

# NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

**SITE: 22 Oakmont Road, Midway Point**

**PROPOSED DEVELOPMENT:**

**DWELLING**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at [www.sorell.tas.gov.au](http://www.sorell.tas.gov.au) until **Monday 29<sup>th</sup> July 2024**.

Any person may make representation in relation to the proposal by letter or electronic mail ([sorell.council@sorell.tas.gov.au](mailto:sorell.council@sorell.tas.gov.au)) addressed to the General Manager. Representations must be received no later than **Monday 29<sup>th</sup> July 2024**.

**APPLICANT: Sjm Property Developments**

**APPLICATION NO: DA 2024 / 146 - 1**

**DATE: 11 July 2024**

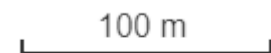


22 Oakmont Road, Midway Point - Representation Close Monday 29th July 2024

11-Jul-2024



Disclaimer: This map is a representation of the information currently held by Sorell Council. While every effort has been made to ensure the accuracy of the product, Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated.





**Part B: Please note that Part B of this form is publicly exhibited.**

Full description of Proposal:	Use: Residential
	Development: New Dwelling
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal:	\$ 500,000

Is all, or some the work already constructed:	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address: 22 Oakmont Road
	Suburb: Midway Point Postcode: 7171
	Certificate of Title(s) Volume: 186229 Folio: 42


Current Use of Site	Vacant
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Current Owner/s:	Name(s) BARNEY SCHUTZ INVESTMENTS PTY LTD ATF BARNEY JOE
------------------	--

Is the Property on the Tasmanian Heritage Register?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>

**If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form**

<https://www.sorell.tas.gov.au/services/engineering/>



**Sorell Council**  
 Development Application: Development  
 Application - 22 Oakmont Road, Midway - P1.pdf  
 Plans Reference:P1  
 Date Received:19/06/2024

**Part B continued: Please note that Part B of this form is publicly exhibited**

**Declarations and acknowledgements**

- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.
- I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council’s representatives to enter the land at any time during normal business hours.
- I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.
- I/we declare that, in accordance with s52(1) of the *Land Use Planning and Approvals Act 1993*, that I have notified the owner(s) of the intention to make this application.
- I/we declare that the information in this application is true and correct.

*Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council’s Privacy Policy available on the Council website.*

- I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.
- Where the General Manager’s consent is also required under s.14 of the *Urban Drainage Act 2013*, by making this application I/we also apply for that consent.

<b>Applicant Signature:</b>	Signature: <u>Amelia Buegen</u> Date: <u>19/6/2024</u>
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**Crown or General Manager Land Owner Consent**

If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the *Land Use Planning and Approvals Act 1993*).


Please note:

- If General Manager consent is required, please first complete the General Manager consent application form available on our website [www.sorell.tas.gov.au](http://www.sorell.tas.gov.au)
- If the application involves Crown land you will also need a letter of consent.
- Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.

N/A being responsible for the

administration of land at \_\_\_\_\_

declare that I have given permission for the making of this application for \_\_\_\_\_



**Sorell Council**

Development Application: Development Application - 22 Oakmont Road, Midway - P1.pdf

Plans Reference: P1

Date Received: 19/06/2024

<b>Signature of General Manager, Minister or Delegate:</b>	Signature: _____ Date: _____
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# BUSHFIRE HAZARD REPORT



Proposed residential dwelling  
22 Oakmont Road  
Midway Point, 7171

Dated 3<sup>rd</sup> March 2024  
Report by David Lyne BFP-144

 **Sorell Council**  
Development Application: Development  
Application - 22 Oakmont Road, Midway - P1.pdf  
Plans Reference:P1  
Date Received:19/06/2024

11 Granville Avenue  
Geilston Bay, 7015  
M: 0421 852 987  
[dave\\_lyne@hotmail.com](mailto:dave_lyne@hotmail.com)

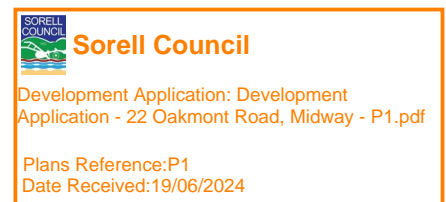
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**Appendix A** – Topographic Map with Cadastral & Contour Overlay - indicates subject site

**Appendix B** – Site photos and designers site plan

**Appendix C** – Bushfire Hazard Management Plan, by David Lyne – certified date 03.03.2024; & Certificate of Others (Form 55) 1477/24



### **1. Introduction**

I have been engaged by SJM Property Developments to prepare a bushfire report and plan for a new residential dwelling in the suburb of Midway Point. The intent of this report is to confirm the suitability of the bushfire prone parcel of land to be successfully developed for the dwelling in accordance with the Directors Determination – bushfire hazard areas v1.1 (the Code).

The assessment describes the site and surrounding area, classifying the vegetation, assessing the slope and environmental features. This report should be included with approval documentation forming part of the certified documentation intended to satisfy the Directors Determination. The body of the report describes the site and assesses the requirements to be implemented to satisfy the requirements of the Directors Determination.



## 2. Limitation of Report

This report has been prepared for the above mentioned clients for their use and distribution only. The intent of the report is to provide supporting documentation for the Development Application (specifically vegetation clearance/maintenance distances) and the Building Application. Should submitted Application Plans differ from the Certified Plans in this report then an amended design review should be conducted to determine the suitability of any amendments in relation to the Bushfire Prone Area Requirements of AS3959-2018.

It is also to be noted that the assessment has been conducted according to the site inspection being conducted in March 2024 and does not take into account the possibility of altered site conditions either naturally occurring or where currently maintained or excluded vegetation conditions change due to a lack of ongoing maintenance.

It should be noted that compliance with the recommendations contained in this assessment does not mean that there is no residual risk to life safety or property as a result of bushfire. A residual level of risk remains which recognizes that removing the risk to life and property in absolute terms is not achievable while people continue to build in bushfire prone areas. This limitation is expressed in the following extract from AS 3959 (2018) which states (in the forward), *It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions.*

This level of residual risk is inherent in all bushfire standards and also applies to this assessment.

## 3. Site Description and Background

22 Oakmont Road Midway Point is an existing land parcel located in the municipality of the Sorell Council. The property is currently low threat vegetation, with neighbouring properties currently low threat vegetation to all directions.

The site has access to a pre-approved public road – Oakmont Road, which links to Penna Road and eventually the Tasman Highway. This allotment is provided with a reticulated hydrant water supply for firefighting.

### 3.1 Property Details

Address: 22 Oakmont Road, Midway Point 7171

Municipality: Sorell Council

Zoned: General Residential

Lot Number: 184510/42

Type of Development: New Residential dwelling

Classified BAL: **BAL-LOW**





Appendix A: Photo 1 – Aerial photo with Cadastral Overlay – Subject site highlighted blue.

### 3.2 Classification of Vegetation

The vegetation affecting the site has been classified in accordance with Clause 2.2.3 of AS 3959-2018. The Bushfire-Prone vegetation affecting the site is predominantly **Grassland – Group G** in accordance with AS3959-2018.

In this case, in accordance with Clause 2.2.2 of AS 3959-2018, the relevant Fire Danger Index for Tasmania of 50 (FDI 50).

When considering the definition of Bushfire Prone Area under the Directors Determination it is evident the proposed dwelling location is within 100 metres of greater than 1 hectare of vegetation classified in accordance with AS 3959-2018 and is therefore considered '*Bushfire Prone*'.

From the proposed dwelling site a 360° survey has been conducted to determine the vegetation type, proximity and slope under the vegetation which is of the highest hazard rating. In this case the **Grassland – Group G** is the highest hazard vegetation surrounding the proposed dwelling.

Note: in a bushfire there is a possibility of fire attack from any direction, not just the direction of the highest hazard.

Photo 1 above indicates the Bushfire Prone Vegetation described. Refer to Appendix B for current conditions as at time of inspection.



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### 3.3 Slope

The Effective slope of the land under the classified vegetation is determined in accordance with Clause 2.2.5 of AS 3959- 2018.

The *effective* slope under the bushfire prone vegetation is generally Upslope/Flatland to the east; downslope 0-5° to the north, south and to the west.

Refer to Appendix A Image for topographic contour information.

## 4. Bushfire Assessment

In accordance with Clause 2.2 of AS 3959-2018, the Simplified Procedure has been applied to determine the Bushfire Attack Level (BAL) for the proposed dwelling site. In accordance with the Directors Determination, fire-fighting water supply and vehicle access are also considered and discussed in relation to the proposed dwelling.

### 4.1 Bushfire Attack Level

Considering the current conditions, in accordance with AS3959-2018 the dwelling site is capable of achieving **BAL-LOW** (the minimum required standard being BAL-29 required by the Directors Determination).

The desired BAL rating to be applied in this instance will be **BAL-LOW**. The vegetation within the Hazard Management Area (HMA) is to be continually managed to a low threat level - as per Clause 2.2.3.2 of AS3959-2018.



Table 1 – Bushfire Attack Level Assessment Summary and Notes

**Property Details**

<b>Applicants Name</b>	SJM Property Developments	<b>Phone</b>	0407 542 974
<b>Municipality</b>	Sorell Council	<b>Zoning</b>	General Residential
<b>Certificate of Title/Lot No.</b>	186229/42	<b>Lot Size</b>	450m <sup>2</sup>
<b>Address</b>	22 Oakmont Road, Midway Point 7171		

**Type of Building Work**

- New Class 1a Buildings
- New Class 10a Building
- New Class 2 Building
- New Class 3 Building
- Alteration/Additions to an existing building



**Sorell Council**

Development Application: Development Application - 22 Oakmont Road, Midway - P1.pdf

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Description of building work: e.g. *single dwelling with attached garage*  
New residential dwelling

**Bush Fire Attack Level (BAL)**

Relevant fire danger index: (see clause 2.2.2)

**FDI 50**

**Assess the vegetation within 100m in all directions (tick relevant group)**

Note 1: Refer to table 2.3 and figures 2.3 & 2.4 for description and classification of vegetation.

Note 2: If there is no classified vegetation within 100m of the site then the BAL is LOW for that part of the site.

Vegetation Classification (See Table 2.3)	North <input checked="" type="checkbox"/>	South <input checked="" type="checkbox"/>	East <input checked="" type="checkbox"/>	West <input checked="" type="checkbox"/>
	North East <input type="checkbox"/>	South-West <input type="checkbox"/>	South-East <input type="checkbox"/>	North-West <input type="checkbox"/>
Group -	Low threat veg.	Low threat veg.	Low threat veg.	Low threat veg.

Exclusions (where applicable)	Circle relevant paragraph descriptor from clause 2.2.3.2			
	(a) (b) (c) (d) <b>(e) (f)</b>	(a) (b) (c) (d) <b>(e) (f)</b>	(a) (b) (c) (d) <b>(e) (f)</b>	(a) (b) (c) (d) <b>(e) (f)</b>

**Distance of the site from classified vegetation (see clause 2.2.4)**

Distance to classified vegetation	Show distances in meters			
	N/A	N/A	N/A	N/A



Effective Slope	Upslope			
Slope under the classified vegetation	Upslope/0°	Upslope/0° X	Upslope/0°	Upslope/0° X
	Downslope			
	>0 to 5° X	>0 to 5° <input type="checkbox"/>	>0 to 5° X	>0 to 5° <input type="checkbox"/>
	>5 to 10° <input type="checkbox"/>	>5 to 10° <input type="checkbox"/>	>5 to 10° <input type="checkbox"/>	>5 to 10° <input type="checkbox"/>
	>10 to 15° <input type="checkbox"/>	>10 to 15° <input type="checkbox"/>	>10 to 15° <input type="checkbox"/>	>10 to 15° <input type="checkbox"/>
	>15 to 20° <input type="checkbox"/>	>15 to 20° <input type="checkbox"/>	>15 to 20° <input type="checkbox"/>	>15 to 20° <input type="checkbox"/>

BAL value for each side of the site	BAL-LOW	BAL-LOW	BAL-LOW	BAL-LOW
Separation to achieve BAL-29	N/A	N/A	N/A	N/A
Separation to achieve BAL-19	N/A	N/A	N/A	N/A
Separation to achieve BAL-12.5	N/A	N/A	N/A	N/A

### Construction Requirements

For this particular development a BAL-LOW rating would suit all directions of this site, construction will be generally compliant with AS3959 -2018 Sections 3 and 4.

#### 4.2 Road / Vehicle Access

The primary access to the lot is from a sealed public road – Oakmont Road, which connects to Penna Road and eventually the Tasman Highway. As there is a hydrant within 120m of the proposed dwelling, there are no requirements to upgrade the driveway and access for firefighting purposes.

#### 4.3 Water supply for firefighting

The proposed development has access to a reticulated water supply suitable for firefighting. There is an existing water hydrant located to the north of the front boundary of the property.

### 5. Conclusion

The site has been classified as **BAL-LOW** as per the assessment processes outlined in AS3959-2018. The separation distances shown above are the areas to be maintained and kept in a way to reduce the fuel loads present in order to achieve lower BAL ratings. For this particular site and for where the proposed building is to be constructed, a **BAL-LOW** rating is easily achieved and would suit all directions of the site.

### 6. References

- Directors Determination – Bushfire hazard areas v1.1
- LIST map version. Aerial Photograph [online]. Available from: <http://www.thelist.tas.gov.au/listmap/listmap>

- Standards Australia 2018, *Construction of buildings in bushfire prone areas*, AS 3959-2018.



**Statement**

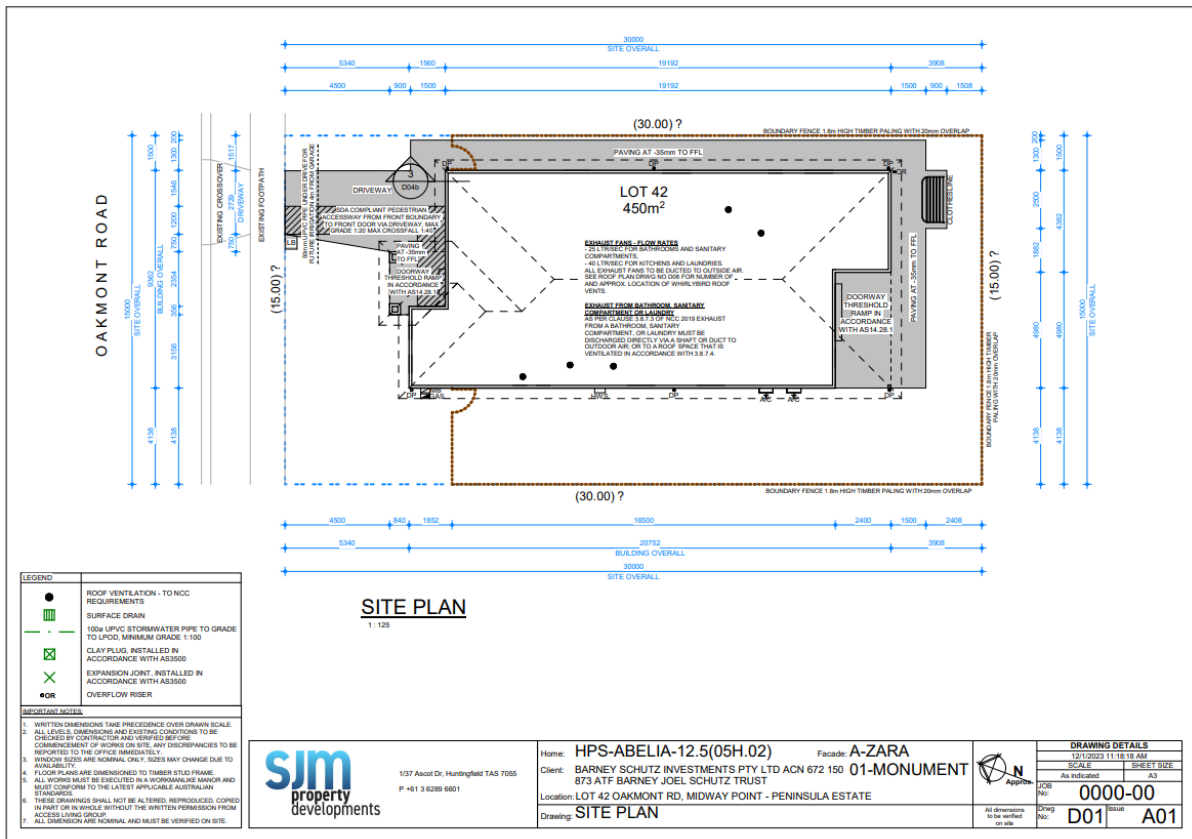
I have taken all reasonable steps to ensure that the information provided in this assessment is accurate and reflects the conditions on and around the site and allotment on the date of this assessment.

It should be noted that this report does not take into account the possibility of altered site conditions either naturally occurring or where currently maintained or excluded vegetation conditions change due to lack of ongoing maintenance. Compliance with the recommendations contained in this assessment does not mean that there is no residual risk to safety of life or property as a result of bushfire.

Signed: ..... 

Date: 03/03/2024.....

**Appendix B – Site photos and designers site plan**



 **Sorell Council**

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Plans Reference:P1  
 Date Received:19/06/2024






Looking North



Looking South


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Looking East



Looking West

 **Sorell Council**  
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**HAZARD MANAGEMENT AREAS - HMA**

Hazard Management Area includes the area to protect the Building as well as the access and water supplies. The entirety of this allotment should be treated as HMA.

Vegetation in the Hazard Management area is to be managed and maintained in a minimum fuel condition.

The HMA is determined from the unmanaged vegetation on neighbouring allotments, and should the level of the unmanaged vegetation increase the BHMP and HMA should be reviewed to determine the ongoing suitability of the BHMP and HMA associated with the development.

**MAINTENANCE SCHEDULE**

- Removal of fallen limbs, leaf and bark litter;
- Cut lawns short (less than 100mm) and maintain;
- Remove pine bark and other garden mulch;
- Complete under-brushing and thin out the under storey;
- Prune low hanging trees to ensure separation from ground litter;
- Prune larger trees to establish and maintain horizontal and vertical canopy separation;
- Maintain storage of petroleum fuels;
- Remove fallen limbs, leaf and bark litter from roofs, gutters and around the building;

**BUSHFIRE PROTECTION MEASURES**

To reduce the risk of bushfire attack, continual maintenance of bushfire protection measures including building maintenance, managed vegetation areas, water supply and road construction are to be undertaken by successive owners for perpetuity.

**WATER SUPPLY**

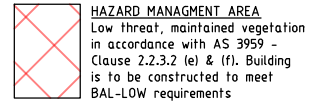
There is an existing fire hydrant within 120m of the most disadvantaged section of the dwelling.

Low-Threat  
Vegetation Exclusion  
2.2.3

PLAN TO BE READ IN CONJUNCTION WITH BUSHFIRE  
ATTACK LEVEL (BAL) REPORT

NOTIFY COUNCIL AND CERTIFYING BUSHFIRE  
PRACTITIONER IF ANY VARIATION IN BUILDING  
SETOUT OR VEGETATION HAZARDS OCCUR

ENSURE THIS PLAN AND ACCOMPANYING REPORT  
DO NOT CONFLICT WITH OTHER RELEVANT  
REPORTS AND ASSESSMENTS



OAKMONT ROAD

proposed dwelling

Low-Threat  
Vegetation Exclusion  
2.2.3

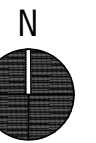
Low-Threat  
Vegetation Exclusion  
2.2.3

LOT 42  
450m<sup>2</sup>

Low-Threat  
Vegetation Exclusion  
2.2.3

Prepared By David Lyne - BFP 144

SJM Property Developments  
22 Oakmont Road, Midway Point  
Tasmania 7171  
Job No: 1477



11 GRANVILLE AVENUE  
GEILSTON BAY, TASMANIA 7015  
PH: 0421 852 987 EMAIL: dave\_lyne@hotmail.com  
Accredited Designer: David Lyne CC7063

**PLEASE READ CAREFULLY**  
THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE  
BUILDING CONTRACT AND I UNDERSTAND CHANGES HEREAFTER MAY  
NOT BE POSSIBLE.

**FINAL PLAN:** ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN  
WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE

**SIGNATURES**

CLIENT: .....DATE: .....

CLIENT: .....DATE: .....

BUILDER:.....DATE: .....

DWG NO: 1477 SHEET: 01

SCALE AT A3: 1:200 DATE: 03.03.2024

DRAWN:DL CHECK: DL REV 0

**Sorell Council**  
Development Application: Development  
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SCALE 1:200 **BHMP** SCALE 1:200



SITE PLAN NTS

# CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

To:  Owner /Agent  
 Address  
 Suburb/postcode

Form **55**

## Qualified person details:

Qualified person:   
Address:  Phone No:   
  Fax No:   
Licence No:  Email address:

Qualifications and Insurance details:  (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise:  (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

## Details of work:

Address:  Lot No:   
  Certificate of title No:

The assessable item related to this certificate:  (description of the assessable item being certified)  
 Assessable item includes –  
- a material;  
- a design  
- a form of construction  
- a document  
- testing of a component, building system or plumbing system  
- an inspection, or assessment, performed

## Certificate details:

Certificate type:  (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable items, at any stage, as part of – (tick one)

building work, plumbing work or plumbing installation or demolition work

OR

a building, temporary structure or plumbing installation

In issuing this certificate the following matters are relevant

Documents:

Bushfire Hazard Report – New residential dwelling  
Bushfire Hazard Management Plan

Relevant

- In Accordance with AS3959-2018; and
- the Building Regulations (TAS).

calculations:



References:

- AS3959-2018;
- the Building Regulations (TAS); and
- Building Code of Australia (BCA).

*Substance of Certificate: (what it is that is being certified)*

The above mentioned report concludes that a BAL-LOW rating is achievable and easily maintained for the dwelling on this site

*Scope and/or Limitations*

The assessment has been conducted according to information provided by the designer/client and freely available historical data and does not take into account the possibility of altered site conditions from the data relied upon.

It should be noted compliance with the recommendations contained in the certified documents does not mean that there is no residual risk to life safety and property as a result of bushfire. The limitation is expressed in the following extract from AS3959-2018, which states:

*It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions.*

The level of residual risk is inherent in all bushfire standards and also applies to this certification.

The assessment has been undertaken and certification provided on the understanding that; -

1. The certificate only deals with the potential bushfire risk all other statutory assessments are outside the scope of this report.

2. The report only identifies the size, volume and status of vegetation at the time the site inspection was undertaken and cannot be relied upon for any future development. Impacts of future development and vegetation growth have not been considered.

**I certify the matters described in this certificate.**

Qualified person:

Signed:

Certificate No:

1477/24

Date:

03/03/2024



# **DISPERSIVE SOIL ASSESSMENT**

**22 Oakmont Road**

**Midway Point**

**March 2024**



GEO-ENVIRONMENTAL  
S O L U T I O N S



Disclaimer: The author does not warrant the information contained in this document is free from errors or omissions. The author shall not in any way be liable for any loss, damage or injury suffered by the User consequent upon, or incidental to, the existence of errors in the information.

