B07	PROPOSED GROUND FLOOR PLAN	1:100
B08	PROPOSED ROOF PLAN	1:100
B09	ELEVATIONS SHEET	1:100

GENERAL NOTES:

- CHECK ALL DIMENSIONS, BOUNDARIES, EASEMENTS AND SERVICE LOCATIONS ON SITE.
- ALL WORK SHALL COMPLY WITH THE TASMANIAN BUILDING REGULATIONS 2016, AND RELEVANT CURRENT AUSTRALIAN STANDARDS.
- CHECK CAREFULLY ALL ASPECTS OF THESE DOCUMENTS BEFORE COMMENCING WORK.
- ANY ERRORS OR ANOMALIES TO BE REPORTED TO THE DRAWER BEFORE WORK IS CONTINUED.
- CONFIRM ALL SIZES AND HEIGHTS ON SITE. DO NOT SCALE OFF PLAN.
- ALL FRAMING TO COMPLY WITH AS 1684 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION. NOTE: ALL TIMBER SIZES SPECIFIED ARE MINIMUM REQUIREMENT ONLY.
- SUBSTITUTES MAY BE USED AS LONG AS VERIFICATION OF EQUAL PERFORMANCE IS OBTAINED.
- ALL CONSTRUCTION IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARDS.
- WIND LOADS DETERMINED IN ACCORDANCE WITH AS 4055 WIND LOADS FOR HOUSING.
- THESE DOCUMENTS TO BE USED WITH THE DESIGNERS SPECIFICATIONS, SOIL TESTS AND ALL DOCUMENTATION PREPARED BY AN ENGINEER.
- THESE DOCUMENTS ARE INTENDED FOR COUNCIL APPLICATIONS AND NORMAL CONSTRUCTION.
- THIS DESIGN IS COVERED UNDER COPYRIGHT AND ANY CHANGES MUST BE CONFIRMED WITH THE DESIGNER, THE DESIGNER RETAINS ALL INTELLECTUAL PROPERTY.

P1	10.09.2024	PRELIMINARY ISSUE
REV	DATE	REMARK

LYNE DESIGN

BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT
DAVID LYNE ACCREDITED DESIGNER: CC7063
11 GRANVILLE AVENUE
GEILSTON BAY, TASMANIA 7015
MOBILE: 0421 852 987 dave_lyne@hotmail.com

PROJECT
59 MIDWAY POINT ESPLANADE
MIDWAY POINT, TAS 7171

TITLE
COVER SHEET

Accepted LUKE JOHNSTON (Client 1)	Date
Accepted NOT APPLICABLE (Client 2)	Date
Approved NOT APPLICABLE (Builder)	Date

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
N/A	D.LYNE	D.LYNE
	PLOT DATE	10/09/2024

DO NOT SCALE. Use only figured dimensions. Locations of structure, fittings, services etc on this drawing are indicative only. CONTRACTOR to check all other project drawings for co-ordination between structure, fabric, fixtures, fittings, services etc. CONTRACTOR to site check all dimensions and exact locations of all items. no responsibility shall be taken for dimensional information scaled or digitally derived from this document.

PLOT DETAILS ESPLANADE.DWG

PROJECT NO. 1559/24

DWG NO.	REVISION
B00	P1

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NOT FOR CONSTRUCTION

GENERAL:

1. THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. (THIS INCLUDES BUT IS NOT LIMITED TO THE OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, OPERATORS, RENOVATORS, MAINTAINERS AND DEMOLISHERS.
2. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL DESIGN DRAWINGS, ANY OTHER DRAWINGS BY OTHERS, SPECIFICATIONS AND OR REPORTS, AND WITH SUCH OTHER WRITTEN INSTRUCTION THAT MAY BE ISSUED.
3. ALL CONSTRUCTION WORK TO COMPLY WITH THE CURRENT BUILDING CODES AND REGULATIONS OF THE RELEVANT AUSTRALIAN STATE OR TERRITORY.
4. DIMENSIONS ARE EXPRESSED IN MILLIMETERS, UNO. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THESE DRAWINGS. SETTING OUT DIMENSIONS SHALL BE VERIFIED BY LICENCED BUILDER/ SURVEYOR BEFORE COMMENCING WORK. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE OTHER DRAWINGS IS TO BE ADVISED BEFORE PROCEEDING WITH ANY WORK.
5. THE PLANS AND SPECIFICATIONS ARE SUBJECT TO APPROVAL BY THE LOCAL BUILDING AUTHORITY PRIOR TO CONSTRUCTION.
6. THE BUILDING CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, APPROVALS, AND INSPECTIONS AS REQUIRED BY LAW.
7. ALL STRUCTURAL ELEMENTS, INCLUDING FOOTINGS, FOUNDATIONS, WALLS, AND ROOF STRUCTURES, MUST BE DESIGNED BY A QUALIFIED STRUCTURAL ENGINEER AND COMPLY WITH THE APPROPRIATE AUSTRALIAN STANDARDS. REFER TO STRUCTURAL DRAWINGS BEFORE COMMENCING ANY WORKS.
8. THE MATERIALS AND FINISHES SPECIFIED MUST MEET THE REQUIRED AUSTRALIAN STANDARDS AND REGULATIONS FOR FIRE SAFETY, ACOUSTIC PERFORMANCE, ENERGY EFFICIENCY, AND DURABILITY.
9. THE BUILDER SHALL CARRY OUT REGULAR QUALITY INSPECTIONS DURING CONSTRUCTION TO ENSURE COMPLIANCE WITH THE PLANS AND SPECIFICATIONS.
10. THE HOUSE PLANS ARE COPYRIGHT PROTECTED, AND UNAUTHORIZED REPRODUCTION, OR USE WITHOUT THE WRITTEN CONSENT OF THE DESIGNER IS STRICTLY PROHIBITED.
11. THE FINAL COMPLETION OF THE PROJECT SHALL INCLUDE OBTAINING THE NECESSARY OCCUPANCY CERTIFICATE FROM THE LOCAL BUILDING AUTHORITY.

HEALTH AND SAFTEY:

1. THERE ARE A NUMBER OF HAZARDS AND HENCE RISKS WHICH ARE NOT UNIQUE TO THIS PROJECT WHICH NEED TO BE MANAGED DURING THESE PHASES. A REMINDER TO CONSTRUCTORS, OPERATORS, MAINTAINERS AND DEMOLISHERS OF THEIR RESPONSIBILITIES UNDER WORK HEALTH & SAFETY ACTS AND REGULATIONS.
2. FOR ALTERATIONS TO OR DEMOLITION OF A BUILDING CONSTRUCTED PRIOR TO:
1990 - IT MAY CONTAIN ASBESTOS
1986 - IT IS LIKELY TO CONTAIN ASBESTOS EITHER IN CLADDING MATERIAL, OR IN FIRE-RETARDANT INSULATION MATERIAL.
IN EITHER CASE, THE BUILDER SHOULD CHECK, AND IF NECESSARY TAKE APPROPRIATE ACTION BEFORE DEMOLISHING, CUTTING, SANDING, DRILLING OR OTHERWISE DISTURBING THE EXISTING STRUCTURE.
3. MANY OTHER MATERIALS USED IN CONSTRUCTION OF THIS BUILDING SUCH AS (BUT NOT LIMITED TO) POWDERED MATERIALS, TREATED TIMBER, VOLATILE ORGANIC COMPOUNDS, SYNTHETIC MINERAL FIBER, CAN CAUSE HARM IF INHALED ALL PERSONS WORKING ON OR IN THE BUILDING DURING DEMOLITION AND OR CONSTRUCTION SHOULD BE WEARING PERSONAL PROTECTION EQUIPMENT INCLUDING PROTECTION AGAINST INHALATION OF HARMFUL MATERIAL.