## Investigation Details

<b>Client:</b>	SJM Property Developments (Aus) Pty Ltd
<b>Site Address:</b>	22 Oakmont Road, Midway Point
<b>Date of Inspection:</b>	28/02/2024
<b>Proposed Works:</b>	New house
<b>Investigation Method:</b>	Geoprobe 540UD - Direct Push
<b>Inspected by:</b>	M. Campbell

## Site Details

<b>Certificate of Title (CT):</b>	186229/42
<b>Title Area:</b>	Approx. 448.9 m <sup>2</sup>
<b>Applicable Planning Overlays:</b>	Bushfire-prone areas, Airport obstacle limitation area
<b>Slope &amp; Aspect:</b>	4° W facing slope
<b>Vegetation:</b>	Grass & Weeds

## Background Information

<b>Geology Map:</b>	MRT
<b>Geological Unit:</b>	Triassic Sandstone
<b>Climate:</b>	Annual rainfall 400mm
<b>Water Connection:</b>	Mains
<b>Sewer Connection:</b>	Serviced-Mains
<b>Testing and Classification:</b>	AS2870:2011, AS1726:2017 & AS4055:2021

## Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

### **Soil Profile Summary**

BH 1 Depth (m)	BH 2 Depth (m)	USCS	Description
0.00-0.20	0.00-0.10	SP	<b>SAND:</b> grey, brown, dry, loose,
0.20-0.80	0.10-0.50	CI	<b>Sandy CLAY:</b> medium plasticity, yellow, brown, slightly moist, stiff,
0.80-0.90	0.50-0.60	GC	<b>Clayey GRAVEL:</b> yellow, brown, dry very dense, refusal

## Site Notes

Soils on the site are developing from Triassic Sandstone. The clay fraction is likely to show moderate ground surface movement.

## Dispersive Soil Assessment

The dispersive soil assessment of the property considers the proposed construction area.

### Potential for dispersive soils

The site has been identified as an area subject to a tunnel erosion hazard according to 'Dispersive Soils and Their Management: Technical Reference Manual'. This is due to the soils present on site that developed from Triassic Sandstone that contain considerable fine sand/silt content and medium plastic clays. Triassic Sandstone in the local area is known to produce soils with an excess of sodium on the soil exchange complex, which can cause soil dispersion. Under some circumstances the presence of dispersive soils can also lead to significant erosion, and in particular tunnel erosion. Based upon field survey of the property, no visible tunnel or gully erosion was identified. However, a soil sampling program was undertaken to identify the presence of dispersive soils in the proposed development areas.

### Soil sampling and testing

Samples were taken at the site for assessment of dispersion. An Emerson (1968) Dispersion test was conducted to determine if these samples were dispersive.



**Sorell Council**

Development Application: Development 2  
Application - 22 Oakmont Road, Midway - P1.pdf

Plans Reference:P1  
Date Received:19/06/2024



The soil samples taken from site were found to be Slightly dispersive (Class 2.1) - Some dispersion (slight milkiness, immediately adjacent to aggregate).

## **Management Recommendations**

A number of site and soil management measures are recommended for development on the site.

The proposed site cut/fill and driveway areas must be managed by:

- Applying a geo-fabric, jute mesh or similar material to the exposed batters of any cutting on site and revegetating the slope
- Applying a surface layer of at least 50mm of suitable crushed rock/gravel to the driveway surface (and any proposed house pad), with adequate compaction to ensure a relatively impervious surface to maintain site surface stability
- Vegetation on any fill batters must be established and maintained, if any bare area of soil on the batter develops then it must be top-dressed with suitable topsoil and additional vegetation planted

The risk of erosion and tunnel erosion associated with construction must be minimized by:

- Any new water, power, or other service trenches within the property must ensure recommendations for dispersive soils are followed:
  - o Where possible trenches to be placed shallow in topsoil and mounded over to achieve the required cover depth
  - o If buried the trench must be backfilled in layers of no more than 200mm with clay with 5% by weight gypsum added (the clay must be sufficiently moist to allow good compaction).
  - o The trench must be finished with at least 150mm depth of non-dispersive suitable topsoil and finished to a level at least 75mm above natural ground to allow for possible settlement
- Vegetation cover must be maintained wherever possible on the property
- Foundations may be placed into the natural soil; however, care must be taken to ensure all exposed soil in the foundation area is compacted and 1Kg/m<sup>2</sup> of gypsum is applied. Excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil with natural soil and gypsum
- All stormwater runoff from the dwelling to be directed to mains connection (all the drains are to be

adequately treated with gypsum)


- Drainage of any site cut must not employ conventional rock drain construction; it must adhere to recommendations for dispersive soils (unless founded entirely in rock)
- All excavation works on site should be monitored for signs of soil dispersion and remedial action taken as required – any excavated fill from the construction area is not recommended for reuse on site in landscaping unless it is appropriately treated with gypsum, compacted, and capped with topsoil

## **Conclusions**

There is a low risk associated with dispersive soils and potential erosion on the site provided the recommendations in this report are adhered to. Efforts should be made to cover all exposed soils on cut/fill batters with topsoil and seeded with well suited pasture species to avoid rainwater, runoff, surface water flows from intercepting exposed subsoils.

A number of site management recommendations have been made in this report and further information can also be found in the publication “Dispersive soils and their management – Technical manual” (DPIWE Tas 2009)

It is recommended that during construction that GES be notified of any variation to the soil conditions as outlined in this report.



Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD  
Environmental and Engineering Soil Scientist

Appendix 1– Soil test results

# Laboratory Test Results

**Sample Submitted By:** A Plummer

**Date Submitted:** 18/03/2024.

**Sample Identification:** 22 Oakmont Road, Midway Point

**Soil to be tested:** Emerson soil dispersion test.

**Result:**

Sample	Texture	Emerson class	Description
Sample	Clay	Class 2:1	Slight dispersion
Sample	Clay	Class 2:1	Slight dispersion

**Some dispersion (slight milkiness, immediately adjacent to aggregate).**

**Sample Tested by:** JP. Cumming  
18/03/2024



**Sorell Council**

Development Application: Development  
Application - 22 Oakmont Road, Midway - P1.pdf

Plans Reference:P1  
Date Received:19/06/2024



## **Disclaimer**

This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organizations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for the use of any part of this report in any other context or for any other purpose by third a party.

## GENERAL NOTES

### BUILDING MEMBRANE

AS PER CLAUSE 3.8.7.2 OF NCC 2019 A PLIABLE BUILDING MEMBRANE TO BE INSTALLED THAT COMPLIES WITH AS/NZS 4200.1 AND MUST BE INSTALLED IN ACCORDANCE WITH AS/NZS 4200.2 AND MUST BE A VAPOUR PERMEABLE MEMBRANE FOR CLIMATE ZONES 6/7/8.

### DOORS - WATER CLOSET

PROVIDE "LIFT-OFF" HINGES TO ALL WC DOORS.

### DOORS - INTERNAL GARAGE

PROVIDE DOOR SEAL AS PER NCC 2019 CLAUSE 3.12.3.3.

### DOWNPIPES - TEMPORARY

TEMPORARY DOWNPIPES TO BE INSTALLED DURING CONSTRUCTION TO PREVENT WATER PONDING NEAR THE SLAB.

### EXHAUST FANS - FLOW RATES

- 25 LTR/SEC FOR BATHROOMS AND SANITARY COMPARTMENTS,  
- 40 LTR/SEC FOR KITCHENS AND LAUNDRIES.  
ALL EXHAUST FANS TO BE DUCTED TO OUTSIDE AIR.  
SEE ROOF PLAN DRWG NO D08 FOR NUMBER OF AND APPROX. LOCATION OF WHIRLYBIRD ROOF VENTS.

### EXHAUST FROM BATHROOM, SANITARY

COMPARTMENT OR LAUNDRY  
AS PER CLAUSE 3.8.7.3 OF NCC 2019 EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED DIRECTLY VIA A SHAFT OR DUCT TO OUTDOOR AIR; OR TO A ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH 3.8.7.4.

### GLAZING

GLAZING TO COMPLY WITH AS1288 & AS2047.

### PLUMBING

- PLUMBING AND DRAINAGE WORKS TO COMPLY WITH AS3500 2021.  
- BACKFLOW PROTECTION VALVE IS REQUIRED TO BE INSTALLED TO SHOWER HOSE ASSEMBLY WHERE SHOWER HOSE CAN REACH THE TOILET BOWL.  
- HOT WATER INSTALLATION SHALL DELIVER HOT WATER TO ALL SANITARY FIXTURES USED FOR PERSONAL HYGIENE AT 50 °C, KITCHEN & LAUNDRY SHALL BE 60 °C TO COMPLY WITH REQUIREMENTS OF AS3500 2021. (TEMPERING VALVES TO BE INSTALLED TO SUIT)

### WATERPROOFING - INTERNAL

PROVIDE INTERIOR WATERPROOFING TO COMPLY WITH AS3740 2021.

### EMERGENCY POWER SOLUTIONS

PROVIDE EMERGENCY POWER SOLUTIONS (I.E. UNINTERRUPTED POWER SUPPLY (UPS)) SHALL BE PROVIDED.

### ASSISTIVE TECHNOLOGY

INTERNET CONNECTION SHALL BE PROVIDED WITH THE ABILITY FOR HIGH INTERNET SPEEDS TO BE MAINTAINED AND STABLE IN NATURE WITH WI-FI COVERAGE THROUGHOUT ALL AREAS OF THE DWELLING

### INTERNAL GARAGE CONSTRUCTION

THE INSIDE OF THE GARAGE IS TO INCLUDE THE FOLLOWING:

A. A 10mm ALUMINIUM ANGLE OR KILN DRIED HARDWOOD TIMBER SILL/THRESHOLD (OR OTHER TYPE OF DURABLE UPSTAND) IS INSTALLED ACCROSS THE PEDESTRIAN DOORWAY BETWEEN THE GARAGE AND THE DWELLING. THE UPSTAND/THRESHOLD IS TO BE SEALED TO THE CONCRETE USING A WATERPROOF SEALANT.

### REFER TO FINAL DRAINAGE PLANS FOR LOCATIONS OF AGRICULTURAL DRAINS AND SILT PITS

### SOIL CLASSIFICATION

CLASS "M"  
AS PER SOIL REPORT PROVIDED BY "GEO-ENVIRONMENTAL SOLUTIONS PTY. LTD. (GES)"  
FILE NO: J10086  
DATED: 20/03/2024

### WIND RATING : N3

### SITE CUT AND BATTER

SITE CUT AND FILL TO BE MINIMUM 1.2m FROM DWELLING BOUNDARY AND BATTERED AT NO MORE THAN 45 DEGREES SITE CUTS/FILLING WORKS NOT SUPPORTED BY RETAINING WALLS SHALL BE FINISHED WITH A BATTER OF 45 DEGREES AND AN AGRICULTURAL DRAIN AT THE BASE OR A SPOON DRAIN AT THE END OF ANY FUTURE PAVING EXTERNAL WALL FOOTINGS SHALL NOT BE FOUNDED AT GREATER DEPTHS THAN THE ADJOINING BUILDING FOOTINGS. STOP WORKS AND CONTACT THE OFFICE IMMEDIATELY IF THE ABOVE CANNOT BE ACHIEVED.

### STORMWATER DRAIN

CONSTRUCT & DISCHARGE 100 DIA. P.V.C STORM WATER DRAIN TO LEGAL POINT OF DISCHARGE AS DIRECTED BY THE RELEVANT AUTHORITY. MIN FALL 1:100 PROVIDE INSPECTION OPENINGS AT 9000 MAX CTRS OR AT EVERY CHANGE OF DIRECTION. DP DENOTES 100x50 DOWNPIPES AT 12000 MAX CTRS. PROVIDE 100 DIA. SEWERGRADE S.W DRAIN UNDER SLAB AND DRIVEWAY.

### GARDEN TAPS

POSITION OF THE FRONT GARDEN TAP & WATER METER IS BY WATER AUTHORITY, THE FULL COST OF RELOCATION IS AT THE OWNER'S EXPENSE.

### LEVELS

LEVELS SHOWN ARE TO AN ARBITRARY DATUM AND ARE TO BE USED AS A GUIDE ONLY. OWNER/BUILDER TO CHECK AND VERIFY ON SITE PRIOR TO ANY WORK BEING CARRIED OUT. ALL LEVELS ON DRAWINGS ARE NOMINAL AND MAY ALTER DUE TO SITE CONDITIONS UP TO 50mm EITHER WAY.

### GENERAL

- CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND MEASUREMENTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.  
- ALL WORK IS SUBJECT TO INSPECTION AND APPROVAL OF RELEVANT BUILDING SURVEYOR.  
- ALL WORK SHOWN TO BE CARRIED OUT IN GOOD WORKMAN LIKE MANNER IN ACCORDANCE WITH "NATIONAL CONSTRUCTION CODE -2019".  
- NO RESPONSIBILITY IS TAKEN FOR WORK DONE AFTER ACCEPTANCE OF PLANS BY CLIENT.  
- WORK SHOWN TO BE IN ACCORDANCE WITH SPECIFICATIONS/COMPUTATIONS SUPPLIED.

### EXCAVATION

- EXCAVATE FOOTINGS AND DRAINS AS SHOWN. KEEP EXCAVATIONS DRY AND BACKFILL WITH APPROVED MATERIALS FREE OF ANY BUILDING DEBRIS.

## ENERGY RATING

- ALL EXTERNAL DOORS AND WINDOWS TO UTILITY ROOMS (NON-HEATED BATHROOMS, LAUNDRIES; STORAGE ROOMS) TO BE WEATHER-SEALED WITH WEATHER-STRIPPING BETWEEN THE DOOR AND THE FRAME, AND A DRAFT EXCLUDER FITTED AT THE BOTTOM OF THE DOOR TO CREATE A TIGHT SEAL WHEN CLOSED.

- ALL OPENABLE WINDOWS TO HAVE WEATHER-STRIPPING BETWEEN THE FRAME AND THE SASH TO CREATE A TIGHT SEAL WHEN CLOSED.

- ENTRY DOOR TO BE WEATHER-STRIPPED.

- ALL GENERAL BUILDING GAPS AND CRACKS TO BE FILLED.

- ALL REFLECTIVE FOIL TO BE INSTALLED TO MANUFACTURERS RECCOMENDATIONS AND TO RUN CONTIGUOUSLY FROM BOTTOM PLATE TO TOP PLATE WITH ALL GAPS TAPED. ALL RIPS IN FOIL AND PENETRATIONS TO BE RE-TAPED.

- ONLY NON-VENTED DOWNLIGHTS, AND SKYLIGHTS TO BE USED

- EXHAUST FANS TO BE SELF-SEALING, OR FITTED WITH A SELF CLOSING DEVICE TO PROVIDE A SEAL TO UNWANTED VENTILATION.

- R2.5 BATTS TO EXTERNAL WALLS.

- R2.5 BATTS TO GARAGE INTERNAL WALLS.

- R5.0 BATTS TO CEILINGS.

- ALL WINDOWS/SLIDING DOORS ARE TO BE ALUMINIUM FRAMED **DOUBLE GLAZED CLEAR GLASS** WITH A MINIMUM U-VALUE & SHGC AS LISTED IN THE ENERGY REPORT.

## DRAWING REGISTER

NUMBER	DRAWING NAME
D00a	NOTES & DRAWING REGISTER
D00b	WET AREA WATER PROOFING
D01a	SITE PLAN
D01b	SITE EXCAVATION PLAN
D01c	SITE SURVEY PLAN
D02	FLOOR PLAN
D03a	ELEVATIONS A and B
D03b	ELEVATIONS C and D
D03c	ELEVATIONS - NOTES
D04a	SECTIONS
D04b	SECTIONS - TYPICAL
D05	WINDOW & DOOR SCHEDULE
D06a	INTERNAL ELEVATIONS - KITCHEN
D06b	INTERNAL ELEVATIONS - KITCHEN
D06c	INTERNAL ELEVATIONS - KITCHEN
D06d	INTERNAL ELEVATIONS - TYPICAL
D07a	WET AREA ELEVATIONS - WC
D07b	WET AREA ELEVATIONS - WC
D07c	WET AREA ELEVATIONS - ENSUITE 1
D07d	WET AREA ELEVATIONS - ENSUITE 1
D07e	WET AREA ELEVATIONS - ENSUITE 2
D07f	WET AREA ELEVATIONS - ENSUITE 2
D07g	WET AREA ELEVATIONS - LAUNDRY
D08	ROOF PLAN
D09	SLAB PLAN
D10a	SLAB PENETRATION PLAN
D10b	PLUMBING PLAN
D10c	STORMWATER MANAGEMENT PLAN
D11	FLOOR FINISHES PLAN
D12	ELECTRICAL PLAN
D13	SPRINKLER PLAN
D14	LANDSCAPE PLAN

### BUSHFIRE ASSESSMENT

THIS PARCEL IS IN A 'BAL LOW' DESIGNATED BUSHFIRE PRONE AREA. 'NO' BAL REQUIREMENTS.

### IMPORTANT NOTES:

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.
- ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE. ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
- WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
- FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME.
- ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANOR AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS.
- THESE DRAWINGS SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION FROM ACCESS LIVING GROUP.
- ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE.

 **Sorell Council**  
Development Application: Development Application - 22 Oakmont Road, Midway - P1.pdf  
Plans Reference:P1  
Date Received:19/06/2024



1/37 Ascot Dr, Huntingfield TAS 7055

P +61 3 6289 6601

Home: **ABELIA-12.5(05H.02)**

Client: SJM

Location: 22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171

Drawing: **NOTES & DRAWING REGISTER**

Facade: **A-ZARA  
01-MONUMENT**

### DRAWING DETAILS

6/18/2024 1:15:05 PM

SCALE SHEET SIZE  
1 : 100 A3

JOB No: **494N**

All dimensions to be verified on site

Drwg No: **D00a** Issue **A02**

# WET AREA WATER PROOFING

## 10.2.1 WET AREAS

- (1) BUILDING ELEMENTS IN WET AREAS WITHIN A BUILDING MUST BE PROTECTED WITH A WATERPROOFING SYSTEM.
- (2) THE WATER PROOFING SYSTEM IN (1) MUST EITHER BE WATERPROOF OR WATER RESISTANT IN ACCORDANCE WITH 10.2.2 TO 10.2.6.

## 10.2.2 SHOWER AREA (ENCLOSED AND UNENCLOSED)

- (1) FOR A SHOWER AREA WITH A HOB, STEP-DOWN OR LEVEL THRESHOLD, THE FOLLOWING APPLIES:
  - (A) THE FLOOR OF THE SHOWER AREA MUST BE WATERPROOF, INCLUDING ANY HOB OR STEP-DOWN (SEE FIGURE 10.2.2);
  - (B) THE WALLS OF THE SHOWER AREA MUST BE WATERPROOF NOT LESS THAN 1800 mm ABOVE THE FLOOR SUBSTRATE (SEE FIGURE 10.2.2).
  - (C) WALL JUNCTIONS AND JOINTS WITHIN THE SHOWER AREA MUST BE WATERPROOF NOT LESS THAN 40 mm EITHER SIDE OF THE JUNCTION (SEE FIGURE 10.2.2).
  - (D) WALL/FLOOR JUNCTIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF (SEE FIGURE 10.2.2).
  - (E) PENETRATIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF.
    - (2) A SHOWER WITH A PREFORMED SHOWER BASE MUST ALSO COMPLY WITH THE REQUIREMENTS OF (1), EXCEPT FOR (A) WHICH IS NOT APPLICABLE.

## 10.2.3 AREA OUTSIDE SHOWER AREA

- (1) FOR CONCRETE, COMPRESSED FIBRE-CEMENT AND FIBRE-CEMENT SHEET FLOORING, THE FLOOR OF THE ROOM MUST BE WATER RESISTANT.
- (2) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS, THE FLOOR OF THE ROOM MUST BE WATERPROOF.
- (3) WALL/FLOOR JUNCTIONS MUST BE
  - (A) WATER PROOF; AND
  - (B) WHERE A FLASHING IS USED, THE HORIZONTAL LEG MUST BE NOT LESS THAN 40 mm

## 10.2.4 AREAS ADJACENT TO BATHS AND SPAS WITHOUT SHOWERS

- (1) FOR AREAS ADJACENT TO ALL BATHS AND SPAS, THE FOLLOWING APPLIES:
  - (A) FOR CONCRETE, COMPRESSED FIBRE-CEMENT AND FIBRE CEMENT SHEET FLOORING, THE FLOOR OF THE ROOM MUST BE WATER RESISTANT.
  - (B) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS, THE FLOOR OF THE ROOM MUST BE WATERPROOF.
  - (C) TAP AND SPOUT PENETRATIONS MUST BE WATERPROOF WHERE THEY OCCUR IN HORIZONTAL SURFACES.
- (2) FOR AREAS ADJACENT TO NON-FREESTANDING BATHS AND SPAS, THE FOLLOWING APPLIES:
  - (A) WALLS MUST BE WATER RESISTANT (SEE FIGURE 10.2.4A AND FIGURE 10.2.4B)
  - (I) TO A HEIGHT OF NOT LESS THAN 150 mm ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75 mm OF A WALL; AND
  - (II) FOR ALL EXPOSED SURFACES BELOW VESSEL LIP.
  - (B) WALL JUNCTIONS AND JOINTS MUST BE WATER RESISTANT WITHIN 150 mm ABOVE A VESSEL FOR THE EXTENT OF THE VESSEL.
  - (C) WALL/FLOOR JUNCTIONS MUST BE WATERPROOF FOR THE EXTENT OF THE VESSEL (SEE FIGURE 10.2.4A AND FIGURE 10.2.4B).
- (3) FOR INSERTED BATHS AND SPAS, THE FOLLOWING APPLIES:
  - (A) FOR FLOORS AND HORIZONTAL SURFACES: (I) ANY SHELF AREA ADJOINING THE BATH OR SPA MUST BE WATERPROOF AND INCLUDE A WATERSTOP UNDER THE VESSEL LIP.
  - (II) THERE ARE NO REQUIREMENTS FOR THE FLOOR UNDER A BATH OR SPA.
  - (B) FOR WALLS:
    - (I) WATERPROOF TO NOT LESS THAN 150 mm ABOVE THE LIP OF A BATH OR SPA.
    - (II) THERE ARE NO REQUIREMENTS FOR THE FLOOR UNDER A BATH OR SPA.
  - (C) FOR WALL JUNCTIONS AND JOINTS, THE FOLLOWING APPLIES:
    - (I) WATERPROOF JUNCTIONS WITHIN 150 mm OF A BATH OR SPA.
    - (II) THERE ARE NO REQUIREMENTS FOR JUNCTIONS AND JOINTS IN WALLS BENEATH THE LIP OF A BATH OR SPA.
  - (D) TAP AND SPOUT PENETRATIONS MUST BE WATERPROOF WHERE THEY OCCUR IN HORIZONTAL SURFACES.

## 10.2.5 OTHER AREAS

- (1) FOR WALLS ADJOINING OTHER TYPES OF VESSELS (E.G. SINK, BASIN OR LAUNDRY TUB), THE FOLLOWING APPLIES:
  - (A) WALLS MUST BE WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150 mm ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75 mm OF A WALL (SEE FIGURE 10.2.5).
  - (B) WATERPROOF WALL JUNCTIONS WHERE A VESSEL IS FIXED TO A WALL.
  - (C) WATERPROOF TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN SURFACES REQUIRED TO BE WATERPROOF OR WATER RESISTANT.
- (2) FOR LAUNDRIES AND WCS, THE FOLLOWING APPLIES:
  - (A) THE FLOOR OF THE ROOM MUST BE WATER RESISTANT.
  - (B) WALL/FLOOR JUNCTIONS MUST BE WATER RESISTANT, AND WHERE A FLASHING IS USED, THE HORIZONTAL LEG MUST NOT BE LESS 40mm
- (3) FOR WCS WITH HANDHELD BIDET SPRAY INSTALLATIONS, THE FOLLOWING APPLIES:
  - (A) THE FLOOR OF THE ROOM MUST BE WATERPROOF.
  - (B) WALLS MUST BE--
    - (I) WATERPROOF IN WC AREA WITHIN A 900 mm RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE TO A HEIGHT OF NOT LESS THAN 150 mm ABOVE THE FLOOR SUBSTRATE; AND
    - (II) WATER RESISTANT IN WC AREA WITHIN A 900 mm RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET DEVICE TO NOT LESS THAN 1200 mm ABOVE THE FINISHED FLOOR LEVEL OF THE WC.
  - (C) WALL JUNCTIONS WITHIN THE WC AREA WITHIN 900 mm RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE MUST BE WATERPROOF.
  - (D) WALL/FLOOR JUNCTIONS WITHIN THE WC AREA WITHIN 1000 mm RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE MUST BE WATERPROOF.
  - (E) PENETRATIONS IN THE WC AREA MUST BE WATERPROOF.

## 10.2.6 WATERPROOFING SYSTEMS

- (1) FOR THE PURPOSES OF THIS PART, A WATERPROOFING SYSTEM IS DEEMED
  - (A) WATERPROOF, IF IT COMPLIES WITH (2); OR
  - (B) WATER RESISTANT, IF IT COMPLIES WITH (3).
- (2) FOR A WATERPROOFING SYSTEM REQUIRED TO BE WATERPROOF IN ACCORDANCE WITH 10.2.2 TO 10.2.5, THE MATERIALS NOMINATED IN 10.2.8 MUST BE USED.
- (3) FOR A WATERPROOFING SYSTEM REQUIRED TO BE WATER RESISTANT IN ACCORDANCE WITH 10.2.2 TO 10.2.5, THE MATERIALS NOMINATED IN 10.2.9 MUST BE USED IN CONJUNCTION WITH THE MATERIALS IN 10.2.10.

## FIGURE NOTES

WALL/FLOOR JUNCTION HEIGHTS ARE TO BE AS PER 10.2.2 TO 10.2.6 (AS APPLICABLE).

## NOTES

WHERE A SHOWER IS ABOVE A BATH OR SPA, USE REQUIREMENTS FOR SHOWER.

FIGURE 10.2.4A

AREA ADJACENT TO BATHS AND SPAS WITHOUT SHOWERS FOR CONCRETE, COMPRESSED FIBRE-CEMENT AND FIBRE-CEMENT SHEET FLOORING

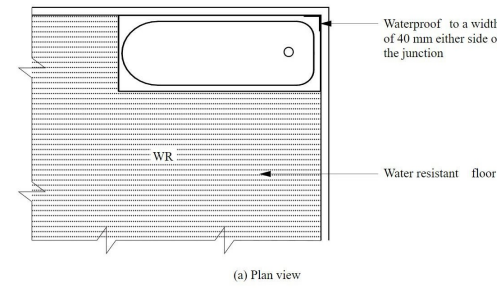


FIGURE 10.2.4B

AREAS ADJACENT TO BATHS AND SPA WITHOUT SHOWERS FOR TIMBER FLOORS INCLUDING PARTICLE-BOARD, PLYWOOD AND OTHER FLOOR MATERIALS.

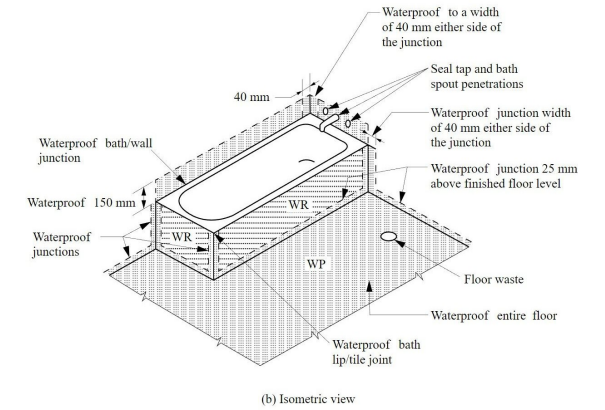
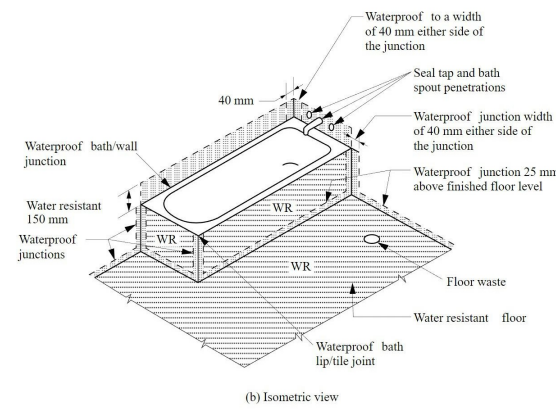
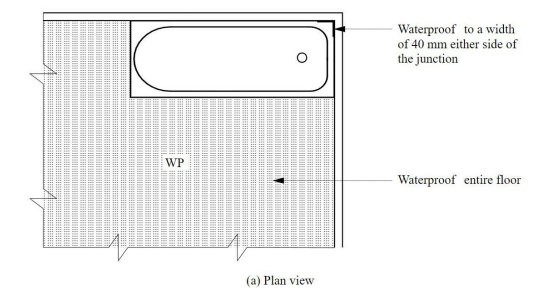


FIGURE 10.2.2

EXTENT OF TREATMENT FOR SHOWER AREAS - CONCRETE COMPRESSED FIBRE-CEMENT AND FIBRE-CEMENT SHEET FLOORS

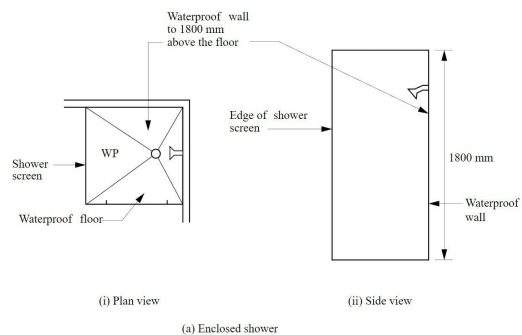
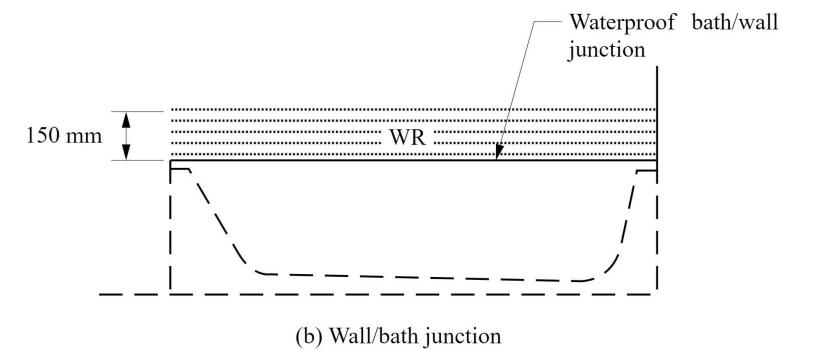
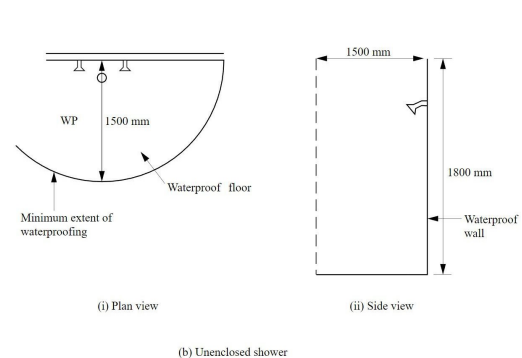
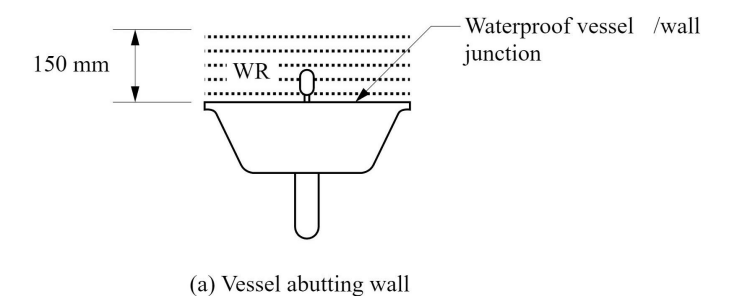


FIGURE 10.2.5

BATH AND VESSEL ABUTTING WALL - AREAS TO BE PROTECTED



## IMPORTANT NOTES:

1. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.
2. ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE, ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
3. WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
4. FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME.
5. ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANNER AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS.
6. THESE DRAWINGS SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION FROM ACCESS LIVING GROUP.
7. ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE.

**Sorell Council**  
 Development Application: Development Application - 22 Oakmont Road, Midway - P1.pdf  
 Plans Reference: P1  
 Date Received: 19/06/2024



1/37 Ascot Dr, Huntingfield TAS 7055  
 P +61 3 6289 6601

Home: ABELIA-12.5(05H.02)

Client: SJM

Location: 22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171

Drawing: WET AREA WATER PROOFING

Facade: A-ZARA  
 01-MONUMENT

## DRAWING DETAILS

6/18/2024 1:15:06 PM

SCALE SHEET SIZE  
 1 : 100 A3

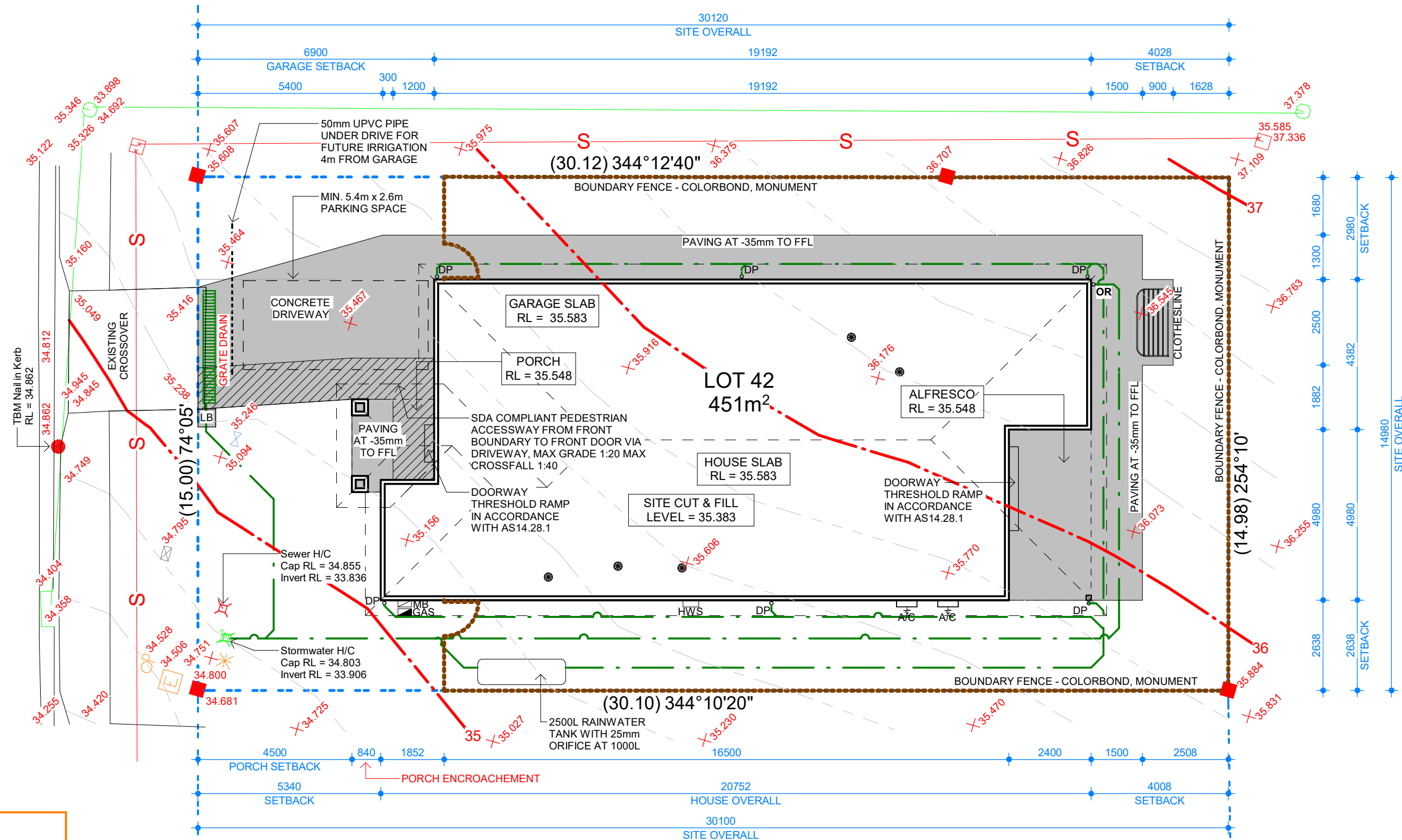
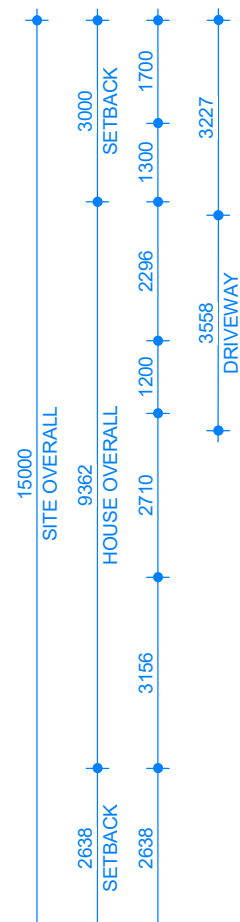
JOB No: 494N

Drwg No: D00b Issue A02

All dimensions to be verified on site



# OAKMONT ROAD



**Sorell Council**  
 Development Application: Development Application - 22 Oakmont Road, Midway - P1.pdf  
 Plans Reference: P1  
 Date Received: 19/06/2024

## SITE PLAN

1 : 125

**EXHAUST FANS - FLOW RATES**  
 - 25 LTR/SEC FOR BATHROOMS AND SANITARY COMPARTMENTS,  
 - 40 LTR/SEC FOR KITCHENS AND LAUNDRIES.  
 ALL EXHAUST FANS TO BE DUCTED TO OUTSIDE AIR. SEE ROOF PLAN DRWG NO D08 FOR NUMBER OF AND APPROX. LOCATION OF WHIRLYBIRD ROOF VENTS.

**EXHAUST FROM BATHROOM, SANITARY COMPARTMENT OR LAUNDRY**  
 AS PER CLAUSE 3.8.7.3 OF NCC 2019 EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED DIRECTLY VIA A SHAFT OR DUCT TO OUTDOOR AIR; OR TO A ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH 3.8.7.4.

LEGEND:			
	ROOF VENTILATION - TO NCC REQUIREMENTS		LOT BOUNDARY
	SURFACE DRAIN		GRATED PIT
	100mm UPVC STORMWATER PIPE TO GRADE TO LPOD, MINIMUM GRADE 1:100		CULVERT 300
	CLAY PLUG, INSTALLED IN ACCORDANCE WITH AS3500		BITUMEN EDGE
	EXPANSION JOINT, INSTALLED IN ACCORDANCE WITH AS3500		KERB INVERT
	OVERFLOW RISER		KERB BACK
			FOOTPATH
			DRIVEWAY
			SEWER UNDERGROUND
			TITLE PEG
			NAIL
			NATURAL SURFACE
			STORMWATER MANHOLE
			STORMWATER HOUSE CONNECTION
			ELECTRICITY MAIN
			POLE WITH LIGHT
			CABLE HYDRO UNDERGROUND
			TELSTRA PIT
			SEWER MANHOLE
			SEWER HOUSE CONNECTION
			SEWER UNDERGROUND
			METER WATER

- IMPORTANT NOTES:**
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.
  - ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE. ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
  - WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
  - FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME.
  - ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANNER AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS.
  - THESE DRAWINGS SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION FROM ACCESS LIVING GROUP.
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**SJM** property developments  
 1/37 Ascot Dr, Huntingfield TAS 7055  
 P +61 3 6289 6601

Home: ABELIA-12.5(05H.02)  
 Client: SJM  
 Location: 22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171  
 Drawing: SITE PLAN

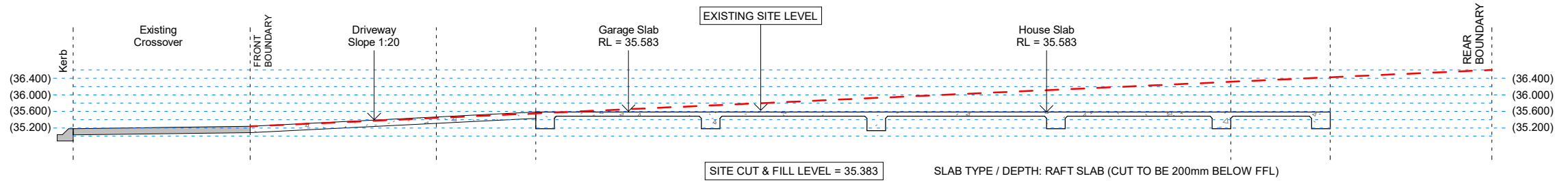
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 01-MONUMENT

**DRAWING DETAILS**  
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 SCALE As indicated SHEET SIZE A3  
 JOB No: 494N  
 Drwg No: D01a Issue A02

All dimensions to be verified on site

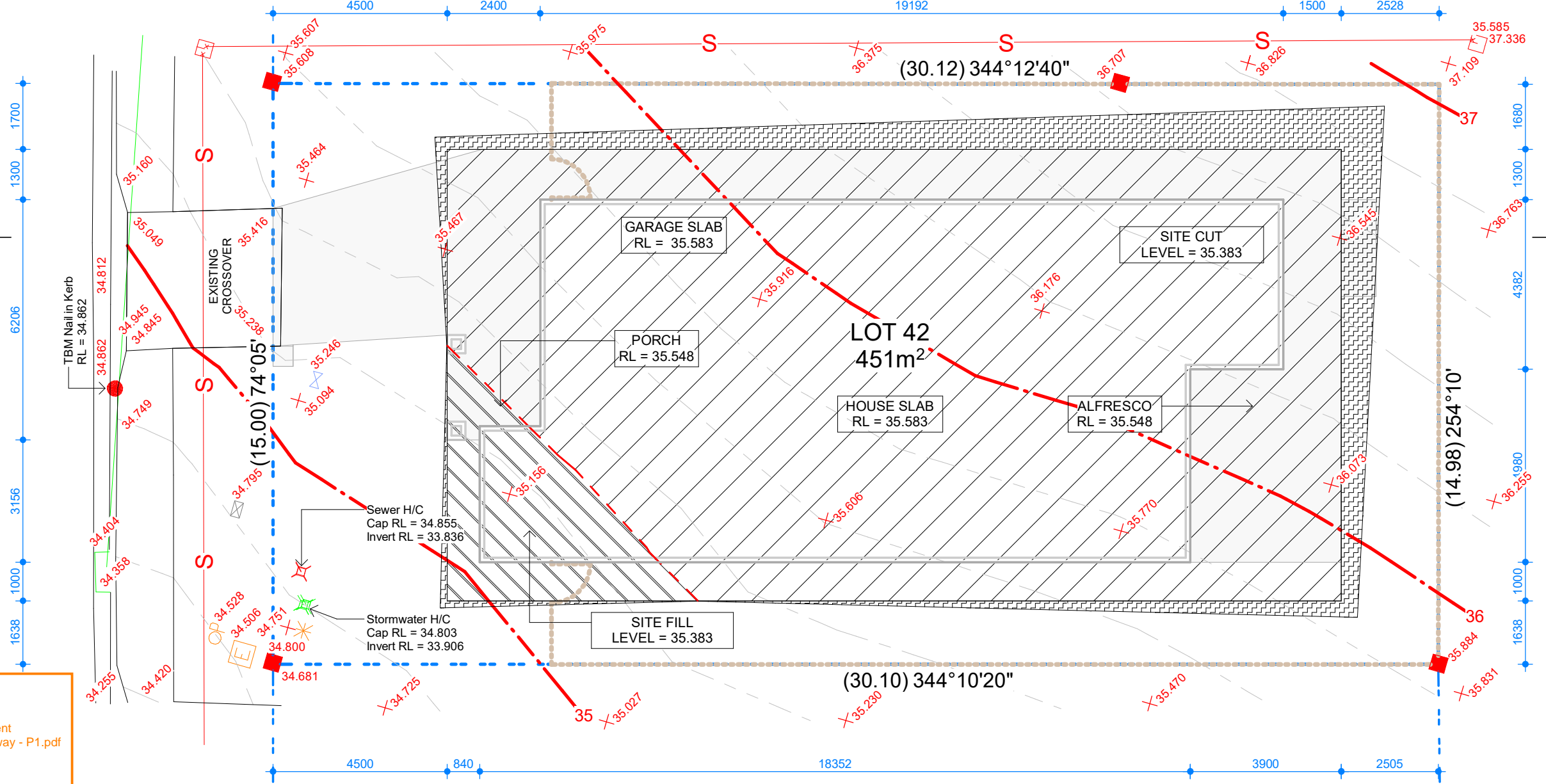
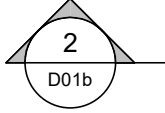


LEGEND	
	DENOTES CUT
	DENOTES FILL
	DENOTES BATTER



**2 SITE SECTION**  
D01b 1 : 125

OAKMONT ROAD



**Sorell Council**  
Development Application: Development Application - 22 Oakmont Road, Midway - P1.pdf  
Plans Reference: P1  
Date Received: 19/06/2024

**SITE EXCAVATION PLAN**  
1 : 125

- IMPORTANT NOTES:**
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  2. ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE. ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
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  7. ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE.

 1/37 Ascot Dr, Huntingfield TAS 7055 P +61 3 6289 6601	Home: <b>ABELIA-12.5(05H.02)</b> Client: <b>SJM</b> Location: <b>22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171</b>	Facade: <b>A-ZARA</b> <b>01-MONUMENT</b>	<b>DRAWING DETAILS</b> 6/18/2024 1:15:07 PM SCALE: As indicated   SHEET SIZE: A3
	Drawing: <b>SITE EXCAVATION PLAN</b>	JOB No: <b>494N</b> Drwg No: <b>D01b</b>   Issue: <b>A02</b>	All dimensions to be verified on site



**FLOOR FINISHES:**  
ALL FLOOR COVERINGS TO BE FIRM AND EVEN AND FEATURE A TRANSITION BETWEEN ABUTTING SURFACES ( A MAXIMUM VERTICAL TOLERANCE OF 3mm OR 5mm BETWEEN SURFACES IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELED.)