SITE PREPARATION AND EXCAVATION:

1. IN ACCORDANCE WITH PART H1D3 OF CURRENT N.C.C., AND TO LOCAL COUNCIL REQUIREMENTS.
2. THE SITE MUST BE PROPERLY PREPARED AND LEVELED BEFORE CONSTRUCTION BEGINS. ANY NECESSARY EARTHWORKS AND SITE PREPARATION ARE THE RESPONSIBILITY OF THE CONTRACTOR.
3. SURFACE DRAINS SHALL BE DESIGNED AND CONSTRUCTED TO AVOID WATER PONDING AGAINST OR NEAR THE FOOTINGS. THE GROUND IN THE IMMEDIATE VICINITY OF THE PERIMETER FOOTINGS, INCLUDING THE GROUND UPHILL FROM A SLAB ON CUT-AND FILL SITES, SHALL BE GRADED TO FALL 50mm MINIMUM OVER A DISTANCE OF 1m AND SHAPED TO PREVENT PONDING OF WATER. WHERE FILL IS PLACED ADJACENT TO THE BUILDING, THE FILL SHALL BE COMPACTED AND GRADED TO ENSURE DRAINAGE OF WATER AWAY FROM THE BUILDING.
4. INTERNAL FINISHED FLOOR LEVEL (FFL) TO BE MIN. 150mm ABOVE FINISHED EXTERNAL GROUND AREAS (FLOWER BEDS OR GRASSED AREAS) AND MIN. 50mm ABOVE FINISHED EXTERNAL SEALED SURFACES (PAVED AREAS). PROVIDE 50mm MIN. FALL FOR THE FIRST METER AWAY FROM BUILDING TOWARDS LOWER GROUND OR ALTERNATIVELY SUFFICIENT DRAINAGE PROVISIONS (AG DRAINS, SUMPS OR SIMILAR).

FOOTINGS & SLABS:

1. CONCRETE FOOTINGS AND SLABS ARE TO BE IN ACCORDANCE WITH PART H1D4 OF CURRENT N.C.C. AND AS 2870.1 AND ENGINEERS DOCUMENTATION/ SPECIFICATIONS.
2. PROVIDE WALL CAVITY DRAINAGE WITH WEEPHOLES AT 960 MAX CENTERS ALONG LINE ABOVE FINISHED GROUND LEVEL. (SLAB AREA).

PLUMBING (SEWER & STORMWATER):

1. ALL PLUMBING WORK SHALL COMPLY WITH THE RELEVANT PLUMBING STANDARDS AND BE CARRIED OUT BY A LICENSED PLUMBER.
2. ADEQUATE PROVISIONS FOR STORMWATER DRAINAGE MUST BE MADE TO PREVENT WATERLOGGING AND FLOODING ON THE PROPERTY. THE DRAINAGE SYSTEM DESIGN SHOULD COMPLY WITH THE LOCAL COUNCIL'S GUIDELINES.

GLAZING:

1. ALL WINDOWS AND GLAZING MUST COMPLY WITH AS2047 AND AS1288 AND PART H1D1 OF CURRENT N.C.C. MANUFACTURER TO PROVIDE CERTIFICATION OF COMPLIANCE.
2. ALL WINDOW MEASUREMENTS SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED ON SITE, PRIOR TO ORDERING.

LIGHT:

1. NATURAL LIGHT TO BE IN ACCORDANCE WITH PART H4P4 OF CURRENT N.C.C.
2. NATURAL LIGHT MUST BE PROVIDED TO ALL HABITABLE ROOMS
3. REQUIRED WINDOWS MUST HAVE A LIGHT TRANSMITTING AREA OF AT LEAST 10% OF THE FLOOR AREA.
4. SANITARY COMPARTMENTS, BATHROOM,LAUNDRIES AND THE LIKE NOT PROVIDED WITH NATURAL LIGHT MUST BE PROVIDED WITH ARTIFICIAL LIGHT AT A RATE OF NOT LESS THAN 1 LIGHT FITTING PER 16m2 OF FLOOR AREA AND IN ACCORDANCE WITH AS/NZS 1680.0

HEATING APPLIANCES:

1. IN ACCORDANCE WITH PART H7D5 OF CURRENT N.C.C AND AS/NZS 2918 FOR DOMESTIC SOLID-FUEL BURNING APPLIANCES.
2. ALL HEATING APPLIANCES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

BUILDING SEALING:

1. IN ACCORDANCE WITH CURRENT N.C.C. CHIMNEYS AND FLUE MUST BE FITTED WITH A DAMPER/FLAP THAT CAN BE CLOSED.
2. ROOFS,WALLS & FLOORS SEALED BY CAULKING,SKIRTING,ARCHITRAVES OR THE LIKE.
3. EXTERNAL WINDOWS AND DOORS TO BE FITTED WITH COMPRESSIBLE STRIP, FOAM, RUBBER OR FIBROUS SEAL TO ALL EXTERNAL WINDOW SASHES AND EXTERNAL DOORS.
4. EXTERNAL FANS TO BE SELF CLOSING DAMPER OR FILTER TO BE FITTED.
5. ALL DOWNLIGHTS TO BE SEALED.

SMOKE ALARMS:

1. SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH PART H3D6 OF CURRENT N.C.C. AND AS3786 REQUIREMENTS.
2. SMOKE ALARMS TO BE INSTALLED IN A CLASS 1a BUILDING ON OR NEAR THE CEILING IN: - ANY STOREY CONTAINING BEDROOMS (i) BETWEEN EACH PART OF THE DWELLING CONTAINING BEDROOMS AND THE REMAINDER OF THE DWELLING; AND (ii) WHRE BEDROOMS ARE SERVED BY A HALLWAY, IN THAT HALLWAY.
3. ALL SMOKE ALARMS MUST BE CONNECTED TO THE CONSUMER MAINS POWER WHERE CONSUMER POWER IS SUPPLIED TO THE BUILDING
4. SMOKE ALARMS TO BE INTERCONNECTED WHERE THERE IS MORE THAN 1 ALARM
5. SMOKE ALARMS TO HAVE BATTERY BACK UP IN CASE OF POWER OUTAGE. RECOMMENDED BATTERIES MUST BE CAPABLE OF SERVICING THE SMOKE ALARM WITH A FAULT FOR 1 YEAR.

ROOF CLADDING, GUTTERING AND DOWNPIPES:

1. IN ACCORDANCE WITH H2D6 OF CURRENT N.C.C., AS/NZS 3500.3 AND AS/NZS 3500.5. SECTION 5 INSTALLATION TO BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
2. WHEREVER FULL SHEETS CAN'T BE UTILIZED PROVIDE THE DISTANCE FOR END LAPPING WHERE SHEETS MEET: - SLOPES 5-15 = A LAP OF 200mm - SLOPES 15 AND GREATER = A LAP OF 150mm.
3. GUTTERS MUST BE INSTALLED WITH A FALL OF NOT LESS THAN - 1:500 FOR EAVES GUTTERS AND 1:100 FOR BOX GUTTERS.
4. DOWNPIPES MUST:
 - a) NOT SERVE MORE THAN 12m OF GUTTER LENGTH FOR EACH DOWNPIPE.
 - b) BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS AND IF THE DOWNPIPE IS MORE THAN 1.2m FROM A VALLEY, PROVISION FOR OVERFLOW MUST BE MADE TO THE GUTTER.

WET AREAS & EXTERNAL WATERPROOFING:

1. IN ACCORDANCE WITH PART H4D2 OF CURRENT N.C.C. AND AS/NZS 3740.
2. BUILDING ELEMENTS IN WET AREAS MUST BE WATERPROOF OR WATER RESISTANT IN ACCORDANCE WITH TABLE UNDER H4D4.
3. WATERPROOFING MEMBRANES FOR EXTERNAL ABOVE GROUND USE MUST COMPLY WITH AS4654 PARTS 1 AND 2.