ALL INTERNAL FLOOR FINISHES SHALL HAVE A MINIMUM SLIP RESISTANCE OF P3 OR R10.

**EXHAUST FANS:**  
EXHAUST FANS TO BE 25 LITRES PER SECOND (BATHROOMS AND TOILET) OR 40 LITRES PER SECOND (KITCHEN AND LAUNDRY)

**DOORS:**  
ALL INTERNAL DOORS AND FRONT ENTRY DOOR TO BE SOLID CORE. ALL OTHER DOORS TO BE STANDARD.

ROBE DOORS ARE STANDARD.

**WET AREAS:**  
12mm VILLABOARD ALLOWED TO ALL WALLS IN BATHROOM AND WC.

1. ALL WATER CLOSETS TO HAVE REMOVABLE HINGES TO THE DOORS IF THERE IS LESS THAN 1.2m CLEARANCE BETWEEN THE CLOSET PAN AND THE DOORWAY.
2. IF TIMBER FLOORS ARE SUPPLIED, DIRECTION INDICATED ON DRAWINGS IS NOMINAL.
3. ALL PLUMBING TO BE CONCEALED AS PER REQUIRED.

**CEILING HOIST PROVISION:**

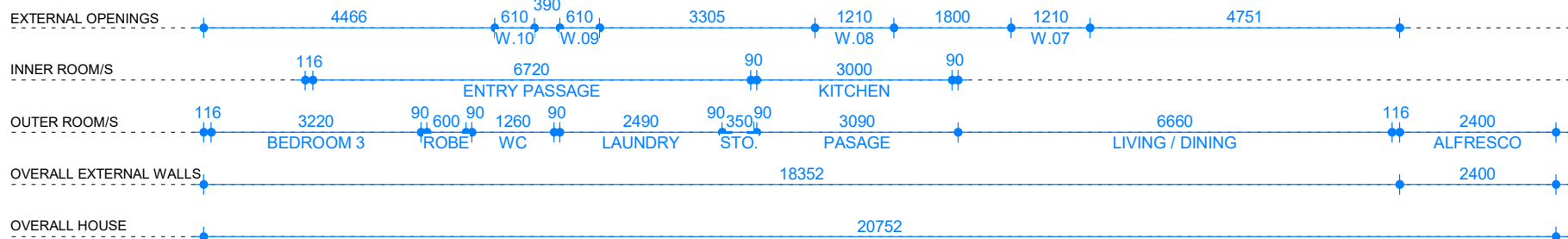
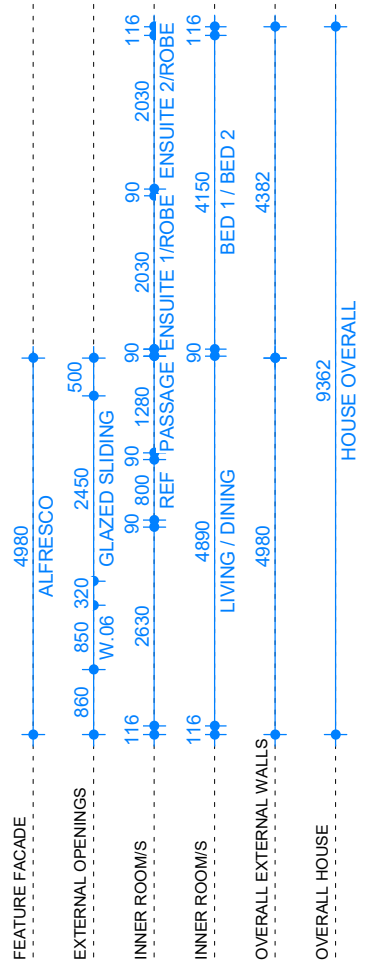
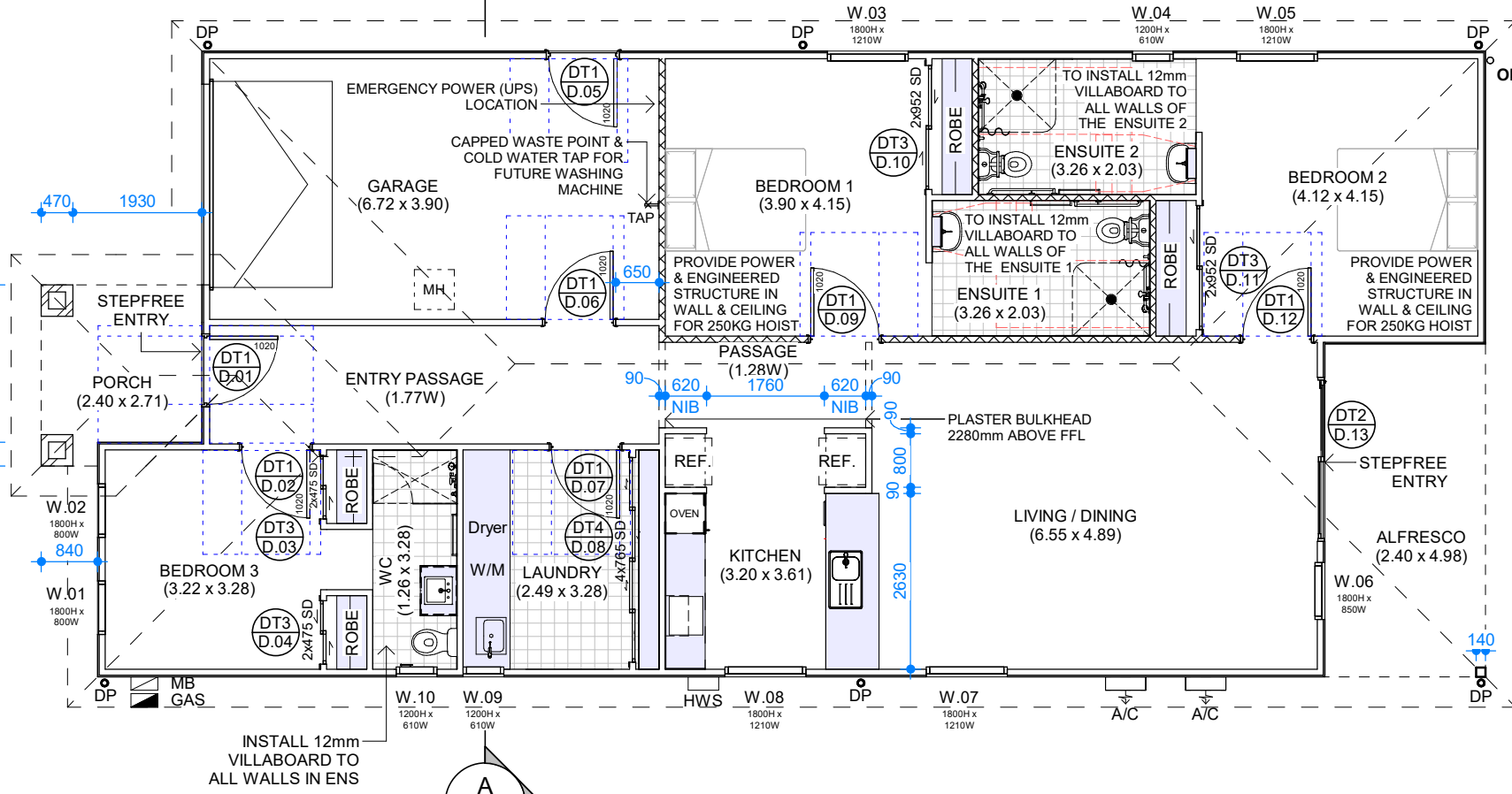
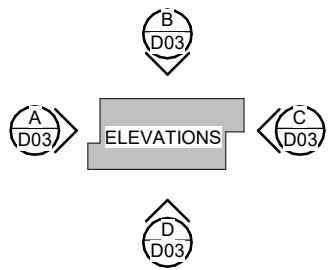
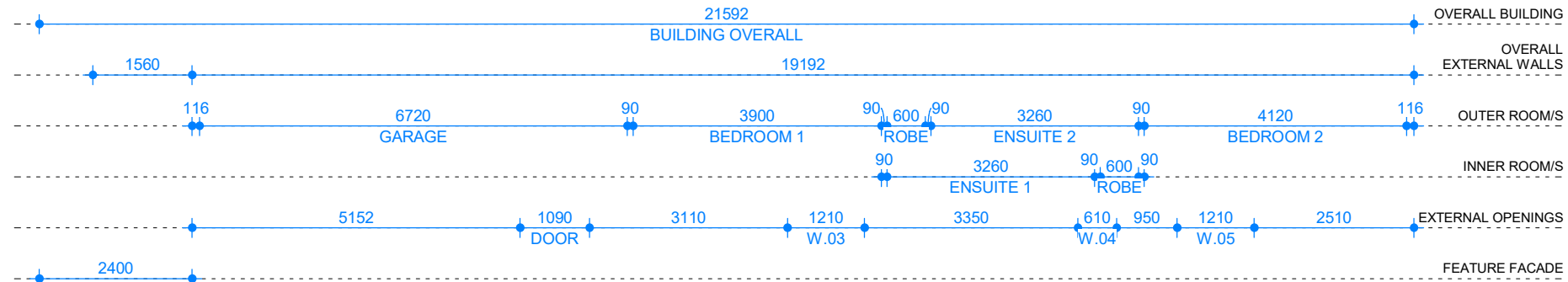
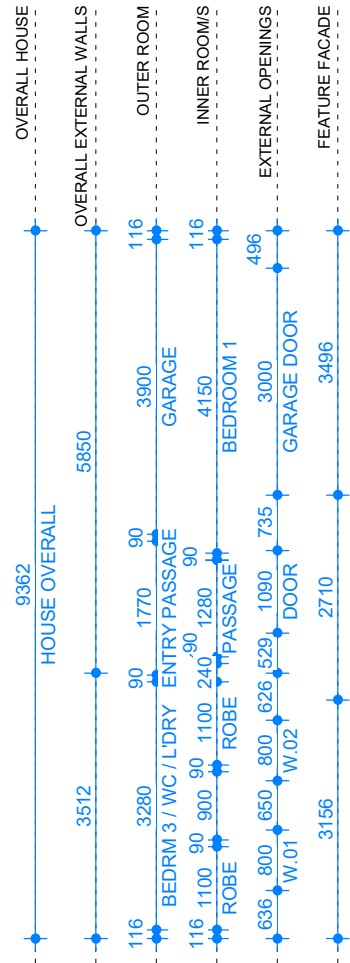
1. BEDROOMS SHALL HAVE A PROVISION FOR POWER AND INBUILT STRUCTURE, CAPABLE OF INSTALLATION OF A CONSTANT CHARGE CEILING HOIST.
2. THE HOIST SHALL BE CAPABLE OF GOING ACROSS THE BED AND DOWN THE BED.
3. MIN LOAD CAPACITY OF THE HOIST SHALL BE 250KG.
4. HOIST IS TO BE CAPABLE OF BEING EITHER CEILING MOUNTED OR WALL MOUNTED.
5. STRUCTURE FOR HOIST IN BEDROOMS 1, 2 & 3 TO BE IN ACCORDANCE WITH ENGINEER'S DETAILS.

**LEGEND**

- Builder to provide sound insulation as shown hatched.
- MAN HOLE 600x600 (APPROX. POSITION)
- REVERSE CYCLE AIR CONDITIONING
- CONTROL JOINT
- HWS HOT WATER SERVICE
- METER BOX
- GAS METER
- OVERFLOW RISER

**IMPORTANT NOTES:**

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**FLOOR PLAN**

1 : 100

**Sorell Council**  
Development Application: Development Application - 22 Oakmont Road, Midway - P1.pdf  
Plans Reference: P1  
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**HOUSE SIZE**  
9.36m x 20.75m

**BLOCK SIZE**  
15.00m x 30.00m

**AREAS**

Living	145.7m <sup>2</sup>
Alfresco	12.0m <sup>2</sup>
Garage	27.5m <sup>2</sup>
Porch	5.9m <sup>2</sup>
<b>Total Area</b>	<b>191.1m<sup>2</sup></b>

**Site Coverage 42.37%**



1/37 Ascot Dr, Huntingfield TAS 7055  
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Home: **ABELIA-12.5(05H.02)**  
Client: **SJM**  
Location: **22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171**  
Drawing: **FLOOR PLAN**

Facade: **A-ZARA 01-MONUMENT**



**DRAWING DETAILS**

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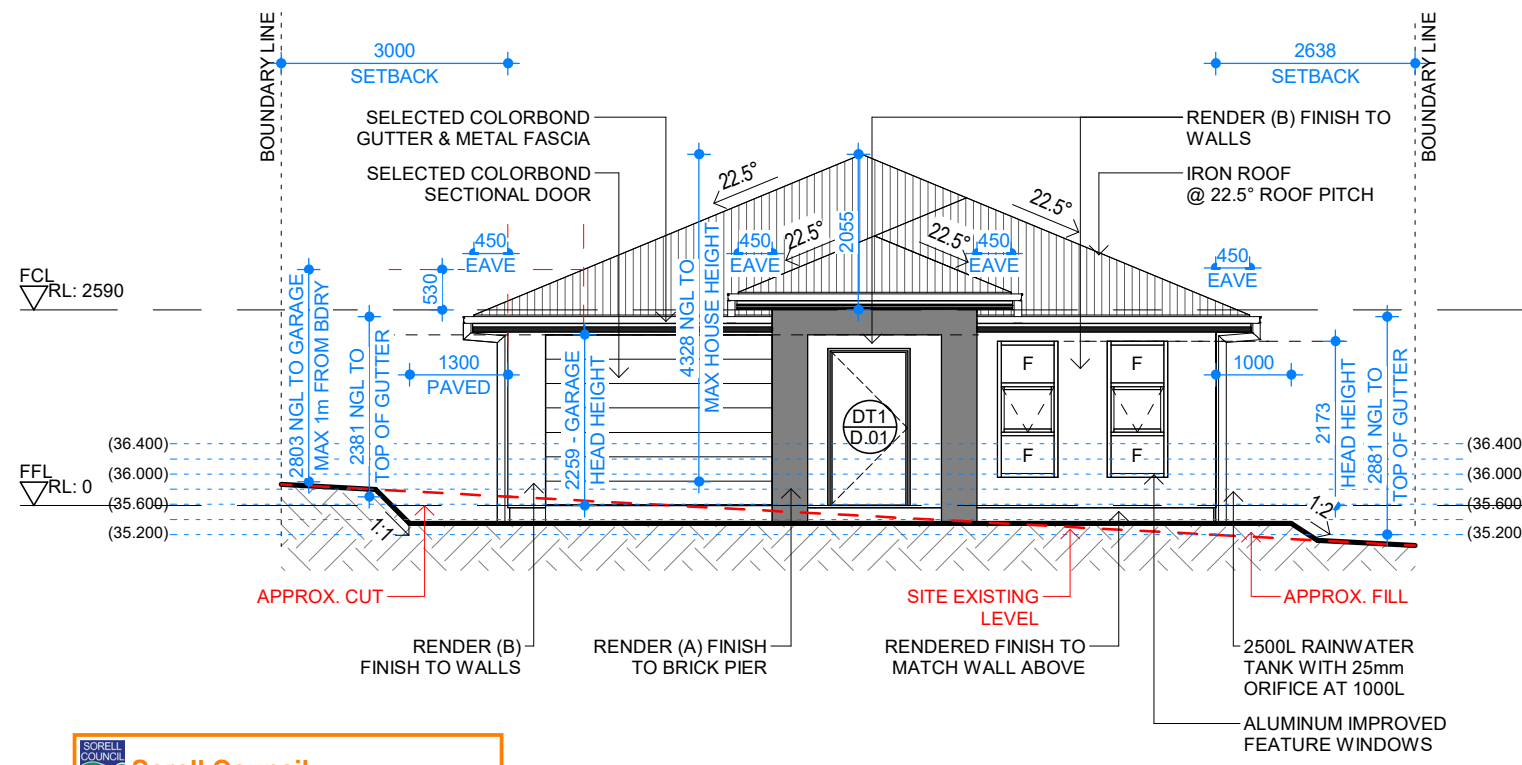
SCALE	SHEET SIZE
1 : 100	A3

JOB No: **494N**

Drwg No: **D02** Issue **A02**

All dimensions to be verified on site





**A ELEVATION**  
D03a 1:100

**Sorell Council**  
Development Application: Development Application - 22 Oakmont Road, Midway - P1.pdf  
Plans Reference: P1  
Date Received: 19/06/2024

**LOT 42 GARAGE & HOUSE HEIGHTS & AREAS**

<b>GARAGE ROOF HEIGHT AT BOUNDARY</b>	
Ceiling to roof at boundary	70 mm
Ceiling height of house	2,590 mm
Garage setdown	0 mm
RL of garage slab	35,583 mm
HIGHEST NGL RL of garage at boundary	36,100 mm
LOWEST NGL RL of garage at boundary	35,700 mm
AVERAGE NGL RL of garage at boundary	35,900 mm
<b>AVERAGE GARAGE HT @ BOUNDARY from NGL</b>	<b>2,343 mm</b>
<b>MAXIMUM GARAGE HT @ BOUNDARY from NGL</b>	<b>2,543 mm</b>
Roof rise over 1m = 370mm (22.5°) Ceiling -> 1m point	530 mm
<b>GARAGE HT 1m in from BOUNDARY from NGL</b>	<b>2,803 mm</b>
<b>HOUSE MAX HEIGHT</b>	
Ceiling Level to Highest Point	2,055 mm
<b>MAX HEIGHT OF HOUSE from NGL</b>	<b>4,328 mm</b>
<b>PORCH MAX HEIGHT</b>	
Ceiling Level to Highest Point at 5.34m setback line	764 mm
NGL at Forward Most Point (at 5.34m setback line)	35,300 mm
<b>MAX HEIGHT OF PORCH from NGL</b>	<b>3,637 mm</b>
<b>LOT AREAS</b>	
Site Dimensions	15.00 30.12 %
Total Site Area	451.00 m <sup>2</sup>
Permitted Building Area 60% of Total Site Area	270.60 m <sup>2</sup>
<b>TOTAL BUILDING AREA</b>	<b>191.10 m<sup>2</sup> 42.37%</b>
Total nonpermeable area - Driveway & Concrete Paths	91.0 m <sup>2</sup> 20.2%
<b>TOTAL PERMIABLE AREA</b>	<b>168.9 m<sup>2</sup> 37.5%</b>

**NOTE:**  
NATURAL GROUND LEVELS ARE SHOWN INDICATIVELY ONLY.

**LEGEND - FINISHES**

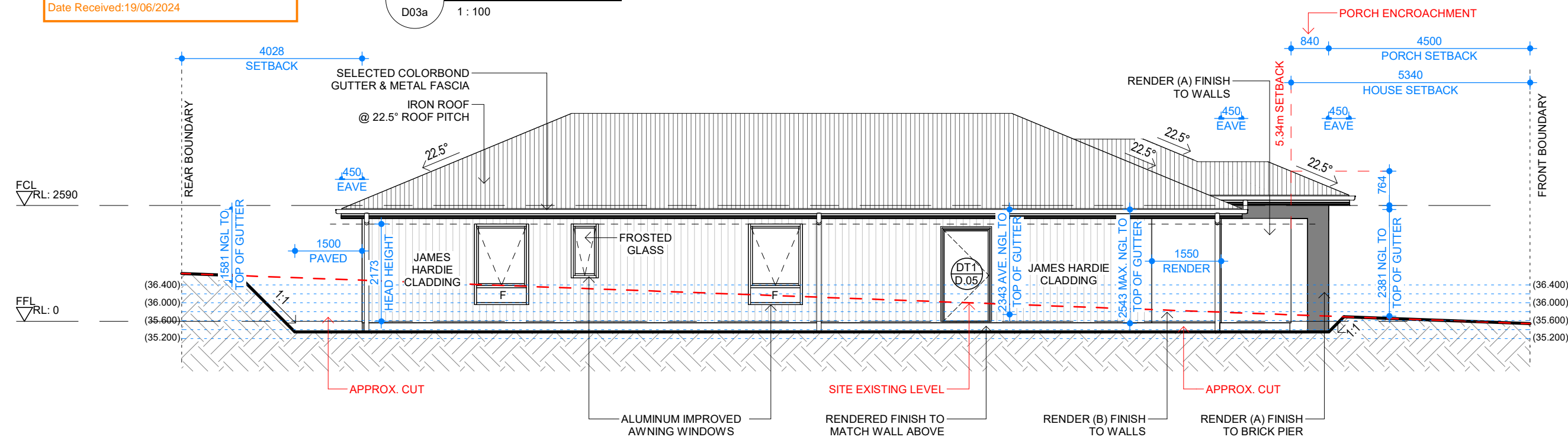
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[Pattern]	RENDER A BLUE BOARD OR SIMILAR
[Pattern]	RENDER B BLUE BOARD OR SIMILAR

**LEGEND - SERVICES**

[Symbol]	HWS HOT WATER SERVICE
[Symbol]	METER BOX
[Symbol]	GAS METER

**AVERAGE GARAGE WALL HEIGHT**

WALL LENGTH:	6.84m
WALL AREA:	16.01m <sup>2</sup>
AVERAGE WALL HEIGHT:	2.34m



**B ELEVATION**  
D03a 1:100

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Home: ABELIA-12.5(05H.02)  
Client: SJM  
Location: 22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171  
Drawing: ELEVATIONS A and B

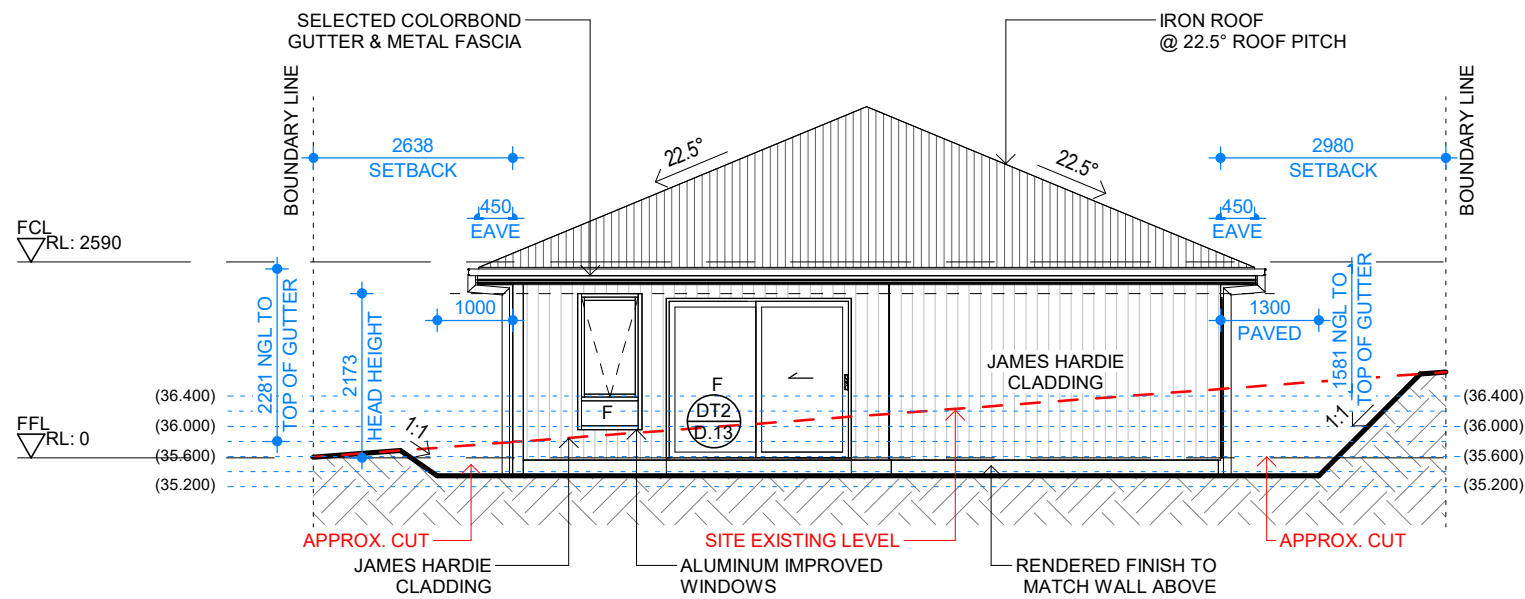
Facade: A-ZARA  
01-MONUMENT

**DRAWING DETAILS**

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SCALE	SHEET SIZE
1:100	A3
JOB No:	494N
Drwg No:	D03a
Issue	A02