PLEASE READ CAREFULLY

THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE BUILDING CONTRACT AND I UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE.
FINAL PLAN : ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE



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Development Application: Development Application - 59 Midway Point Esplanade, Midway Point.pdf
Plans Reference: P1
Date Received: 10/09/2024

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LYNE DESIGN

BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT
DAVID LYNE ACCREDITED DESIGNER: CC7063
11 GRANVILLE AVENUE
GEILSTON BAY, TASMANIA 7015
MOBILE: 0421 852 987 dave_lyne@hotmail.com

PROJECT
**59 MIDWAY POINT ESPLANADE
MIDWAY POINT, TAS 7171**

TITLE
NOTES SHEET

Accepted (Client 1)	LUKE JOHNSTON	Date
Accepted (Client 2)	NOT APPLICABLE	Date
Approved (Builder)	NOT APPLICABLE	Date

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
N/A	D. LYNE	D. LYNE
	PLOT DATE	10/09/2024

DO NOT SCALE. Use only figured dimensions. Locations of structure, fittings, services etc on this drawing are indicative only. CONTRACTOR to check all other project drawings for co-ordination between structure, fabric, fixtures, fittings, services etc. CONTRACTOR to site check all dimensions and exact locations of all items. no responsibility shall be taken for dimensional information scaled or digitally derived from this document.

PLOT DETAILS ESPLANADE.DWG

PROJECT NO. **1559/24**

DWG NO.	REVISION
B01	P1

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NOT FOR CONSTRUCTION

STAIR CONSTRUCTION:

1. IN ACCORDANCE WITH PART H5D1 OF CURRENT N.C.C.
2. STAIRS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOW: (a) EACH FLIGHT MUST HAVE NOT MORE THAN 18 NOR LESS THAN 2 RISERS. (b) THE NOMINAL DIMENSION OF GOINGS AND RISERS OF A STAIR MUST BE CONSTANT THROUGHOUT EACH STAIR (c) TREADS MUST BE SOLID CONSTRUCTION IF THE STAIRWAY IS MORE THAN 10m HIGH OR 3 STOREYS. (d) A FLIGHT OF STAIRS MUST NOT HAVE MORE THAN 3 WINDERS (e) THE RISERS MUST NOT ALLOW A 125mm SPHERE TO PASS THROUGH BETWEEN THE TREADS (f) TREADS & NOSINGS MUST HAVE-(i) A SURFACE WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN THAT LISTED IN TABLE UNDER H5D2 WHEN TESTED IN ACCORDANCE WITH AS4586

BARRIERS AND HANDRAILS:

1. IN ACCORDANCE WITH PART H5P1 OF CURRENT N.C.C.
2. (a) A CONTINUOUS BARRIER MUST BE PROVIDED ALONG THE SIDE OF -(i) ANY ROOF TO WHICH GENERAL ACCESS IS PROVIDED; AND (ii) ANY STAIRWAY OR RAMP; AND (iii) A FLOOR, CORRIDOR, HALLWAY, DECK, VERANDAH, MEZZANINE OR THE LIKE; AND (iv) ANY DELINEATED PATH OF ACCESS TO A BUILDING (b) THE REQUIREMENTS OF (a) DO NOT APPLY TO -(i) AREAS REFERRED TO IN H5D2; OR (ii) A RETAINING WALL, UNLESS THE RETAINING WALL FORMS PART OF, OR IS DIRECTLY ASSOCIATED WITH A DELINEATED PATH OF ACCESS TO A BUILDING FROM THE ROAD, OR A DELINEATED PATH OF ACCESS BETWEEN BUILDINGS; OR (iii) A BARRIER PROVIDED TO AN OPENABLE WINDOW COVERED BY H5D2
3. (a) THE HEIGHT OF A BARRIER REQUIRED BY H5D3 MUST BE IN ACCORDANCE WITH THE FOLLOWING: (i) THE HEIGHT MUST NOT BE LESS THAN 865mm ABOVE THE NOSINGS OF THE STAIR TREADS OR THE FLOOR OF A RAMP. (ii) THE HEIGHT MUST NOT BE LESS THAN -(A) 1m ABOVE THE FLOOR OF ANY ACCESS PATH, BALCONY, LANDING OR THE LIKE; OR (B) 865mm ABOVE THE FLOOR OF A LANDING TO A STAIR WHERE THE BARRIER IS PROVIDED ALONG THE INSIDE EDGE OF THE LANDING AND DOES NOT EXCEED A LENGTH OF 500mm (b) OPENINGS IN BARRIERS MUST NOT EXCEED 125mm (c) A BARRIER, EXCEPT A WINDOW SERVING AS A BARRIER, MUST BE DESIGNED TO TAKE LOADING FORCES IN ACCORDANCE WITH AS/NZS 1170.1 (d) FOR FLOORS MORE THAN 4m ABOVE THE SURFACE BENEATH, ANY HORIZONTAL ELEMENTS WITHIN THE BARRIER BETWEEN 150mm AND 760mm ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING. (f) WHERE WIRE BALUSTRAUDING IS USED IT MUST COMPLY WITH PART H5D3.
4. (a) HANDRAILS TO A STAIRWAY OR RAMP MUST -(i) BE LOCATED ALONG AT LEAST 1 SIDE OF THE FLIGHT OR RAMP; AND (ii) BE LOCATED ALONG THE FULL LENGTH OF THE FLIGHT OR RAMP, EXCEPT WHERE IT MEETS A BARRIER (iii) HAVE A TOP SURFACE HANDRAIL HEIGHT OF NOT LESS THAN 865mm VERTICALLY ABOVE THE NOSING OF THE STAIRS.
5. (a) A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION, IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. (b) WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A WINDOW OPENING COVERED BY (a) MUST COMPLY WITH THE FOLLOWING: (i) THE OPENABLE PORTION OF THE WINDOW MUST BE PROTECTED WITH -(A) A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENINGS; OR (B) A SCREEN WITH SECURE FITTINGS (ii) A DEVICE OR SCREEN REQUIRED BY (i) MUST -(A) NOT PERMIT A 125mm SPHERE TO PASS THROUGH THE WINDOW OPENING OR SCREEN; AND (B) RESIST AN OUTWARD HORIZONTAL ACTION OF 250N AGAINST THE -(aa) WINDOW RESTRAINED BY A DEVICE; OR (bb) SCREEN PROTECTING THE OPENING; AND (C) HAVE A CHILD RESISTANT RELEASE MECHANISM IF THE SCREEN OR DEVICE IS ABLE TO BE REMOVED, UNLOCKED OR OVERRIDDEN.

ROOM HEIGHTS:

1. IN ACCORDANCE WITH PART H4D4 OF CURRENT N.C.C.
2. CEILING HEIGHTS MUST NOT BE LESS THAN: (a) IN A HABITABLE ROOM EXCLUDING A KITCHEN - 2.4m (b) IN A KITCHEN - 2.1m (c) IN A CORRIDOR, PASSAGEWAY OR THE LIKE - 2.1m (d) IN A BATHROOM, LAUNDRY, WC, PANTRY, STOREROOM, GARAGE OR THE LIKE - 2.1m (e) IN A ROOM WITH A SLOPING CEILING OR PROJECTIONS BELOW THE CEILING LINE WITHIN: (i) A HABITABLE ROOM -(A) IN AN ATTIC - NOT LESS THAN 2.2m FOR AT LEAST 2/3 OF THE FLOOR AREA OF THE ROOM (B) I OTHER ROOMS - NOT LESS THAN 2.4m OVER 2/3 OF THE FLOOR AREA OF THE ROOM (ii) A NON-HABITABLE ROOM - NOT LESS THAN 2.1m FOR AT LEAST 2/3 OF THE ROOM AREA (f) IN A STAIRWAY, RAMP OR LANDING - 2.0m MEASURE VERTICALLY ABOVE THE NOSING OR SURFACE.

AIR MOVEMENT:

1. IN ACCORDANCE WITH PART H4V3 OF CURRENT N.C.C.

BUSHFIRE PRONE AREAS:

1. IN ACCORDANCE WITH PART H7D4 OF CURRENT N.C.C AND AS3959-2009.
2. AN ASSESSMENT TO DETERMINE THE BAL RATING MUST BE UNDERTAKEN AND ANY REQUIREMENTS FROM THE SUBSEQUENT BAL LEVEL MUST BE APPLIED.
3. A CLASS 1 BUILDING WITHIN A DESIGNATED BUSHFIRE PRONE AREA MUST BE IN ACCORDANCE WITH TAS 3.7.4.1 VEHICULAR ACCESS AND TAS 3.7.4.2 WATER SUPPLY.

VENTILATION:

1. IN ACCORDANCE WITH PART H4P5 OF CURRENT N.C.C.
2. AN EXHAUST FAN OR OTHERS MEANS OF MECHANICAL VENTILATION MAY BE USED TO VENTILATE A SANITARY COMPARTMENT, LAUNDRY OR BATHROOM PROVIDED CONTAMINATED AIR EXHAUSTS-(i) DIRECTLY OUTSIDE THE BUILDING BY WAY OF DUCTS; OR (ii) INTO A ROOF SPACE-(A) IS ADEQUATLY VENTILATED BY OPEN EAVES, AND/OR ROOF VENTS (B) IS COVERED BY ROOF TILES WITHOUT SARKING.
3. SANITARY COMPARTMENTS MUST NOT OPEN DIRECTLY INTO A KITCHEN OR PANTRY UNLESS-(a) ACCESS IS BY AN AIRLOCK, HALLWAY OR OTHER ROOM (b) THE ROOM CONTAINING THE CLOSET PAN IS PROVIDED WITH MECHANICAL EXHAUST.

SOUND INSULATION:

1. IN ACCORDANCE WITH PART H4P6 OF CURRENT N.C.C.

FACILITIES:

1. IN ACCORDANCE WITH PART H4D5 OF CURRENT N.C.C.
2. THE DOOR TO A SANITARY CLOSED COMPARTMENT MUST -(a) OPEN OUTWARDS OR (b) SLIDE OR (c) BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT UNLESS THERE IS A CLEAR SPACE OF 1.2m BETWEEN THE PAN AND THE DOORWAY.

PLEASE READ CAREFULLY

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 FINAL PLAN : ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE

P1	10.09.2024	PRELIMINARY ISSUE
REV	DATE	REMARK

LYNE DESIGN

BUILDING DESIGN/ DRAFTING - BUSHFIRE MANAGEMENT
 DAVID LYNE ACCREDITED DESIGNER: CC7063
 11 GRANVILLE AVENUE
 GEILSTON BAY, TASMANIA 7015
 MOBILE: 0421 852 987 dave_lyne@hotmail.com

PROJECT
59 MIDWAY POINT ESPLANADE
MIDWAY POINT, TAS 7171

TITLE
NOTES SHEET

Accepted (Client 1)	LUKE JOHNSTON	Date
Accepted (Client 2)	NOT APPLICABLE	Date
Approved (Builder)	NOT APPLICABLE	Date

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
N/A	D. LYNE	D. LYNE
	PLOT DATE	10/09/2024

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PLOT DETAILS ESPLANADE.DWG

PROJECT NO. **1559/24**

DWG NO.	REVISION
B02	P1

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 Plans Reference: P1
 Date Received: 10/09/2024

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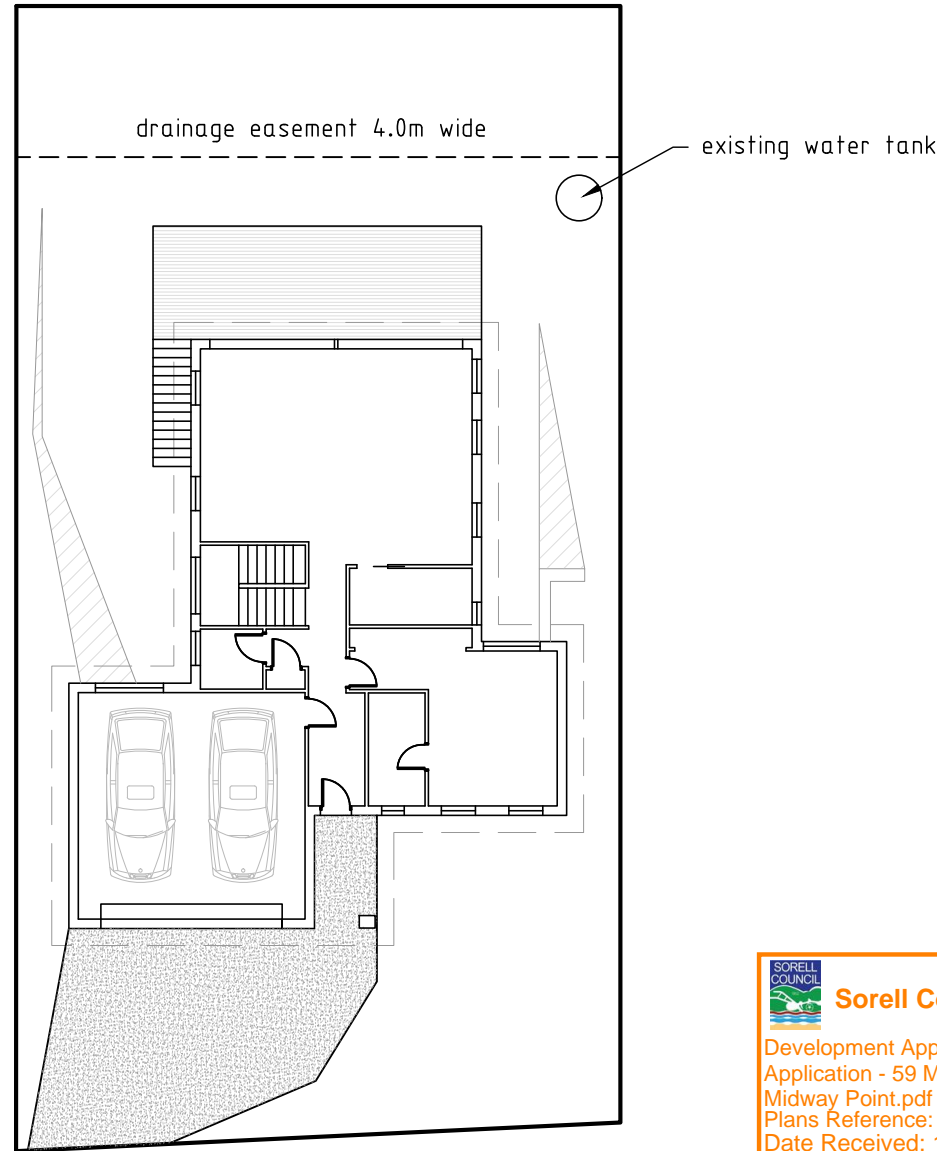
ALL SITE WORKS SHALL BE IN ACCORDANCE WITH N.C.C., CSIRO BTF 18,19,22 AND AS2870
 MINIMAL SITE DISTURBANCE IS TO BE CARRIED OUT.
 SEDIMENT CONTROL; 'GEOLAB' SILT FENCE 1000 OR SIMILAR. TOPSOIL STOCKPILES REMAINING ON THE SITE TO BE COVERED WITH PLASTIC, ADEQUATELY RETAINED ALONG ALL EDGES. UNUSED STOCKPILES TO BE REMOVED FROM SITE OR USED FOR FUTURE LANDSCAPING.

SITE PREPARATION AND EXCAVATION

IN ACCORDANCE WITH PART 3.1 OF CURRENT N.C.C., AND TO LOCAL COUNCIL REQUIREMENTS.

INTERNAL FINISHED FLOOR LEVEL (FFL) TO BE MIN. 150mm ABOVE FINISHED EXTERNAL GROUND AREAS (FLOWER BEDS OR GRASSED AREAS) AND MIN. 50mm ABOVE FINISHED EXTERNAL SEALED SURFACES (PAVED AREAS). PROVIDE 50mm MIN. FALL FOR THE FIRST METER AWAY FROM BUILDING TOWARDS LOWER GROUND OR ALTERNATIVELY SUFFICIENT DRAINAGE PROVISIONS (AG DRAINS, SUMPS OR SIMILAR).