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**C ELEVATION**  
D03b 1 : 100

**Sorell Council**  
Development Application: Development  
Application - 22 Oakmont Road, Midway - P1.pdf  
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Total nonpermeable area - Driveway & Concrete Paths	91.0	m <sup>2</sup> 20.2%
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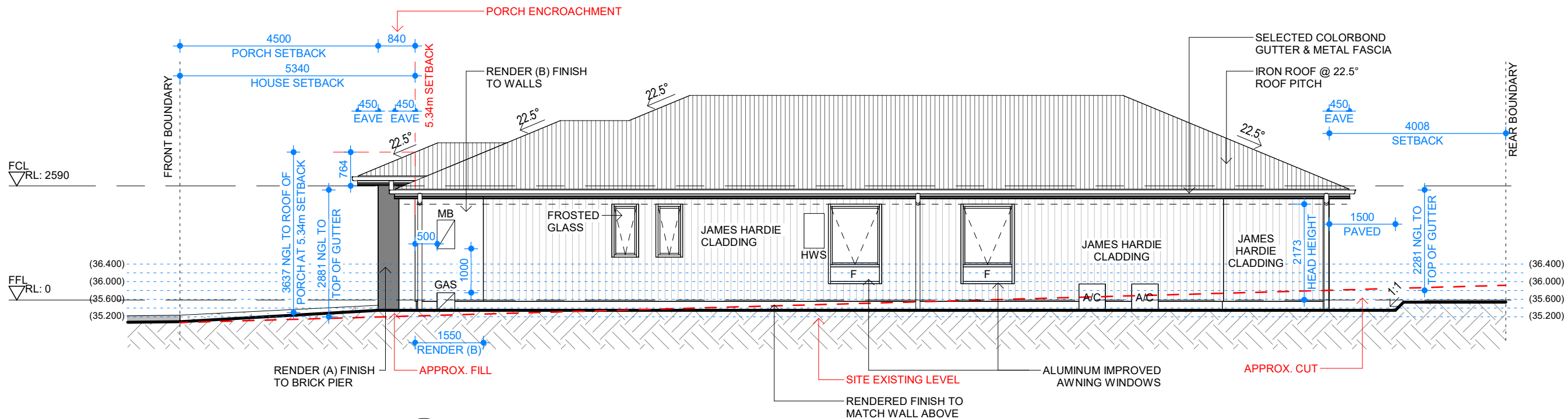
	JAMES HARDIE CLADDING
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	MB METER BOX
	GAS GAS METER

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**D ELEVATION**  
D03b 1 : 100

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Drawing: ELEVATIONS C and D

Facade: A-ZARA  
01-MONUMENT

**DRAWING DETAILS**

6/18/2024 1:15:10 PM

SCALE SHEET SIZE

1 : 100 A3

JOB No: 494N

Drwg No: D03b Issue A02

All dimensions to be verified on site

## GENERAL NOTES

### GENERAL NOTES:

1. ALL EXTERNAL WINDOWS AND DOOR ARE TO BE DESIGNED AND TESTED IN ACCORDANCE WITH AS 2047, INCLUDING PROVISIONS FOR SUBSILLS AND FLASHING IN ANY PROPRIETARY SYSTEMS OFFERED FOR THIS PRODUCT.
2. ALL GLAZING SHALL BE IN ACCORDANCE WITH AS 1288-2006 WHEREIN GLAZING WITHIN 500mm OF THE FLOOR LEVEL SHALL BE 5MM THICKENED ANNEALED, GLAZED DOORS ASSOCIATED SIDE PANELS SHALL BE 5.38mm LAMINATED SAFETY GLASS AND BATHROOM WINDOWS WITHIN 1.5m OF THE BATH FOR 500mm FROM THE SHOWER ENCLOSURE SHALL BE 3mm TOUGHENED SAFETY GLASS
3. WATERPROOFING OF WET AREAS,BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3274: WATERPROOFING WET AREA IN RESIDENTIAL BUILDINGS.
4. ALL EXHAUST FANS TO BE FITTED WITH DAMPERS AS PER NCC.
5. EXTERNAL DOORS TO BE WEATHER STRIPPED AND WINDOWS TO COMPLY WITH AS 2047.
6. ALL GAPS FROM SERVICE PENETRATIONS ETC ARE TO BE SEALED. AS SHOULD INTERNAL DOORS TO GARAGE.
7. ALL CHIMNEYS AND FLUES TO HAVE DAMPERS AS PER BCA REQUIREMENTS 3.12.3.1, IF APPLICABLE
8. (LOH) ALL WATER CLOSETS TO HAVE REMOVABLE HINGES TO THE DOORS IF THERE IS LESS THAN 1.2M CLEARANCE BETWEEN THE CLOSEST PAN & THE DOORWAY.
9. WET AREAS IN ACCORDANCE WITH AUST. STANDARD 3740 - (2021)
10. MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH B.C.A. P.2.4.5
11. MAN HOLE LOCATION MAY BE CHANGED DUE TO TRUSS LAYOUT
12. DIMENSIONS RELATING TO FFL & FCL REFER TO OVERALL TOP & BOTTOM PLATE DIMENSIONS NOT ACTUAL CEILING HEIGHTS.
13. BACKFILL TO EXTERNAL DOORS NOT TO BE GREATER THAN 190MM IN ACCORDANCE WITH NCC '3.9.1.5 THRESHOLDS'

### OPENING TO WINDOWS

PROVIDE 125mm RESTRICTION TO ALL OPENING WINDOWS IN BEDROOMS WHERE THE DIFFERENCE BETWEEN THE FLOOR LEVELS OF THE BEDROOM AND THE OUTSIDE FINISHED SURFACE LEVEL IS GREATER THAN 2.0m. IN ACCORDANCE WITH BCA.

### CONTROL JOINTS

- CONTROL JOINT IN BRICKS TO BE IN ACCORDANCE WITH AS 3700-2001. ENGINEERS DOCUMENTATION REGARDING CONTROL JOINTS OVER-RIDES THESE DRAWINGS.
- PROVIDE CONTROL TO ALL INTERNAL CORNERS

### HEAD HEIGHTS

- WINDOW HEAD HEIGHTS MEASURED FROM THE FINISHED FLOOR LEVEL (SLAB) OF THE HOUSE.
- ALL WINDOW HEAD HEIGHTS INDICATED ARE NOMINAL AND MAY VARY DUE TO VARIANCES IN BRICK SIZES.

**NOTE:  
FC/SOFFIT SHEET TO  
PORTICO CEILING  
CONTINUE TO EAVE LINE**

**NOTE:  
ENGINEERS TO DESIGN  
ALL REQUIRED RAMPS  
TO EXTERNAL  
ENTRANCES/PORCH.**

**NOTE:**  
WINDOW CONTROLS TO BE LOCATED WITHIN EASY REACH FROM EITHER A SEATED OR STANDING POSITION (BETWEEN 600mm TO 1100 ABOVE FFL). DOORWAYS SHALL HAVE DOOR HANDLES INSTALLED AT BETWEEN 900mm TO 1100mm ABOVE THE FFL. DOOR HANDLES SELECTION AND LOCATION SHALL COMPLY WITH AS1428.1 AS PER THE DOOR HANDLE DETAIL.

### GARAGE INTERNAL CONSTRUCTION

THE INSIDE OF THE GARAGE IS TO INCLUDE THE FOLLOWING:

A. CONTROL OF WATER FROM THE GARAGE:  
I. A 15mm MINIMUM HEIGHT THRESHOLD GRADED SILL (OR OTHER TYPE OF DURABLE GRADED UPSTAND) IS INSTALLED ACROSS THE PEDESTRIAN DOORWAY BETWEEN THE GARAGE AND DWELLING. THE UPSTAND/THRESHOLD IS TO BE SEALED TO THE CONCRETE USING A WATERPROOF SEALANT; OR  
II. THE GARAGE FLOOR IS GRADED WITH A MINIMUM 1:100 FALL TOWARDS THE GARAGE VEHICLE ENTRY DOOR.


B. THE GARAGE SKIRTING IS TO BE A WATER RESISTANT MATERIAL, WHICH MAY INCLUDE NATURAL TIMBER SUCH AS TREATED KILN DRIED PINUS RADIATA (INCLUDING FINGER JOINTED PINE), HARDWOOD AND THE LIKE. THE SKIRTING IS TO BE SEALED TO THE SLAB WITH A MINIMUM 5mm THICK BEAD OF VISIBLE WATERPROOF FLEXIBLE SEALANT.

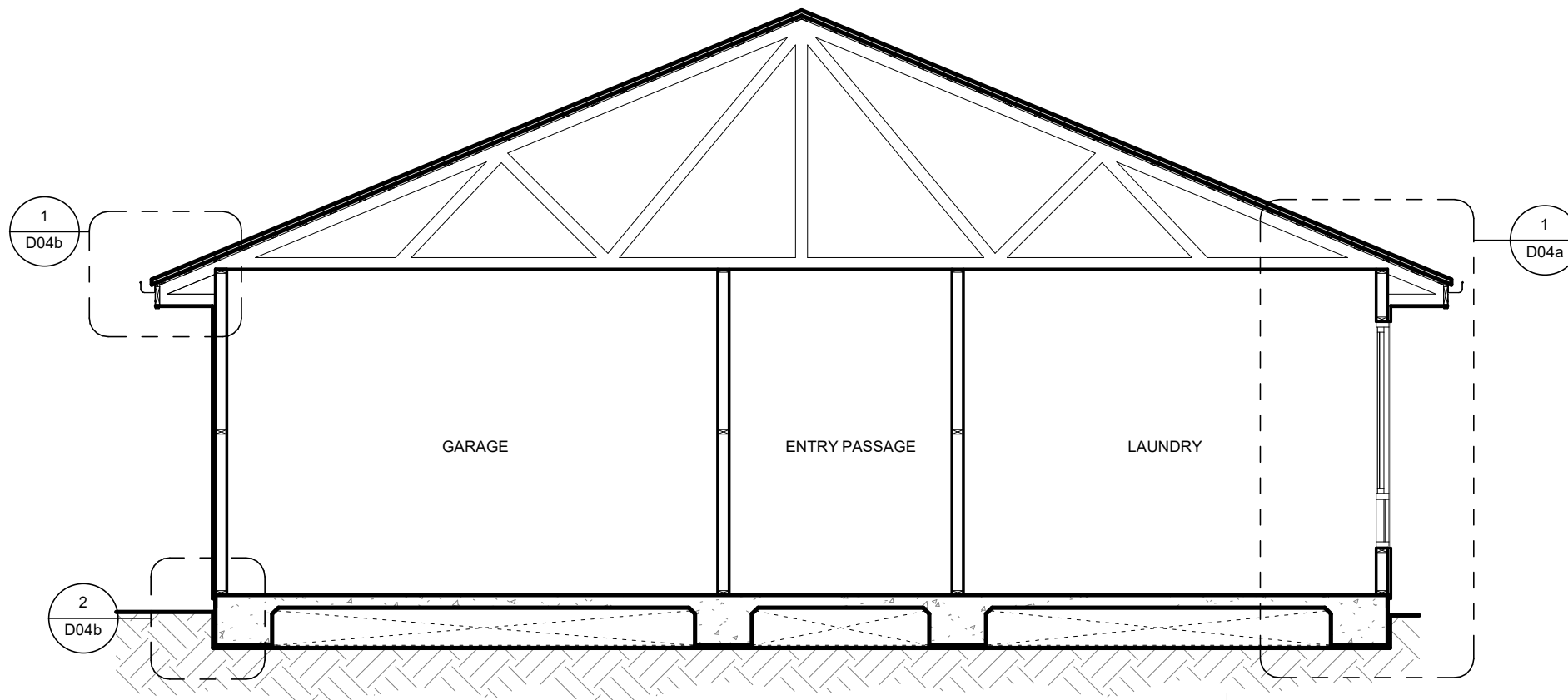


**Sorell Council**  
Development Application: Development Application - 22 Oakmont Road, Midway - P1.pdf  
  
Plans Reference:P1  
Date Received:19/06/2024

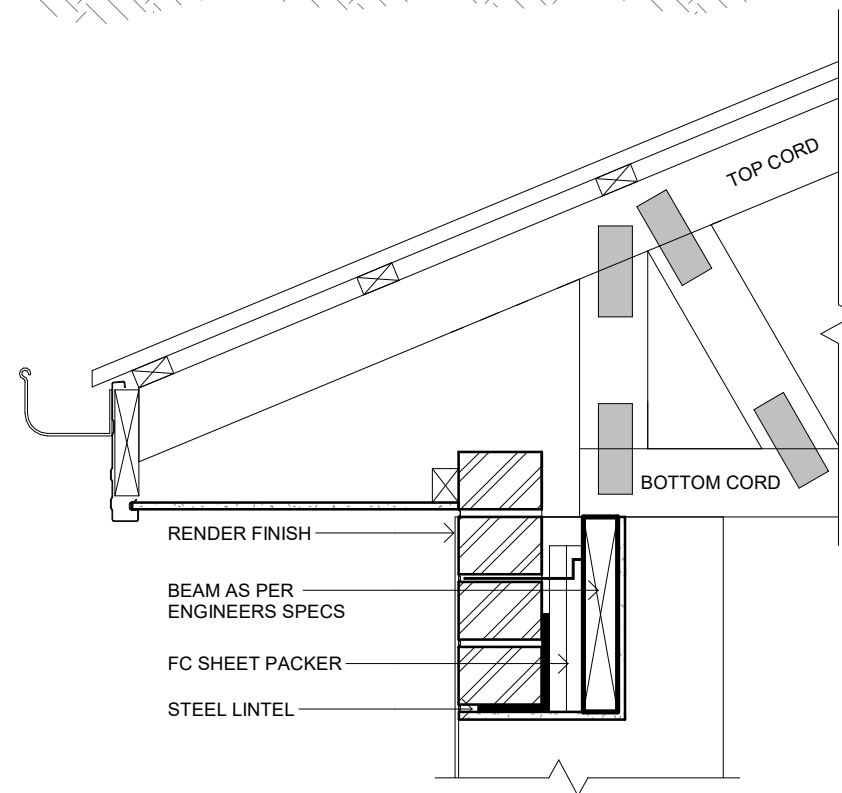
### IMPORTANT NOTES:

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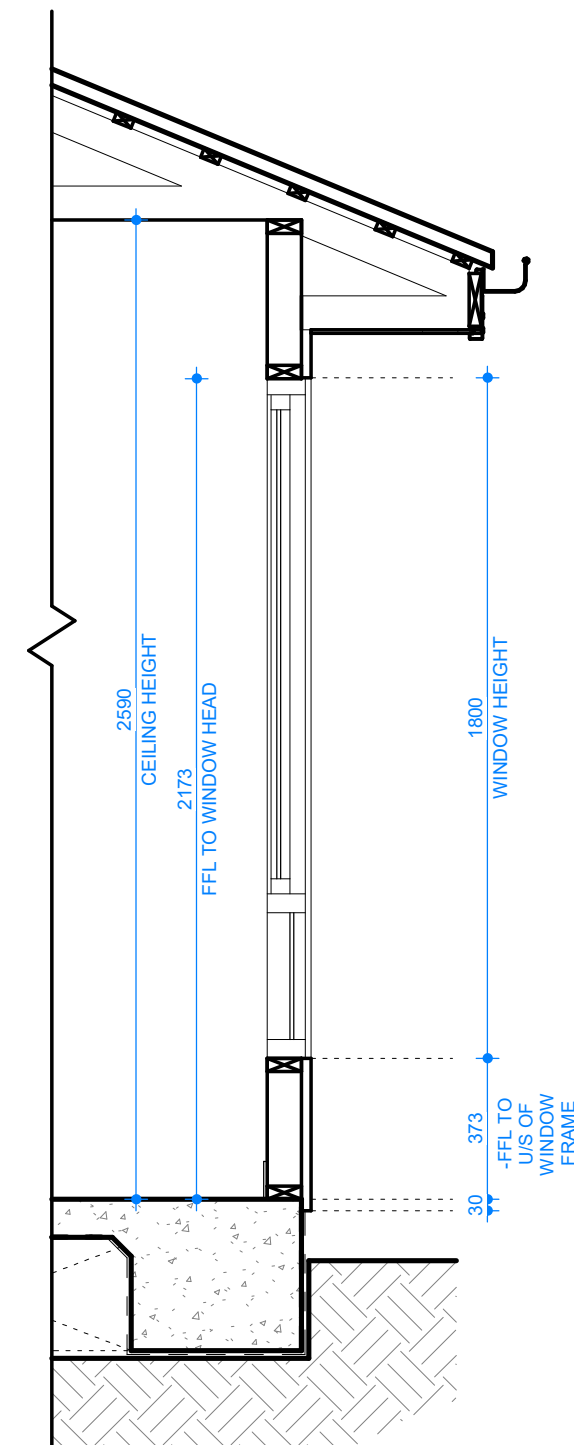
 <p>1/37 Ascot Dr, Huntingfield TAS 7055 P +61 3 6289 6601</p>	Home: <b>ABELIA-12.5(05H.02)</b>	Facade: <b>A-ZARA 01-MONUMENT</b>	<b>DRAWING DETAILS</b>	
	Client: SJM		6/18/2024 1:15:10 PM	SHEET SIZE
	Location: 22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171		1 : 100	A3
	Drawing: <b>ELEVATIONS - NOTES</b>		JOB No: <b>494N</b>	Drwg No: <b>D03c</b> Issue <b>A02</b>
			All dimensions to be verified on site	



**A SECTION**  
D02 1:50



**PORCH DETAIL TYPICAL**  
1:10



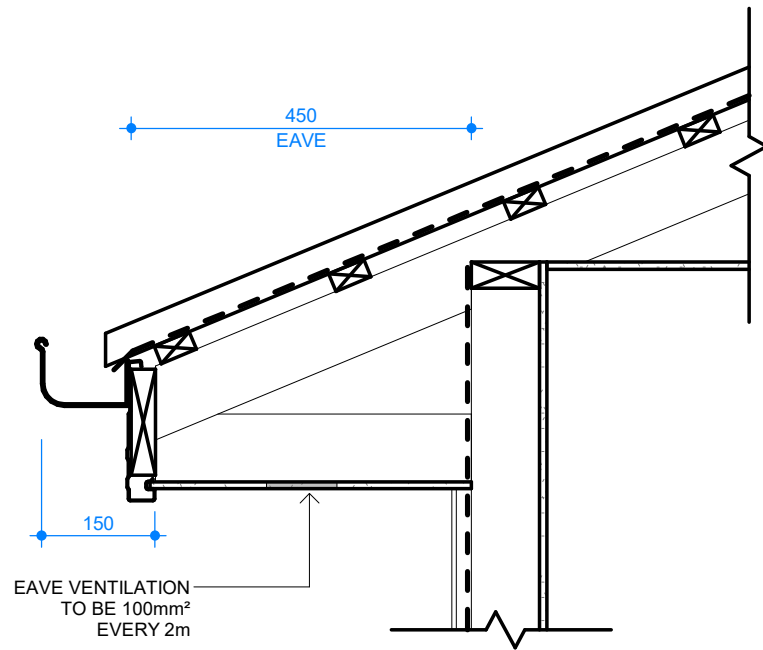
**1 TYP. SLAB REBATE DETAIL**  
D04a 1:20

**Sorell Council**  
Development Application: Development  
Application - 22 Oakmont Road, Midway - P1.pdf  
Plans Reference:P1  
Date Received:19/06/2024

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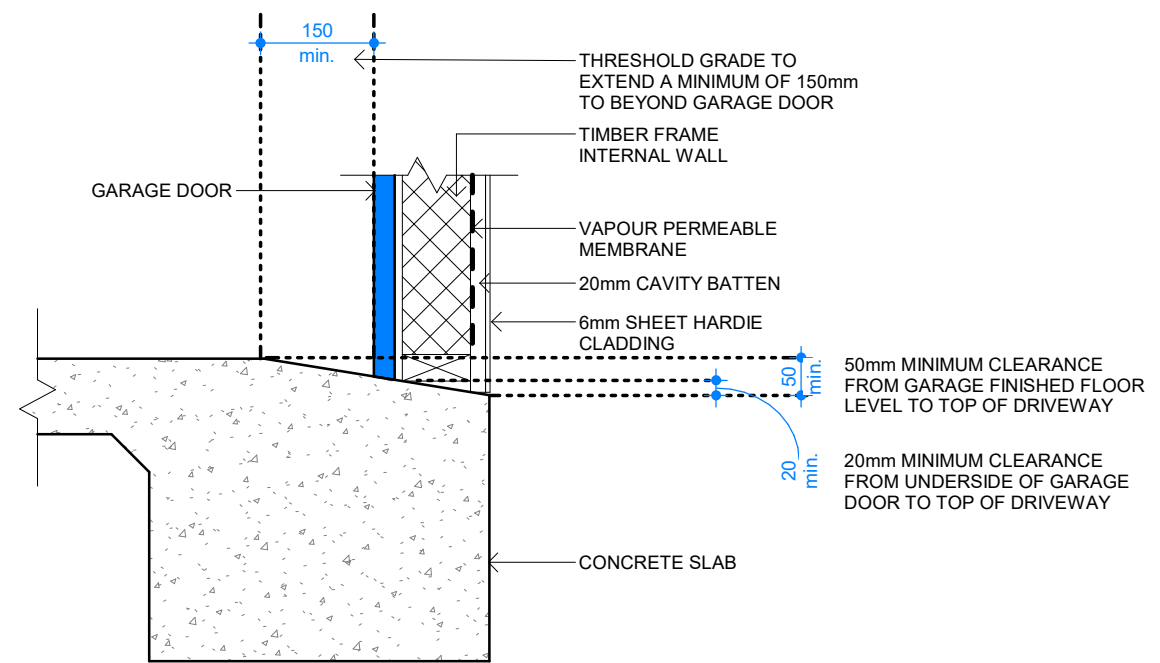
	1/37 Ascot Dr, Huntingfield TAS 7055 P +61 3 6289 6601	Home: <b>ABELIA-12.5(05H.02)</b>	Facade: <b>A-ZARA</b>	<b>DRAWING DETAILS</b>		
		Client: <b>SJM</b>	<b>01-MONUMENT</b>	6/18/2024 1:15:11 PM		
		Location: <b>22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171</b>			SCALE: As indicated	SHEET SIZE: A3
		Drawing: <b>SECTIONS</b>			JOB No: <b>494N</b>	
					Drwg No: <b>D04a</b>	Issue <b>A02</b>