PLEASE READ CAREFULLY
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MIDWAY POINT ESPLANADE

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 Plans Reference: P1
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P1	10.09.2024	PRELIMINARY ISSUE
REV	DATE	REMARK

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 DAVID LYNE ACCREDITED DESIGNER: CC7063
 11 GRANVILLE AVENUE
 GEILSTON BAY, TASMANIA 7015
 MOBILE: 0421 852 987 dave_lyne@hotmail.com

PROJECT
59 MIDWAY POINT ESPLANADE
 MIDWAY POINT, TAS 7171

TITLE
SITE PLAN

Accepted (Client 1)	LUKE JOHNSTON	Date
Accepted (Client 2)	NOT APPLICABLE	Date
Approved (Builder)	NOT APPLICABLE	Date

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
1:200	D.LYNE	D.LYNE
	PLOT DATE	10/09/2024

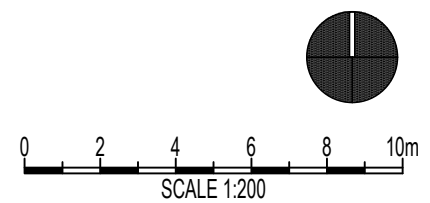
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PLOT DETAILS ESPLANADE.DWG

PROJECT NO. **1559/24**

DWG NO.	REVISION
B03	P1

EXISTING SITE PLAN
 SCALE: 1:200



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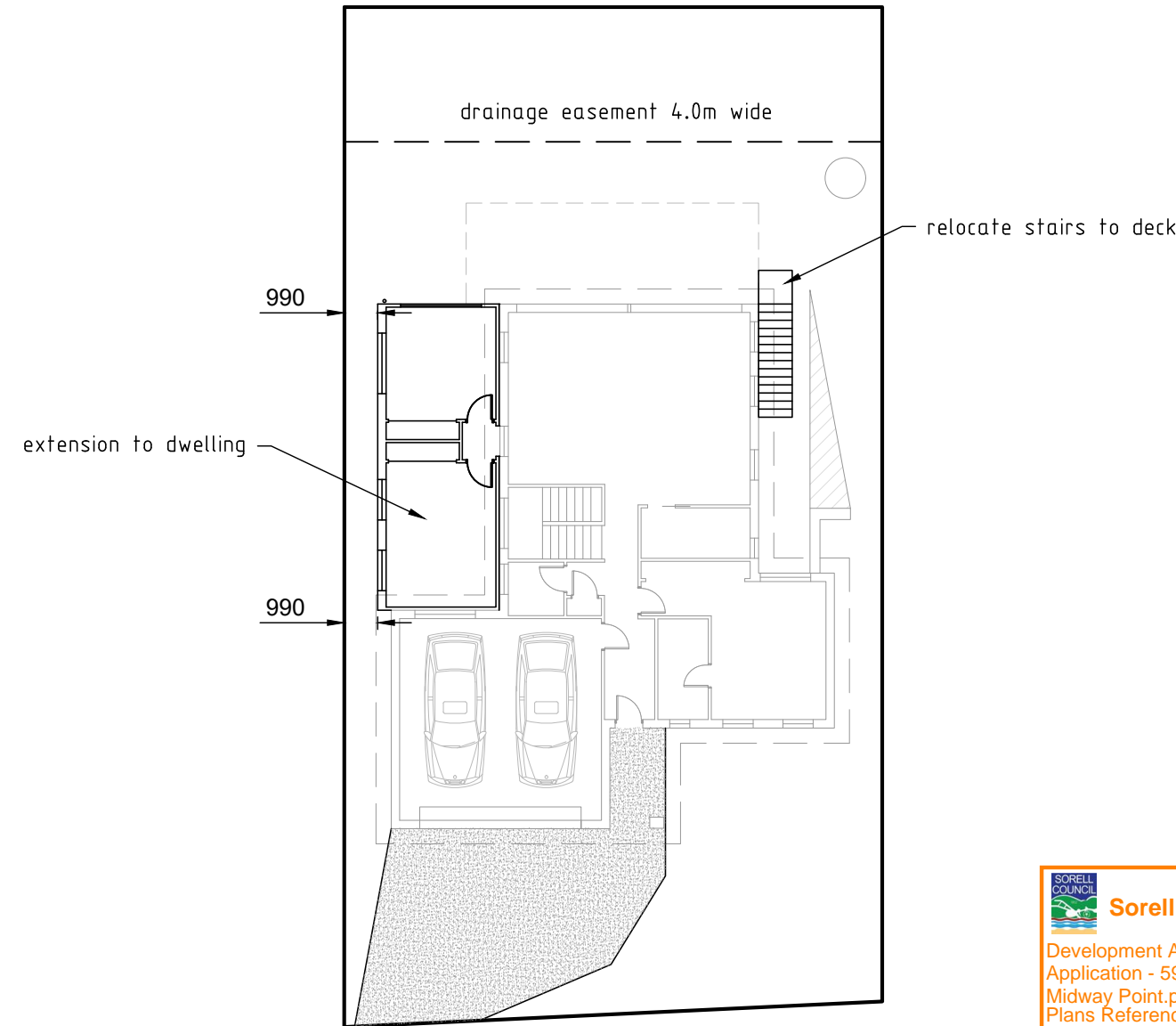
ALL SITE WORKS SHALL BE IN ACCORDANCE WITH N.C.C., CSIRO BTF 18,19,22 AND AS2870 MINIMAL SITE DISTURBANCE IS TO BE CARRIED OUT. SEDIMENT CONTROL; 'GEOLAB' SILT FENCE 1000 OR SIMILAR. TOPSOIL STOCKPILES REMAINING ON THE SITE TO BE COVERED WITH PLASTIC, ADEQUATELY RETAINED ALONG ALL EDGES. UNUSED STOCKPILES TO BE REMOVED FROM SITE OR USED FOR FUTURE LANDSCAPING.

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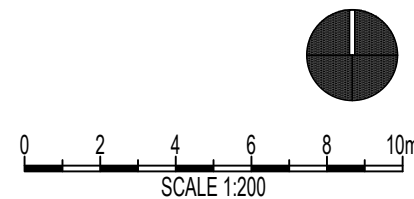
INTERNAL FINISHED FLOOR LEVEL (FFL) TO BE MIN. 150mm ABOVE FINISHED EXTERNAL GROUND AREAS (FLOWER BEDS OR GRASSED AREAS) AND MIN. 50mm ABOVE FINISHED EXTERNAL SEALED SURFACES (PAVED AREAS). PROVIDE 50mm MIN. FALL FOR THE FIRST METER AWAY FROM BUILDING TOWARDS LOWER GROUND OR ALTERNATIVELY SUFFICIENT DRAINAGE PROVISIONS (AG DRAINS, SUMPS OR SIMILAR).

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MIDWAY POINT ESPLANADE

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PROPOSED SITE PLAN
 SCALE: 1:200

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 MOBILE: 0421 852 987 dave_lyne@hotmail.com

PROJECT
59 MIDWAY POINT ESPLANADE
 MIDWAY POINT, TAS 7171

TITLE
SITE PLAN

Accepted (Client 1)	LUKE JOHNSTON	Date
Accepted (Client 2)	NOT APPLICABLE	Date
Approved (Builder)	NOT APPLICABLE	Date

This document must be signed

SCALES @ A3	DESIGNED BY	DRAWN BY
1:200	D.LYNE	D.LYNE
	PLOT DATE	10/09/2024

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PLOT DETAILS ESPLANADE.DWG

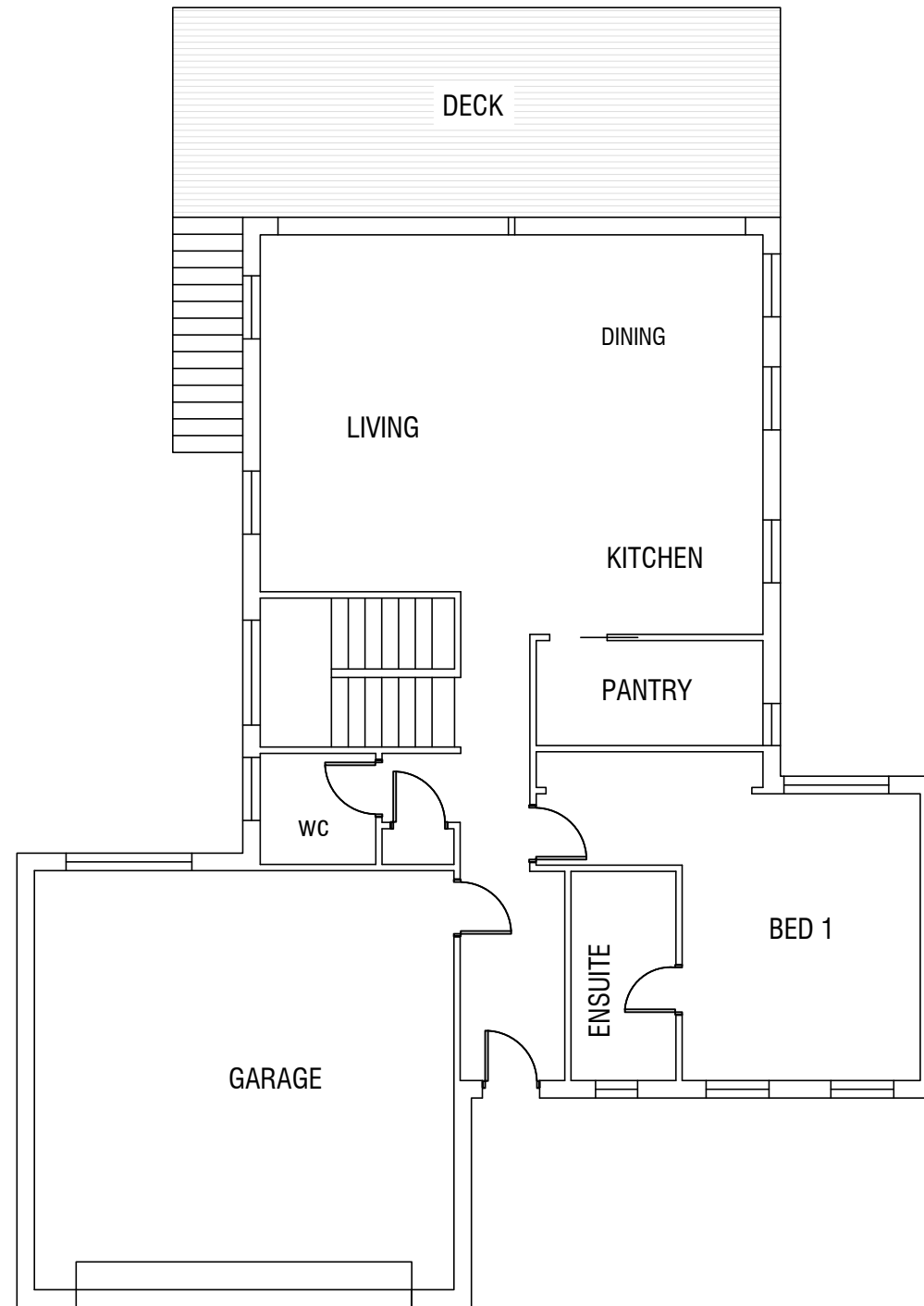
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DWG NO.	REVISION
B04	P1

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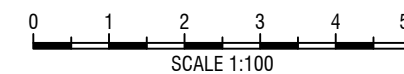
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GROUND FLOOR PLAN - EXISTING
 SCALE: 1:100

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PROJECT
59 MIDWAY POINT ESPLANADE
MIDWAY POINT, TAS 7171

TITLE
FLOOR PLAN

Accepted (Client 1)	LUKE JOHNSTON	Date
Accepted (Client 2)	NOT APPLICABLE	Date
Approved (Builder)	NOT APPLICABLE	Date

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1:100	D.LYNE	D.LYNE
	PLOT DATE	10/09/2024

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PLOT DETAILS ESPLANADE.DWG

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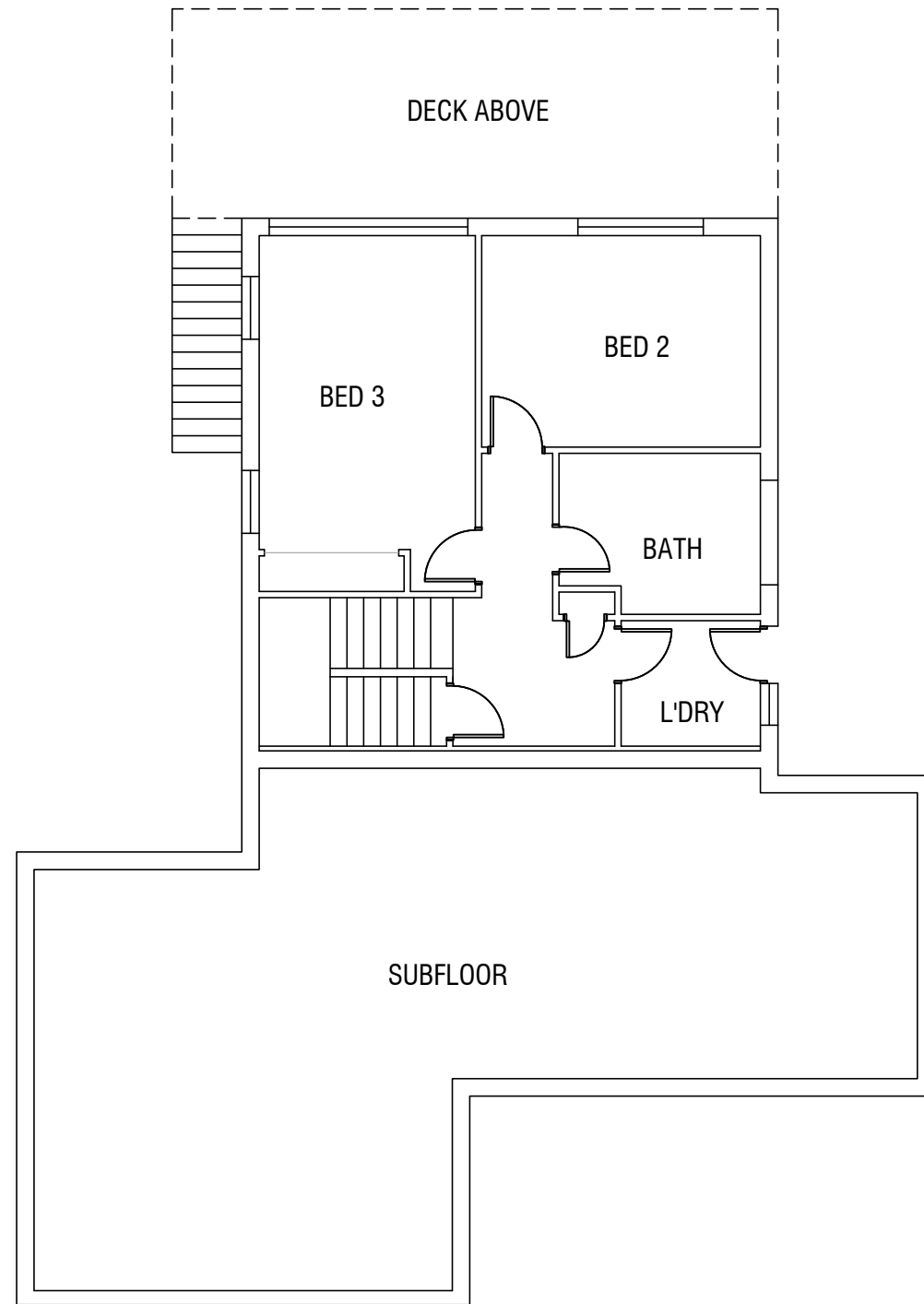
DWG NO.	REVISION
B05	P1

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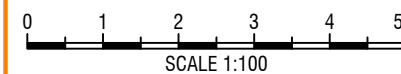
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LOWER GROUND FLOOR PLAN - EXISTING
 SCALE: 1:100

SORELL COUNCIL
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PROJECT
59 MIDWAY POINT ESPLANADE
MIDWAY POINT, TAS 7171