All dimensions to be verified on site



**1 TYP. GUTTER DETAIL -TOP OF WALL**

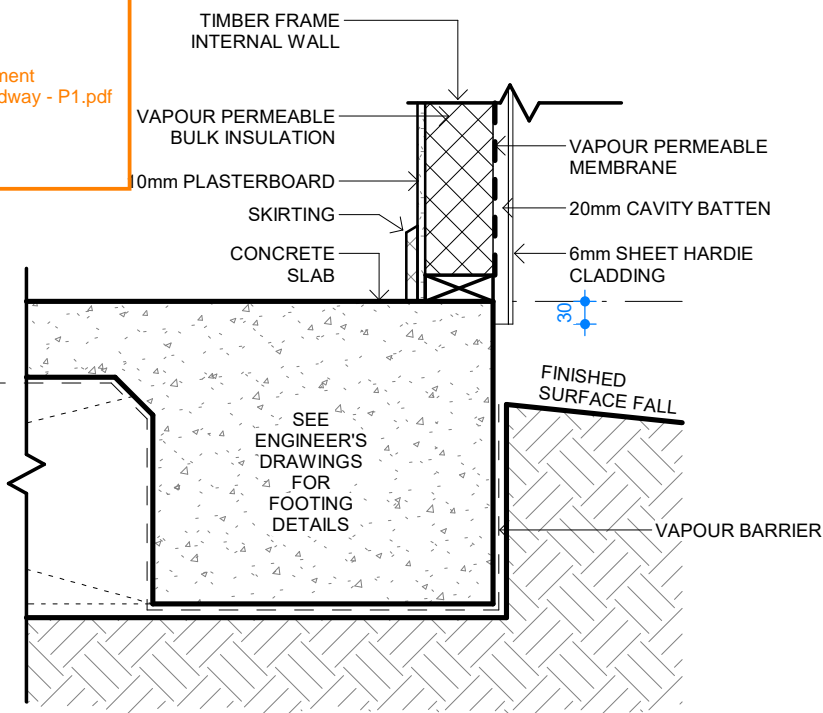
D04a 1:10



**3 GARAGE GRADED THRESHOLD DETAIL**

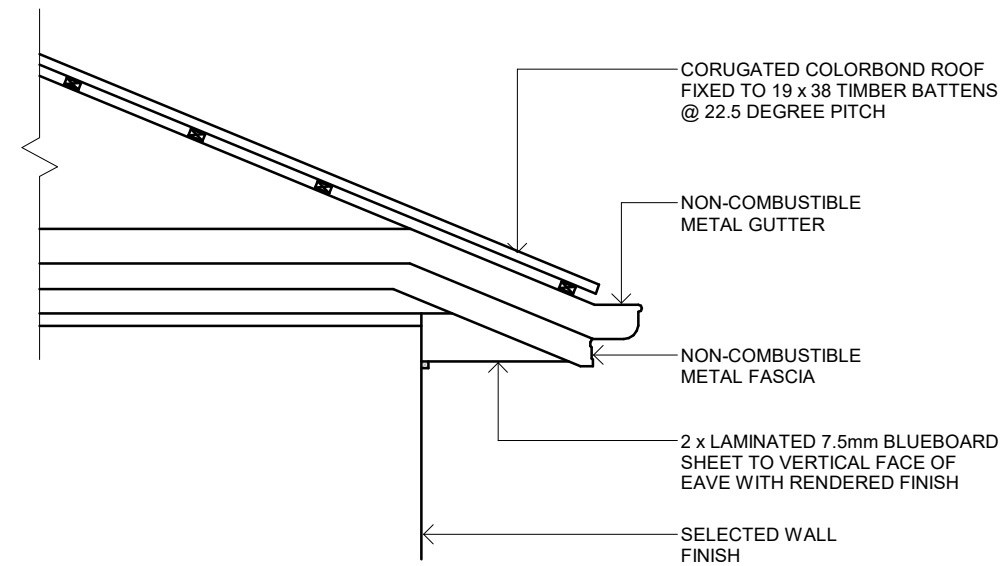
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**Sorell Council**  
 Development Application: Development Application - 22 Oakmont Road, Midway - P1.pdf  
 Plans Reference:P1  
 Date Received:19/06/2024



**2 TYP. SLAB REBATE DETAIL**

D04a 1:10



**EAVES DETAIL 1.0m**

1:10

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 P +61 3 6289 6601

Home: ABELIA-12.5(05H.02)

Client: SJM

Location: 22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171

Drawing: SECTIONS - TYPICAL

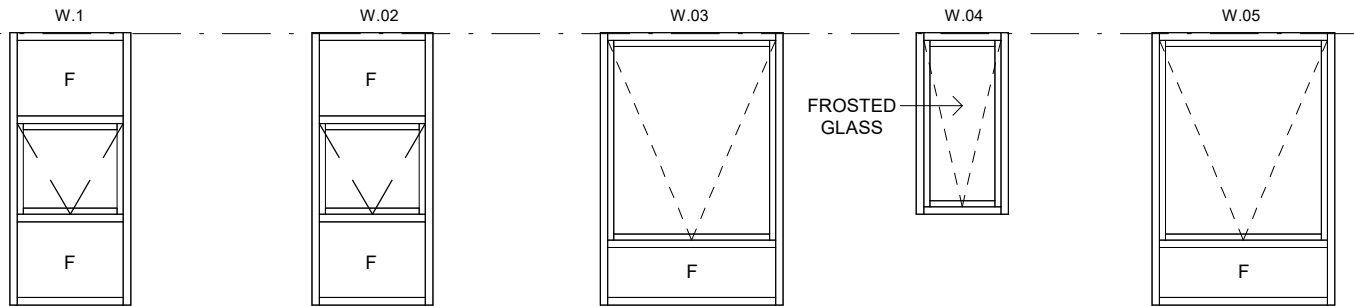
Facade: A-ZARA  
 01-MONUMENT

DRAWING DETAILS	
6/18/2024 1:15:11 PM	
SCALE	SHEET SIZE
1:10	A3
JOB No:	494N
Drwg No:	D04b
Issue	A02

All dimensions to be verified on site



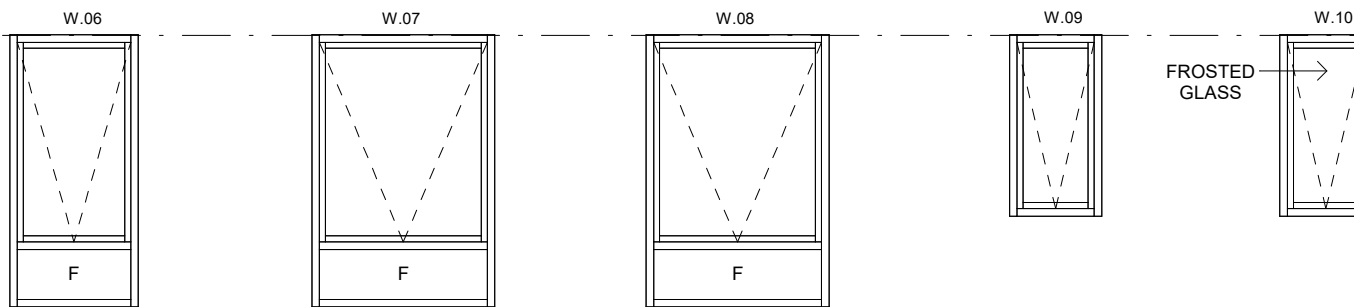
WINDOW 2173 AFFL  
HEAD HT



WINDOW SCHEDULE				
WINDOW NO.	DESCRIPTION	HEIGHT	WIDTH	HEAD HEIGHT
W.01	1 Panel Wide Awning Window - 1 Opening Sash, Fixed Top & Bottom Panel	1800	800	2173
W.02	1 Panel Wide Awning Window - 1 Opening Sash, Fixed Top & Bottom Panel	1800	800	2173
W.03	1 Panel Wide Awning Window - 1 Opening Sash, 1 Fixed Bottom Panel	1800	1210	2173
W.04	1 Panel Wide Awning Window - 1 Opening Sash Only	1200	610	2173
W.05	1 Panel Wide Awning Window - 1 Opening Sash, 1 Fixed Bottom Panel	1800	1210	2173
W.06	1 Panel Wide Awning Window - 1 Opening Sash, 1 Fixed Bottom Panel	1800	850	2173
W.07	1 Panel Wide Awning Window - 1 Opening Sash, 1 Fixed Bottom Panel	1800	1210	2173
W.08	1 Panel Wide Awning Window - 1 Opening Sash, 1 Fixed Bottom Panel	1800	1210	2173
W.09	1 Panel Wide Awning Window - 1 Opening Sash Only	1200	610	2173
W.10	1 Panel Wide Awning Window - 1 Opening Sash Only	1200	610	2173

FFL 0

WINDOW 2173 AFFL  
HEAD HT

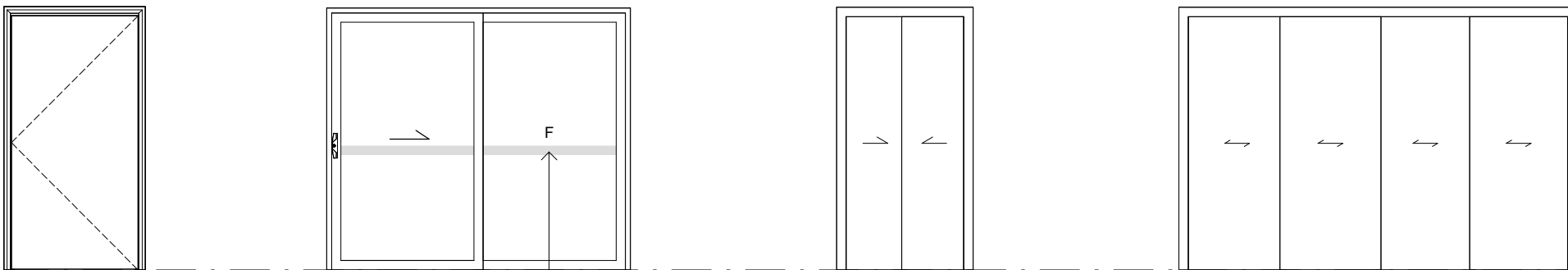


FFL 0

DOOR SCHEDULE				
DOOR NO.	DOOR TYPE	DESCRIPTION	WIDTH	HEIGHT
D.01	DT1	Single Swing Solid-Core Door	1020	2040
D.02	DT1	Single Swing Solid-Core Door	1020	2040
D.03	DT3	2 Panel Robe Sliding Door	950	2040
D.04	DT3	2 Panel Robe Sliding Door	950	2040
D.05	DT1	Single Swing Solid-Core Door	1020	2040
D.06	DT1	Single Swing Solid-Core Door	1020	2040
D.07	DT1	Single Swing Solid-Core Door	1020	2040
D.08	DT4	4 Panel Robe Sliding Door	3060	2040
D.09	DT1	Single Swing Solid-Core Door	1020	2040
D.10	DT3	2 Panel Robe Sliding Door	1854	2140
D.11	DT3	2 Panel Robe Sliding Door	1854	2140
D.12	DT1	Single Swing Solid-Core Door	1020	2040
D.13	DT2	Glazed Aluminium Sliding Door - 1 Fixed Panel	2450	2110

## WINDOW SCHEDULE

1 : 50



DT1  
SOLID CORE TIMBER  
SINGLE SWING DOOR

DT2  
GLAZED ALUMINIUM  
SLIDING DOOR  
(FOR ORIENTATION  
REFER TO BUILDING  
ELEVATIONS)

SOLID  
IDENTIFICATION  
STRIP 75mm WIDE

DT3  
2 PANEL ROBE/LINEN  
SLIDING DOOR

DT4  
4 PANEL ROBE/LINEN  
SLIDING DOOR

## DOOR TYPE ELEVATION

1 : 50

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Development Application: Development  
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1/37 Ascot Dr, Huntingfield TAS 7055  
P +61 3 6289 6601

Home: ABELIA-12.5(05H.02)

Client: SJM

Location: 22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171

Drawing: WINDOW & DOOR SCHEDULE

Facade: A-ZARA  
01-MONUMENT

### DRAWING DETAILS

6/18/2024 1:15:11 PM

SCALE SHEET SIZE  
As indicated A3

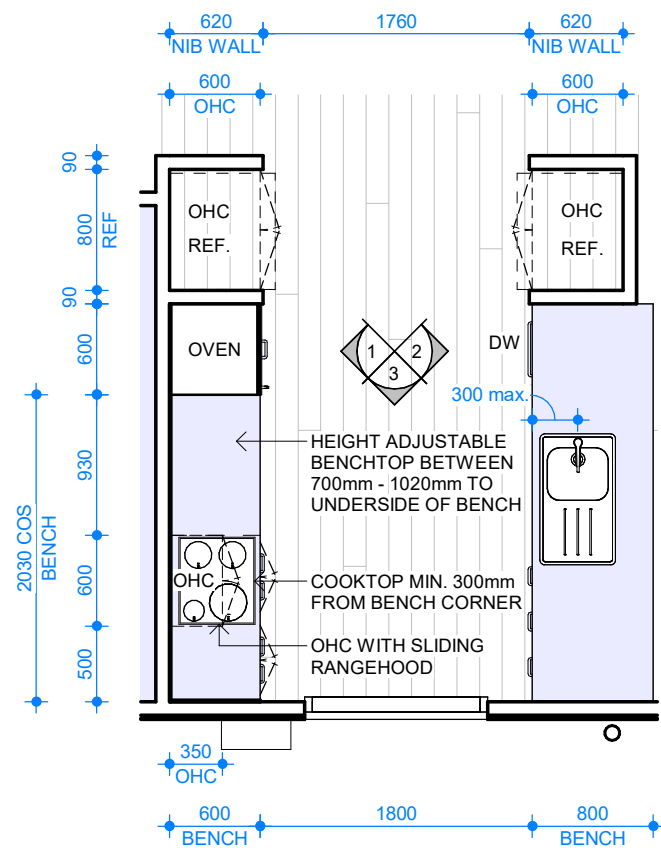
JOB No: 494N

Drwg No: D05 Issue A02

All dimensions to be verified on site

### NOTES:

- SOLID IDENTIFICATION STRIP 75mm WIDE REQUIRED TO GLAZING BETWEEN 900mm TO 1000mm FFL FOR PREVENTION OF ACCIDENTAL MOVEMENT.
- WINDOW & DOOR GLAZING SPECIFICATIONS:  
-ESSENTIAL 52mm AWNING WINDOW (CLEAR DOUBLE GLAZED)  
-U-VALUE=4.1 SHGC=0.57  
-SIGNATURE 100mm SLIDING DOOR (CLEAR DOUBLE GLAZED)  
-U-VALUE=3.6 SHGC=0.66



### KITCHEN PLAN

1 : 50

**D PULL HANDLE:**  
D PULL CUPBOARD HANDLES TO ALL CUPBOARDS UNLESS NOTED OTHERWISE

PUSH TO RELEASE MECHANISMS FOR BOTH OVERHEAD AND UNDER BENCH CUPBOARDS

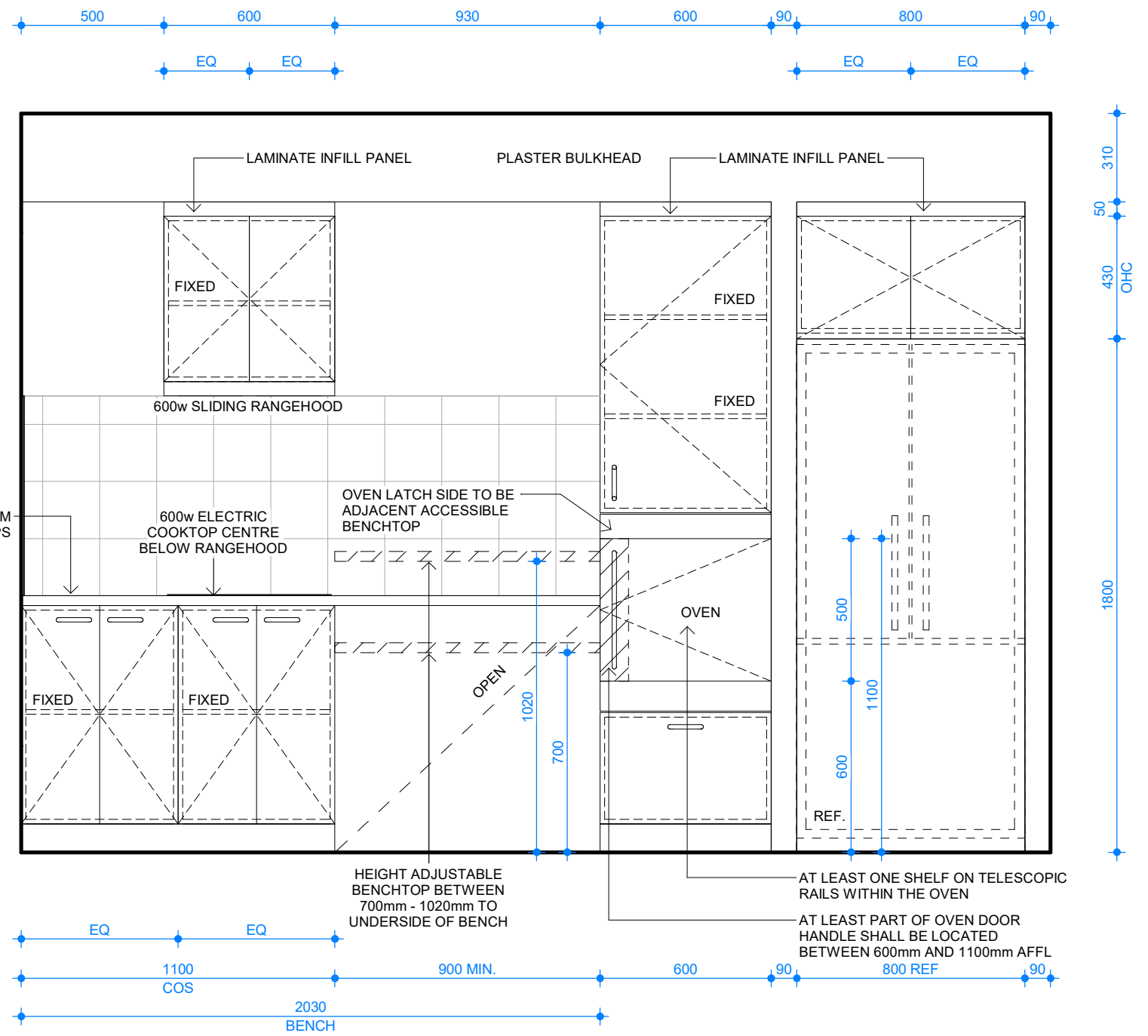
**C.O.S. DIMENSION:**  
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**BENCHTOP:**  
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)

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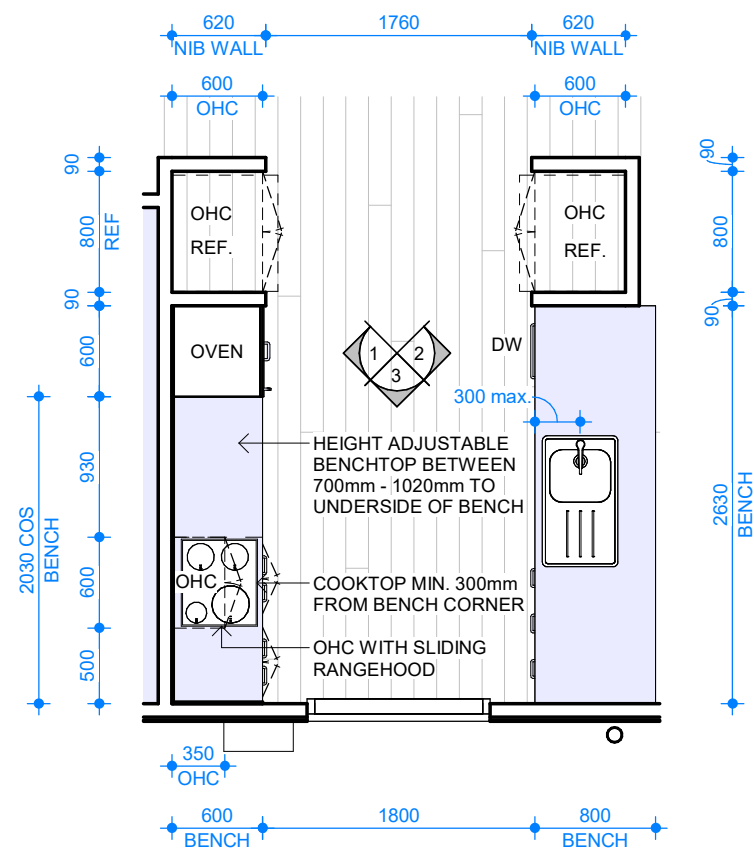
**SJM property developments**  
1/37 Ascot Dr, Huntingfield TAS 7055  
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### 1 KITCHEN ELEVATION

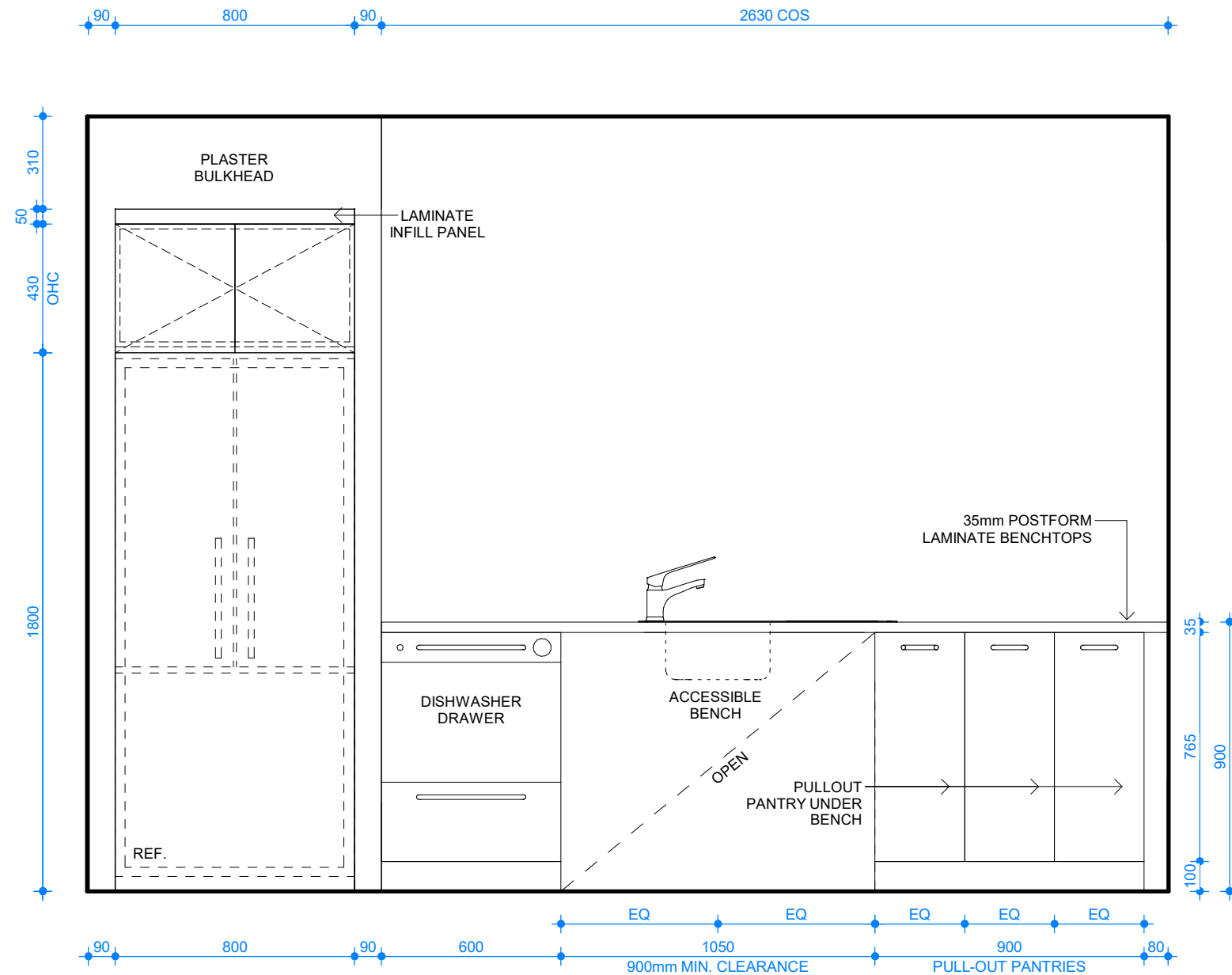
D06a 1 : 20

Home: <b>ABELIA-12.5(05H.02)</b> Client: <b>SJM</b> Location: <b>22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171</b>	Facade: <b>A-ZARA 01-MONUMENT</b>	<b>DRAWING DETAILS</b>	
		6/18/2024 1:15:12 PM	
Drawing: <b>INTERNAL ELEVATIONS - KITCHEN</b>	All dimensions to be verified on site	SCALE	SHEET SIZE
		As indicated	A3
JOB No: <b>494N</b>	Drwg No: <b>D06a</b>	Issue <b>A02</b>	



### KITCHEN PLAN

1 : 50



### 2 KITCHEN ELEVATION

D06a 1 : 20

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**BENCHTOP:**  
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)

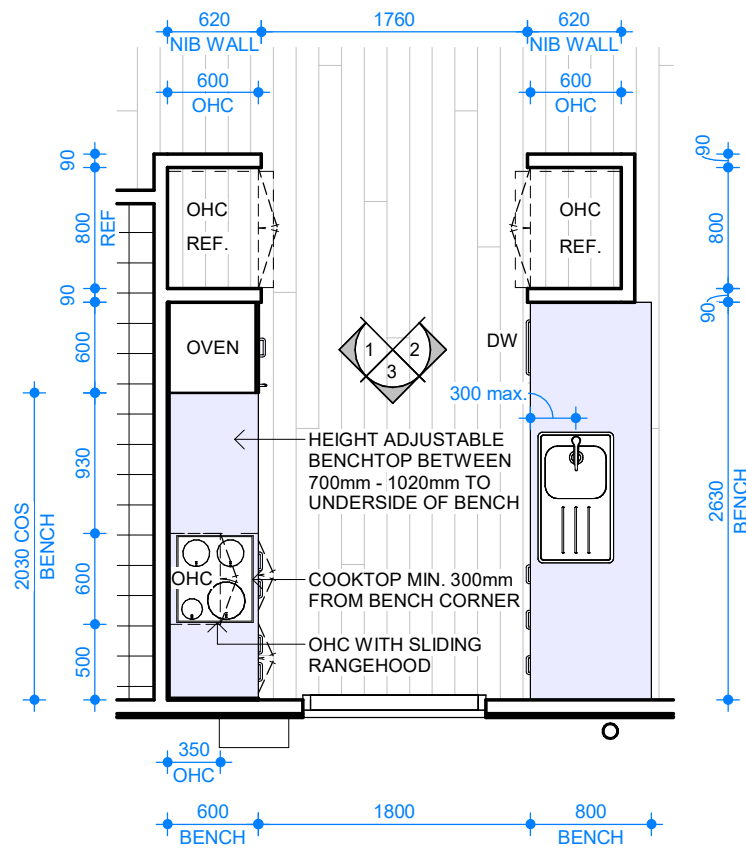
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Home: **ABELIA-12.5(05H.02)** Facade: **A-ZARA 01-MONUMENT**  
Client: **SJM**  
Location: **22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171**  
Drawing: **INTERNAL ELEVATIONS - KITCHEN**

DRAWING DETAILS	
6/18/2024 1:15:12 PM	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	<b>494N</b>
Drwg No:	<b>D06b</b> Issue <b>A02</b>
All dimensions to be verified on site	



**KITCHEN PLAN**  
1 : 50

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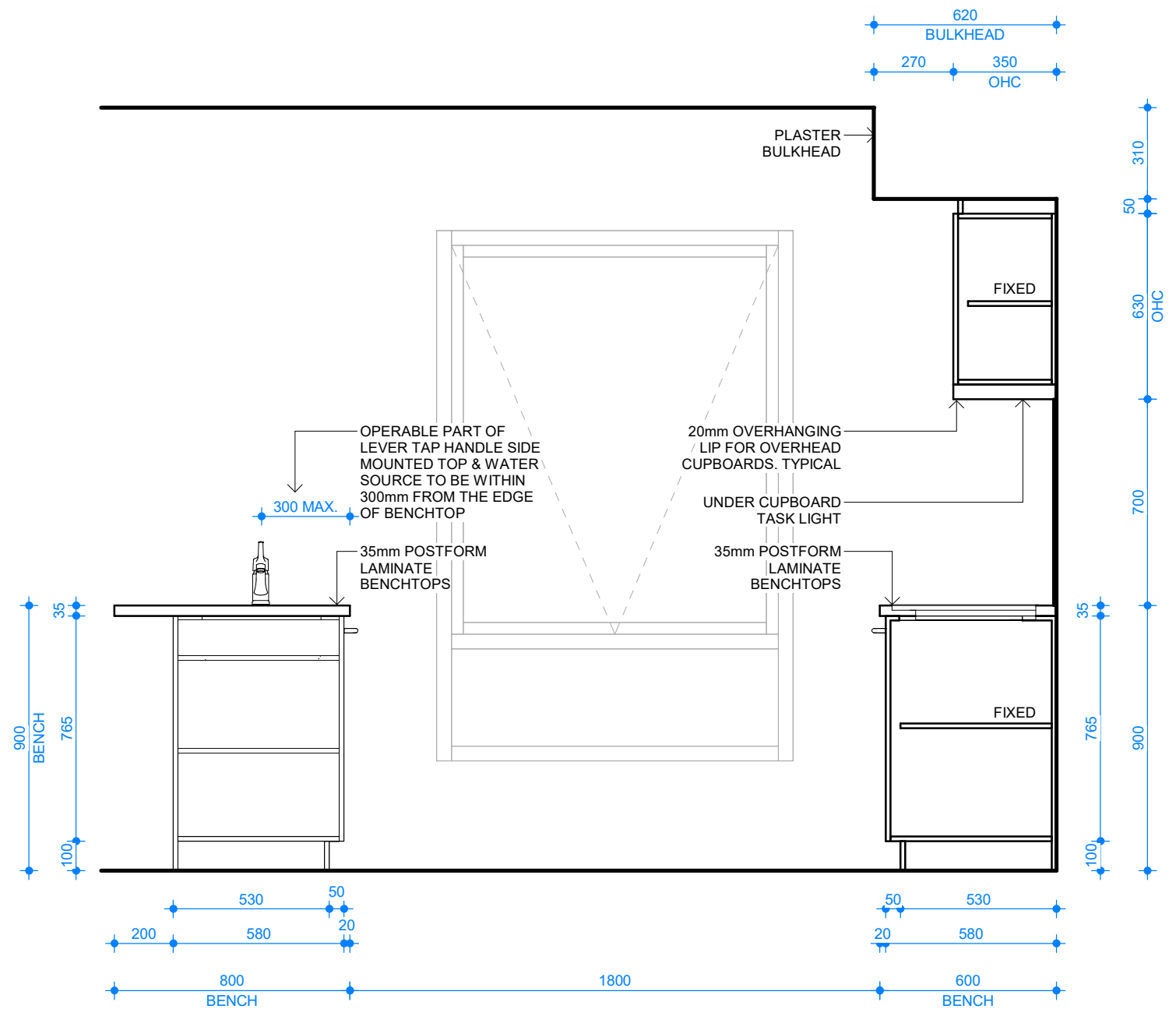
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**3 KITCHEN ELEVATION**  
D06a 1 : 20



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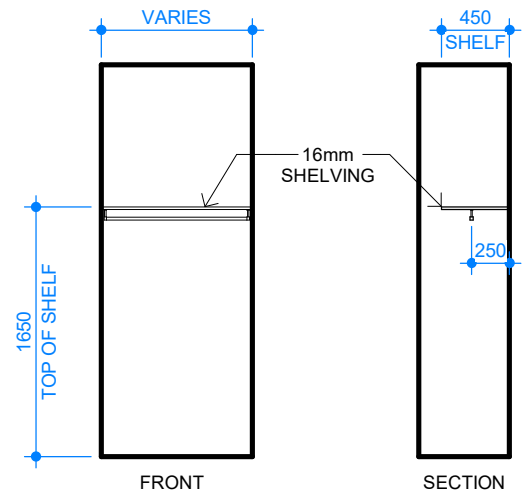
Home: **ABELIA-12.5(05H.02)**  
Client: **SJM**  
Location: **22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171**  
Drawing: **INTERNAL ELEVATIONS - KITCHEN**

Facade: **A-ZARA 01-MONUMENT**

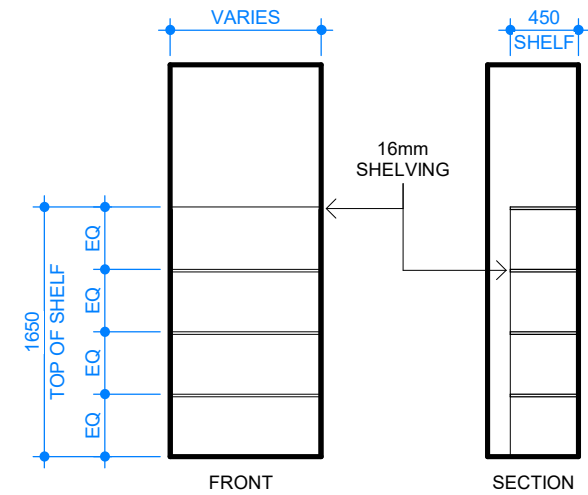
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As indicated	A3
JOB No:	<b>494N</b>
Drwg No:	<b>D06c</b>
Issue	<b>A02</b>

All dimensions to be verified on site

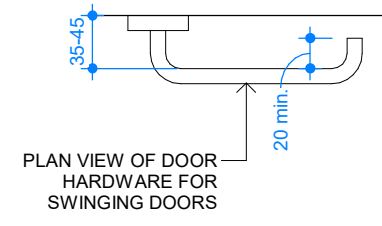




**TYPICAL ROBE**  
1 : 50



**TYPICAL LINEN**  
1 : 50



**TYPICAL DOOR HARDWARE**  
1 : 5

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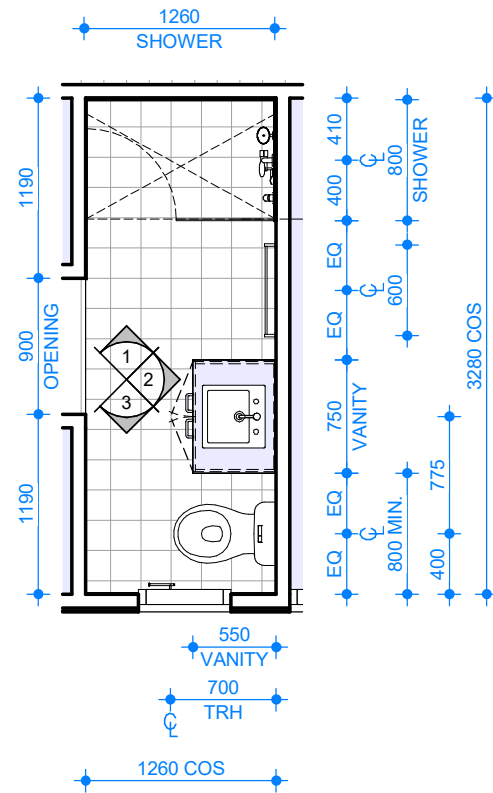
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**BENCHTOP:**  
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)

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	Drawing: <b>INTERNAL ELEVATIONS - TYPICAL</b>	All dimensions to be verified on site	SCALE: As indicated SHEET SIZE: A3	JOB No: <b>494N</b> Drwg No: <b>D06d</b> Issue <b>A02</b>



### WC PLAN

1 : 50

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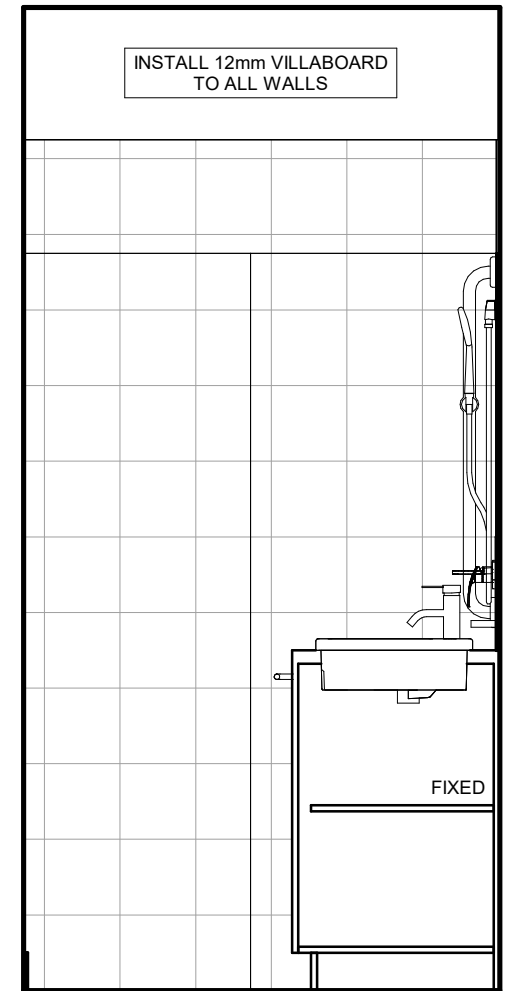
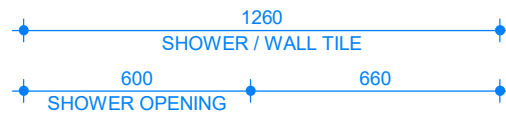
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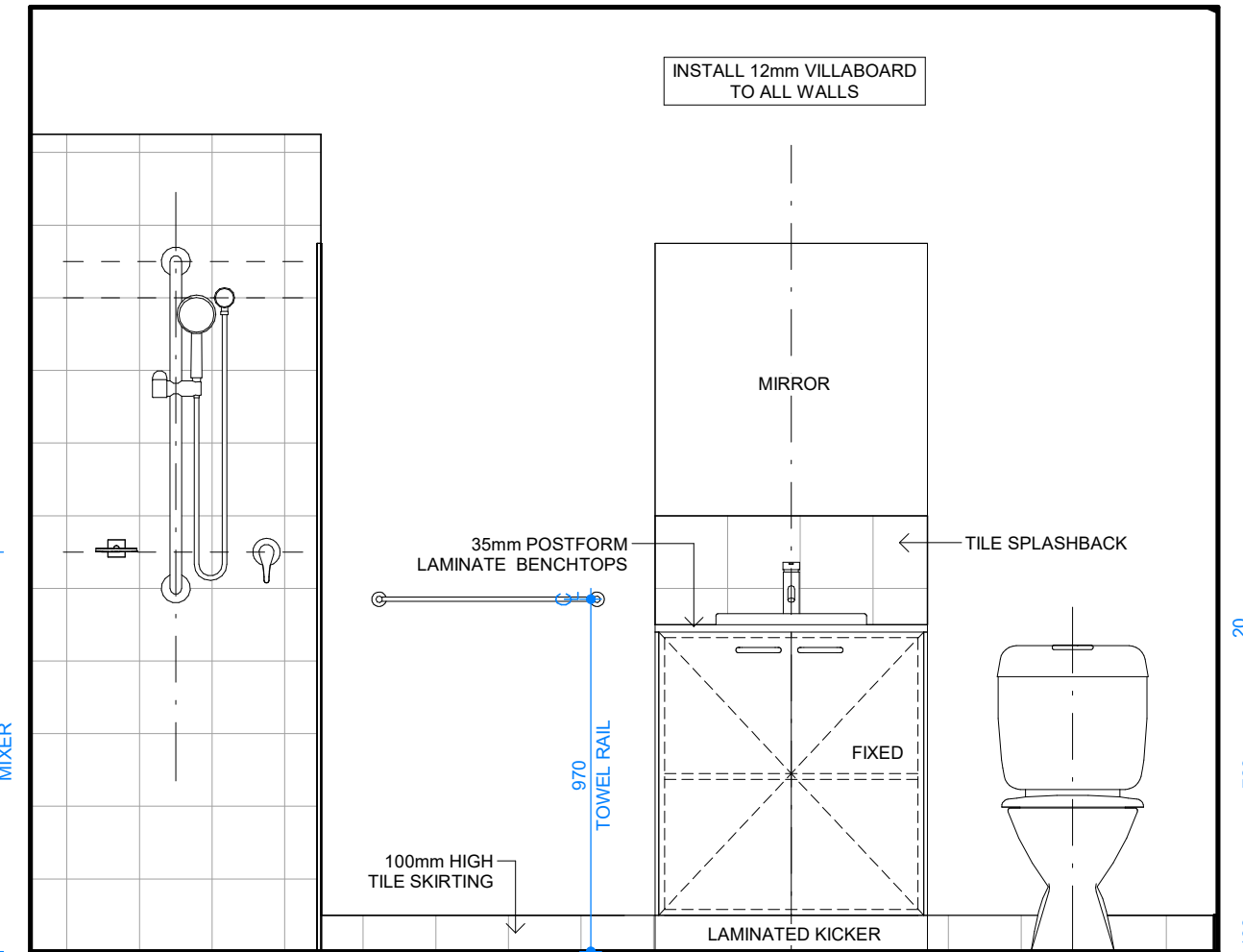
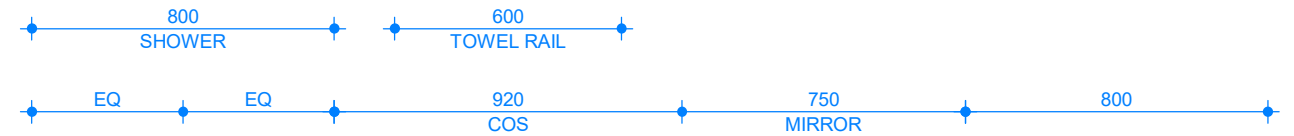
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- WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
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### 1 WC ELEVATION

D07a 1 : 20



### 2 WC ELEVATION

D07a 1 : 20

**Sorell Council**  
Development Application: Development Application - 22 Oakmont Road, Midway - P1.pdf  
Plans Reference: P1  
Date Received: 19/06/2024



1/37 Ascot Dr, Huntingfield TAS 7055  
P +61 3 6289 6601

Home: ABELIA-12.5(05H.02)

Client: SJM

Location: 22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171

Drawing: WET AREA ELEVATIONS - WC

Facade: A-ZARA  
01-MONUMENT

**DRAWING DETAILS**

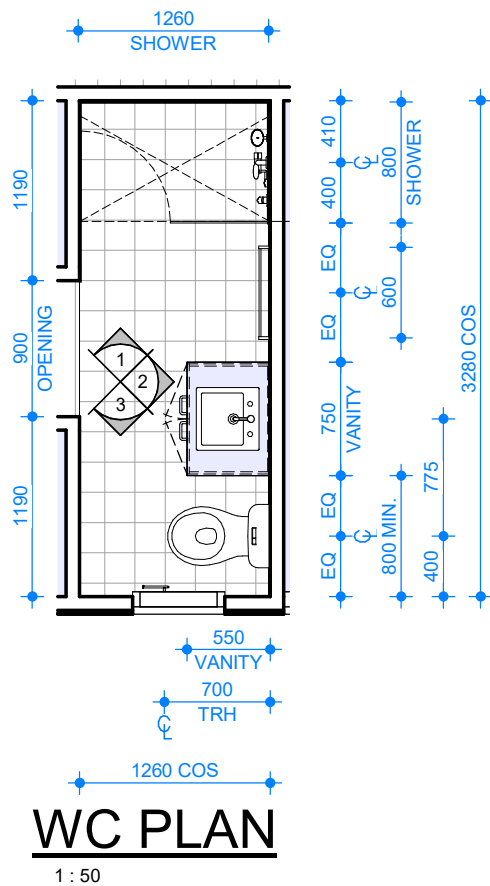
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SCALE As indicated SHEET SIZE A3

JOB No: 494N

Drwg No: D07a Issue A02

All dimensions to be verified on site



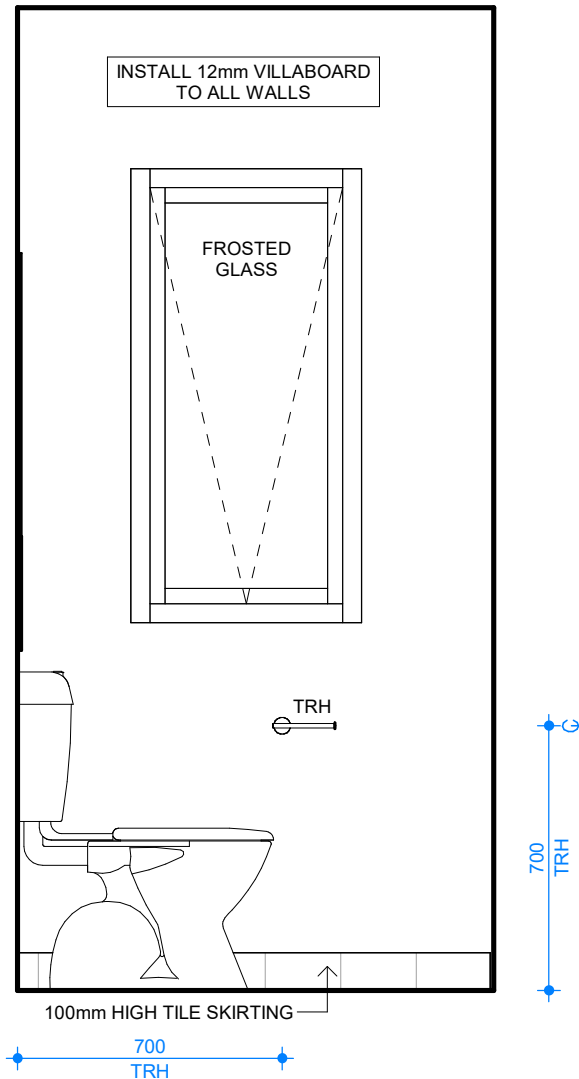
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PUSH TO RELEASE MECHANISMS FOR BOTH OVERHEAD AND UNDER BENCH CUPBOARDS