TITLE
FLOOR PLAN

Accepted (Client 1)	LUKE JOHNSTON	Date
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1:100	D.LYNE	D.LYNE
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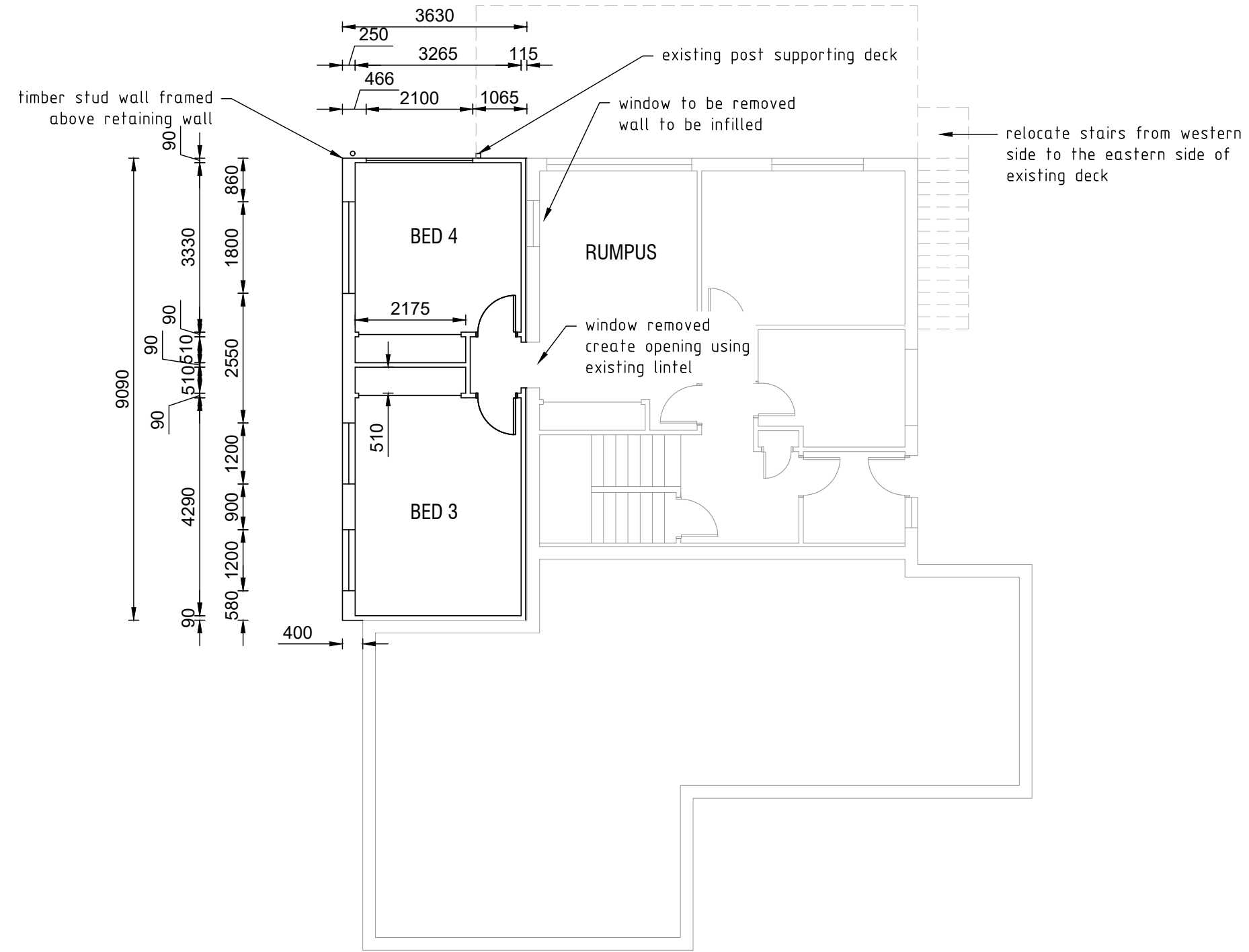
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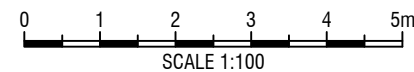
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LOWER GROUND FLOOR PLAN - PROPOSED
 SCALE: 1:100

Sorell Council
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PROJECT
59 MIDWAY POINT ESPLANADE
MIDWAY POINT, TAS 7171

TITLE
PROPOSED FLOOR PLAN

Accepted (Client 1)	LUKE JOHNSTON	Date
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	PLOT DATE	10/09/2024

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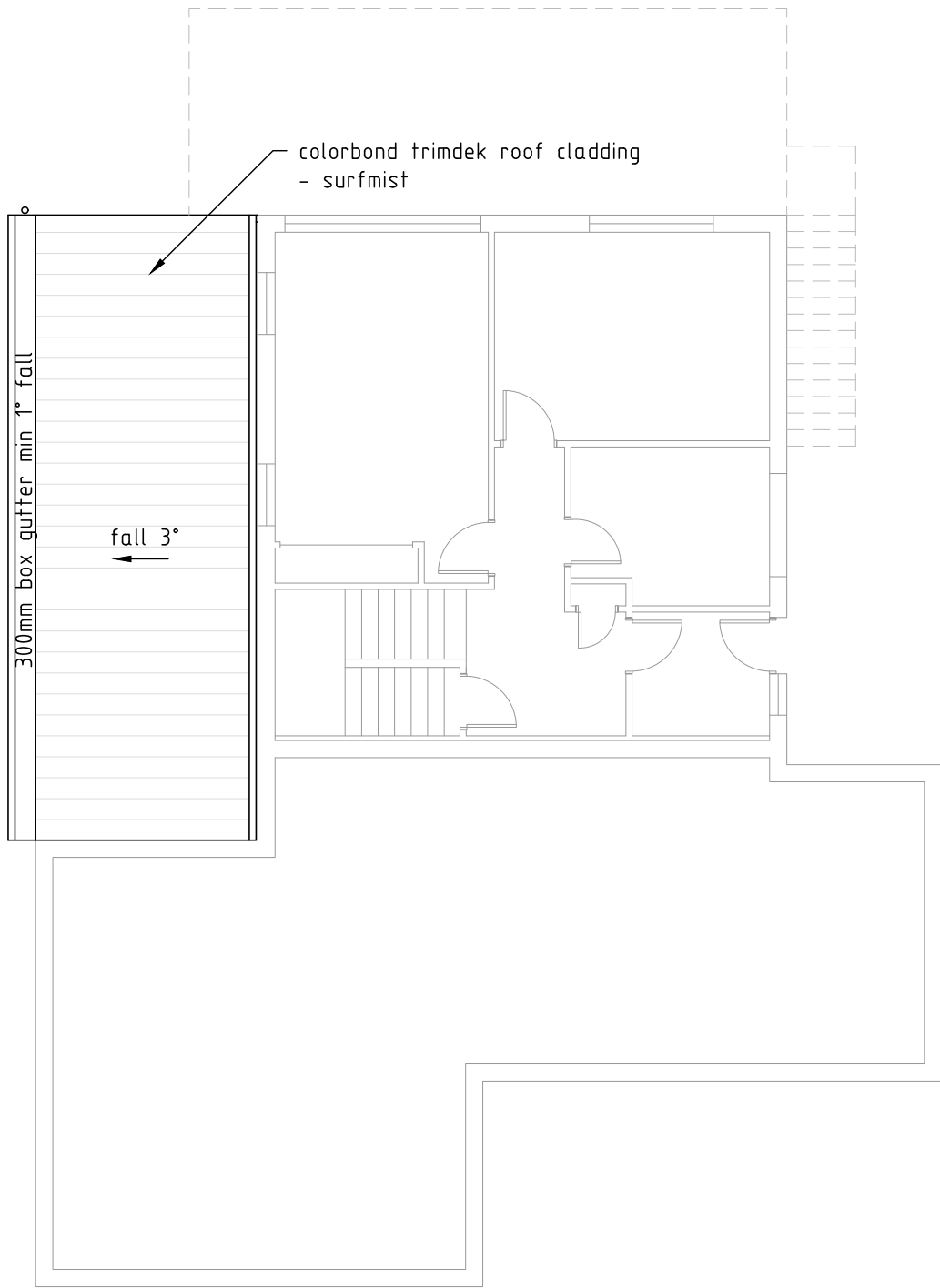
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DWG NO.	REVISION
B07	P1

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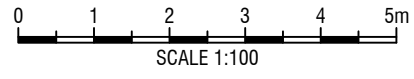
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PROPOSED ROOF PLAN
 SCALE: 1:100

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 Plans Reference: P1
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 11 GRANVILLE AVENUE
 GEILSTON BAY, TASMANIA 7015
 MOBILE: 0421 852 987 dave_lyne@hotmail.com

PROJECT
59 MIDWAY POINT ESPLANADE
 MIDWAY POINT, TAS 7171

TITLE
ROOF PLAN

Accepted (Client 1)	LUKE JOHNSTON	Date
Accepted (Client 2)	NOT APPLICABLE	Date
Approved (Builder)	NOT APPLICABLE	Date

This document must be signed

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1:100	D.LYNE	D.LYNE
	PLOT DATE	10/09/2024

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PLOT DETAILS ESPLANADE.DWG

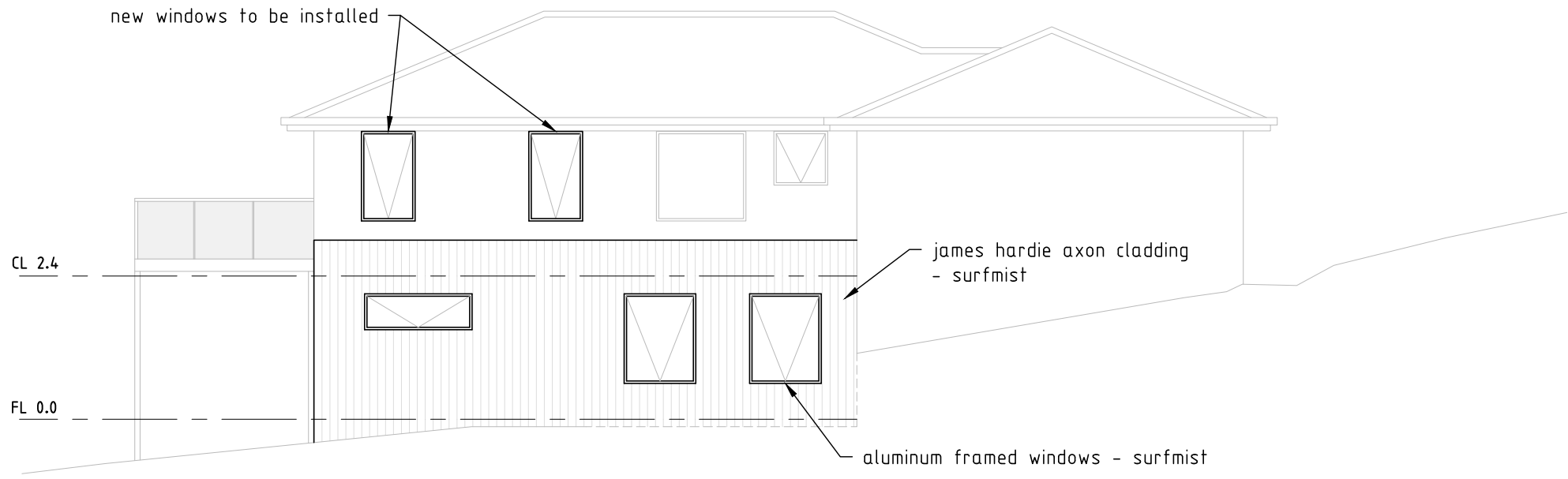
PROJECT NO. **1559/24**

DWG NO.	REVISION
B08	P1

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NORTHERN ELEVATION
 SCALE: 1:100

Sorell Council
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 Date Received: 10/09/2024

REV	DATE	REMARK
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PROJECT
59 MIDWAY POINT ESPLANADE
MIDWAY POINT, TAS 7171

TITLE
ELEVATIONS SHEET

Accepted (Client 1)	LUKE JOHNSTON	Date
Accepted (Client 2)	NOT APPLICABLE	Date
Approved (Builder)	NOT APPLICABLE	Date

SCALES @ A3	DESIGNED BY	DRAWN BY
1:100	D.LYNE	D.LYNE
PLOT DATE		10/09/2024

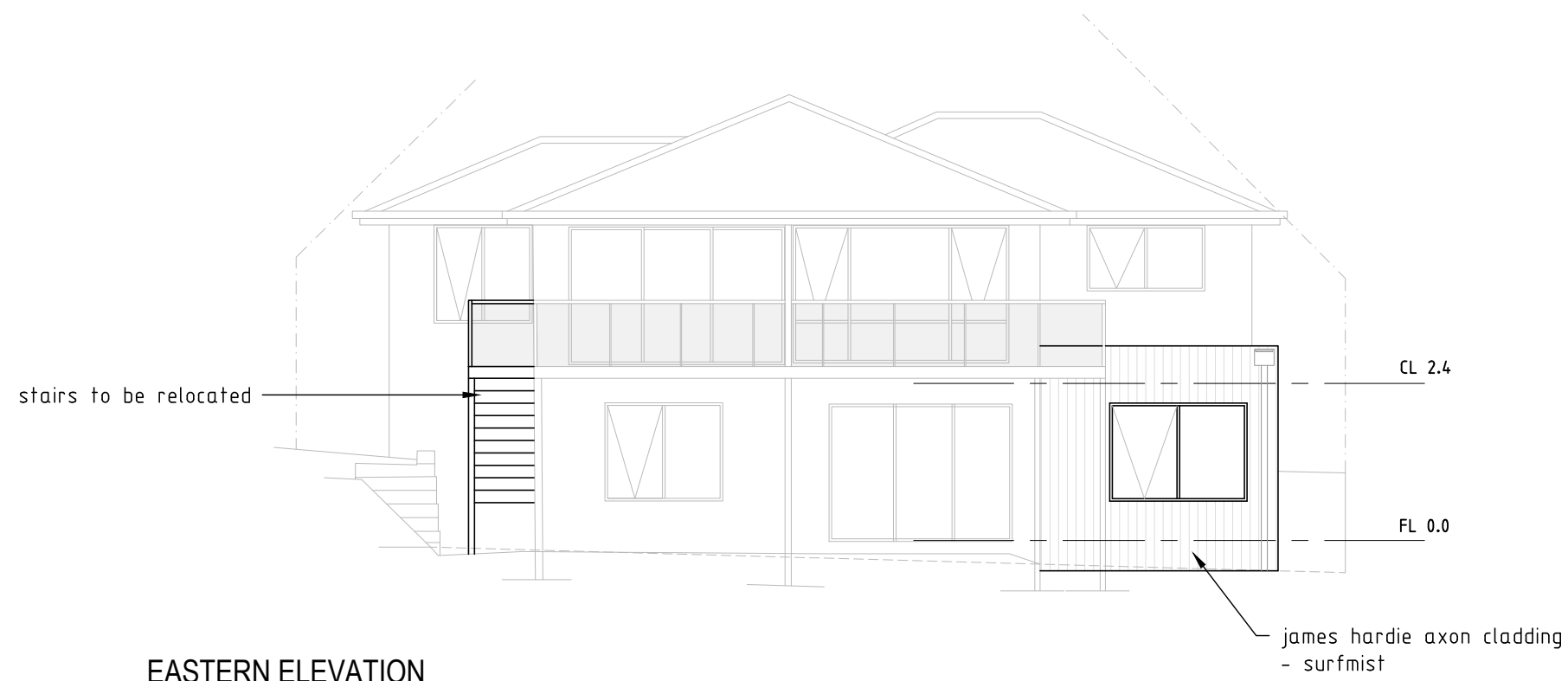
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PLOT DETAILS ESPLANADE.DWG

PROJECT NO. **1559/24**

DWG NO.	REVISION
B09	P1

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EASTERN ELEVATION
 SCALE: 1:100

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