**C.O.S. DIMENSION:**  
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**BENCHTOP:**  
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)

**Sorell Council**  
Development Application: Development Application - 22 Oakmont Road, Midway - P1.pdf  
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Home: **ABELIA-12.5(05H.02)**

Client: **SJM**

Location: **22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171**

Drawing: **WET AREA ELEVATIONS - WC**

Facade: **A-ZARA  
01-MONUMENT**

**DRAWING DETAILS**

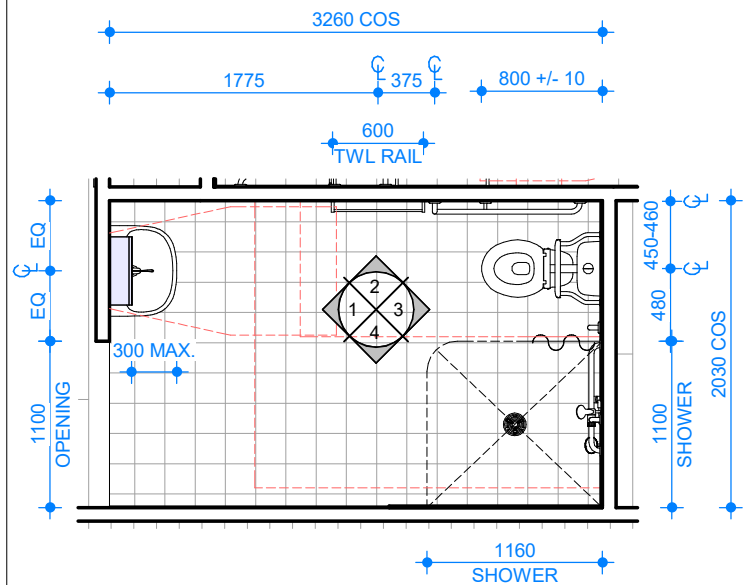
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SCALE	SHEET SIZE
As indicated	A3

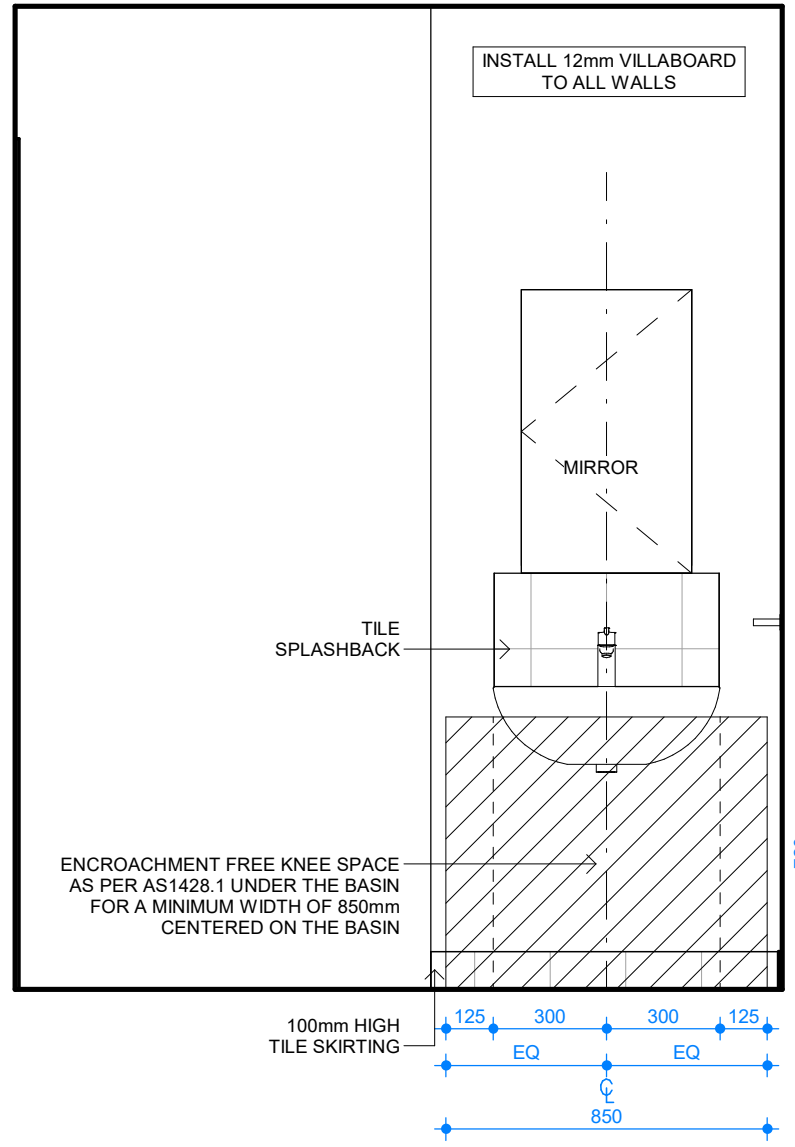
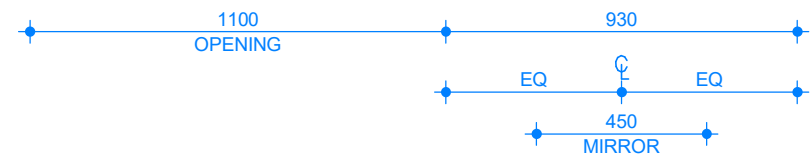
JOB No: **494N**

Drwg No: **D07b** Issue **A02**

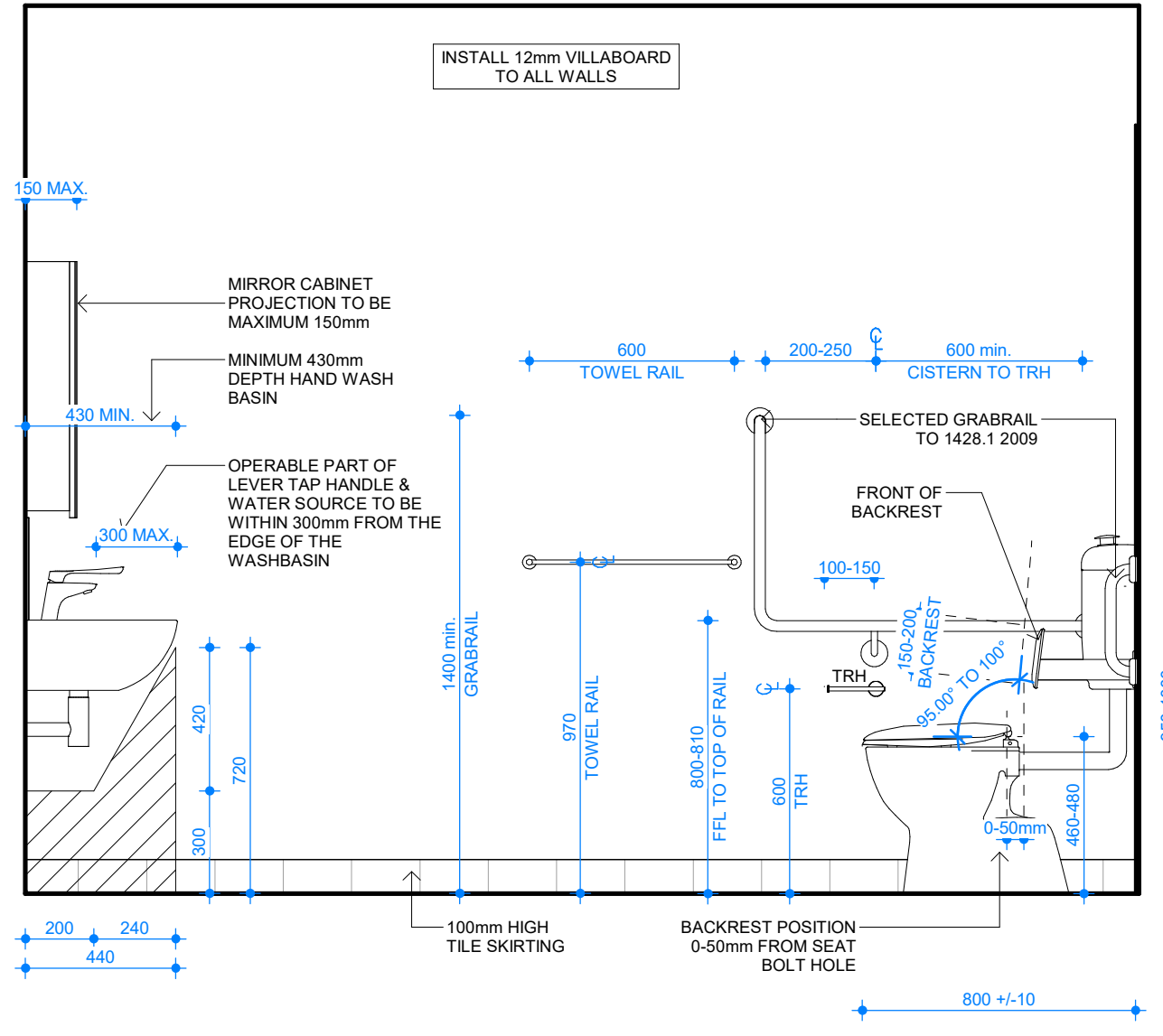
All dimensions to be verified on site



**ENSUITE 1 PLAN**  
1 : 50



**1 ENSUITE 1 ELEVATION**  
D07c 1 : 20



**2 ENSUITE 1 ELEVATION**  
D07c 1 : 20

**D PULL HANDLE:**  
D PULL CUPBOARD HANDLES TO ALL CUPBOARDS UNLESS NOTED OTHERWISE

PUSH TO RELEASE MECHANISMS FOR BOTH OVERHEAD AND UNDER BENCH CUPBOARDS

**C.O.S. DIMENSION:**  
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**BENCHTOP:**  
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)

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**Sorell Council**  
Development Application: Development Application - 22 Oakmont Road, Midway - P1.pdf  
Plans Reference: P1  
Date Received: 19/06/2024

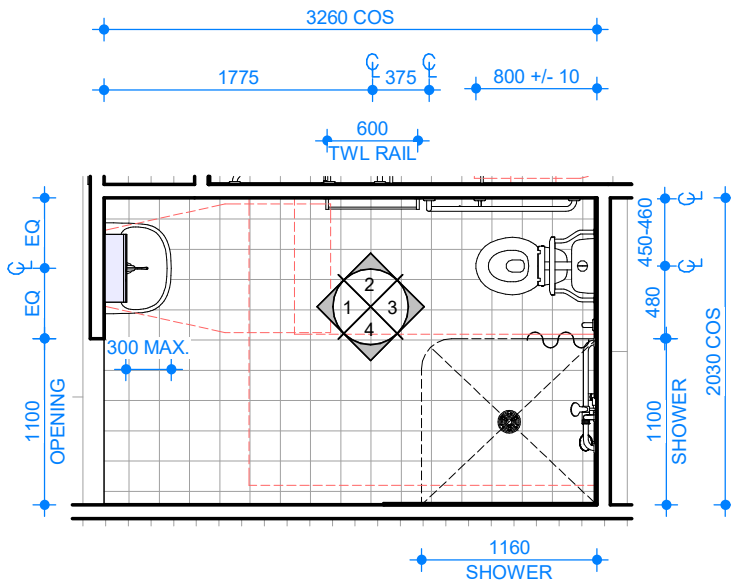
**SJM property developments**  
1/37 Ascot Dr, Huntingfield TAS 7055  
P +61 3 6289 6601

Home: **ABELIA-12.5(05H.02)** Facade: **A-ZARA 01-MONUMENT**  
Client: **SJM**  
Location: **22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171**  
Drawing: **WET AREA ELEVATIONS - ENSUITE 1**

DRAWING DETAILS	
6/18/2024 1:15:14 PM	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	<b>494N</b>
Drwg No:	<b>D07c</b>
Issue	<b>A02</b>

All dimensions to be verified on site





### ENSUITE 1 PLAN

1 : 50

**D PULL HANDLE:**  
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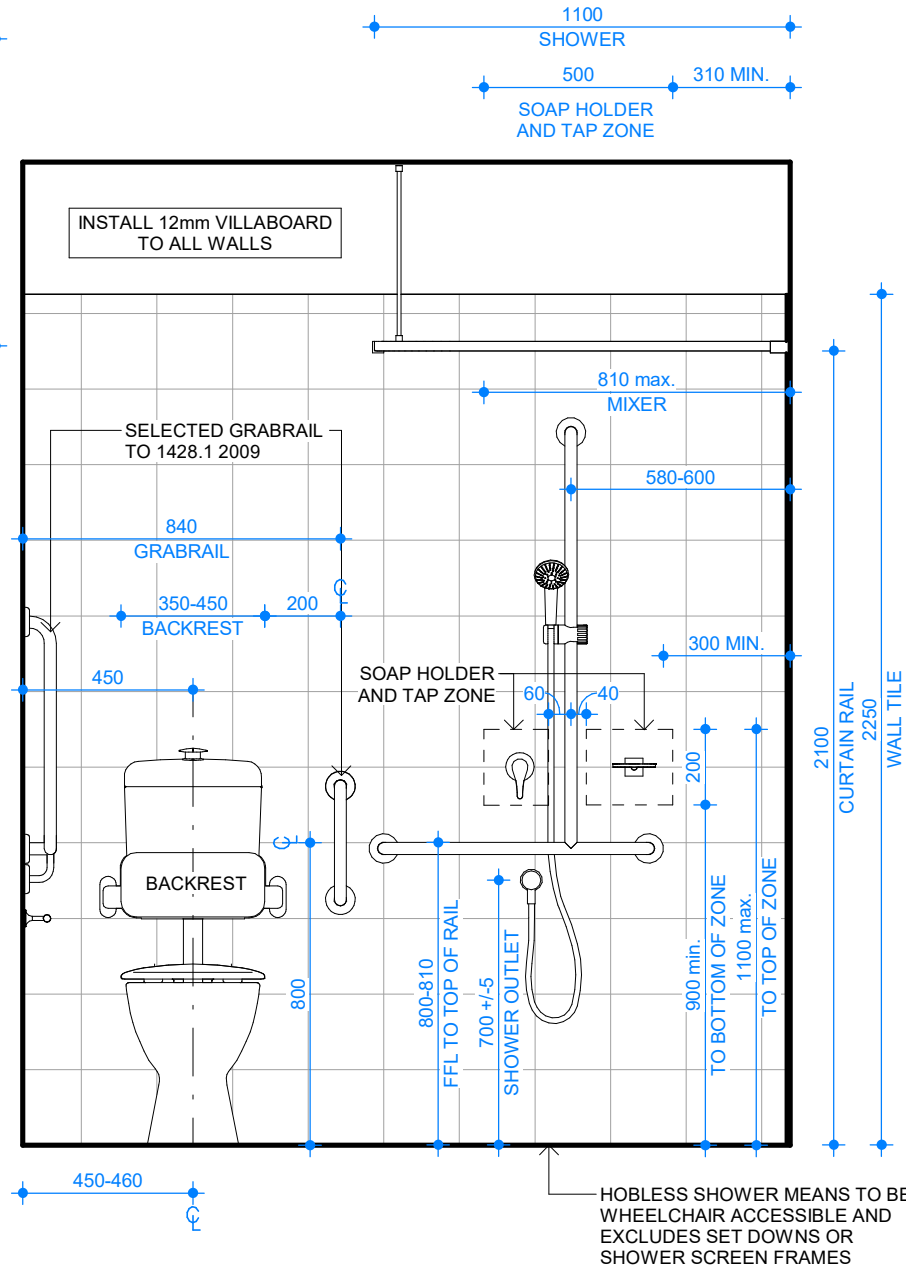
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**BENCHTOP:**  
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)

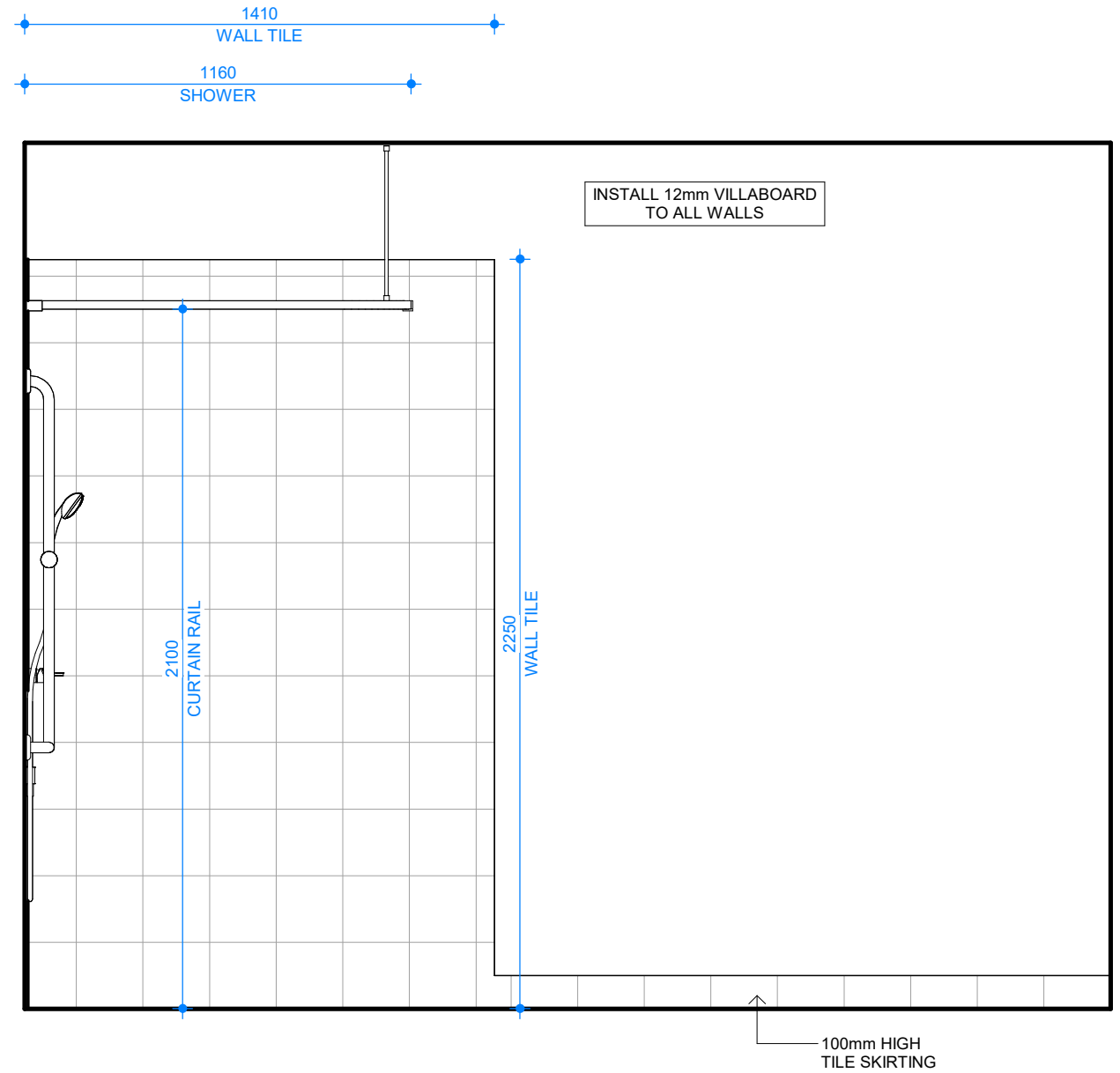
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### 3 ENSUITE 1 ELEVATION

D07c 1 : 20

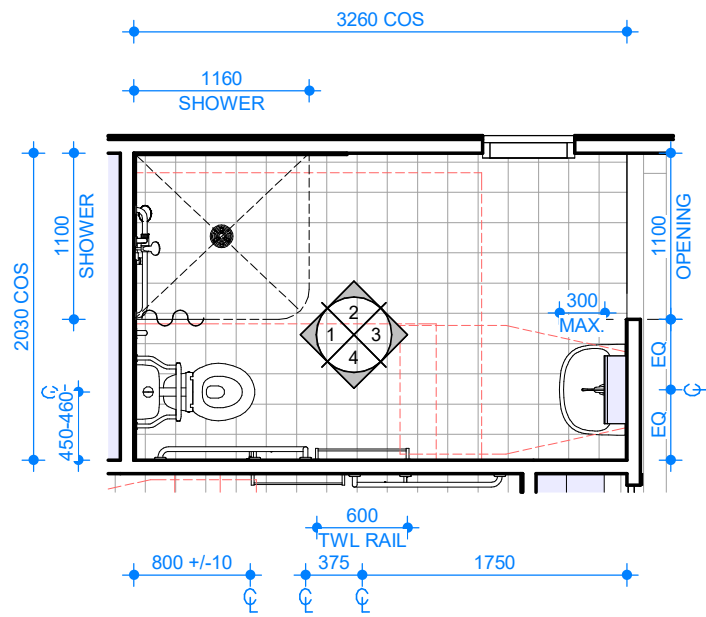


### 4 ENSUITE 1 ELEVATION

D07c 1 : 20

**Sorell Council**  
Development Application: Development  
Application - 22 Oakmont Road, Midway - P1.pdf  
Plans Reference:P1  
Date Received:19/06/2024

<p>1/37 Ascot Dr, Huntingfield TAS 7055 P +61 3 6289 6601</p>	<p>Home: <b>ABELIA-12.5(05H.02)</b></p> <p>Client: <b>SJM</b></p> <p>Location: <b>22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171</b></p> <p>Drawing: <b>WET AREA ELEVATIONS - ENSUITE 1</b></p>	<p>Facade: <b>A-ZARA 01-MONUMENT</b></p>	<p><b>DRAWING DETAILS</b></p> <p>6/18/2024 1:15:15 PM</p>	
			<p>SCALE: As indicated</p>	<p>SHEET SIZE: A3</p>
<p>JOB No: <b>494N</b></p>		<p>Drwg No: <b>D07d</b> Issue <b>A02</b></p>		
<p>All dimensions to be verified on site</p>			<p></p>	



# ENSUITE 2 PLAN

1 : 50

**D PULL HANDLE:**  
D PULL CUPBOARD HANDLES TO ALL CUPBOARDS UNLESS NOTED OTHERWISE

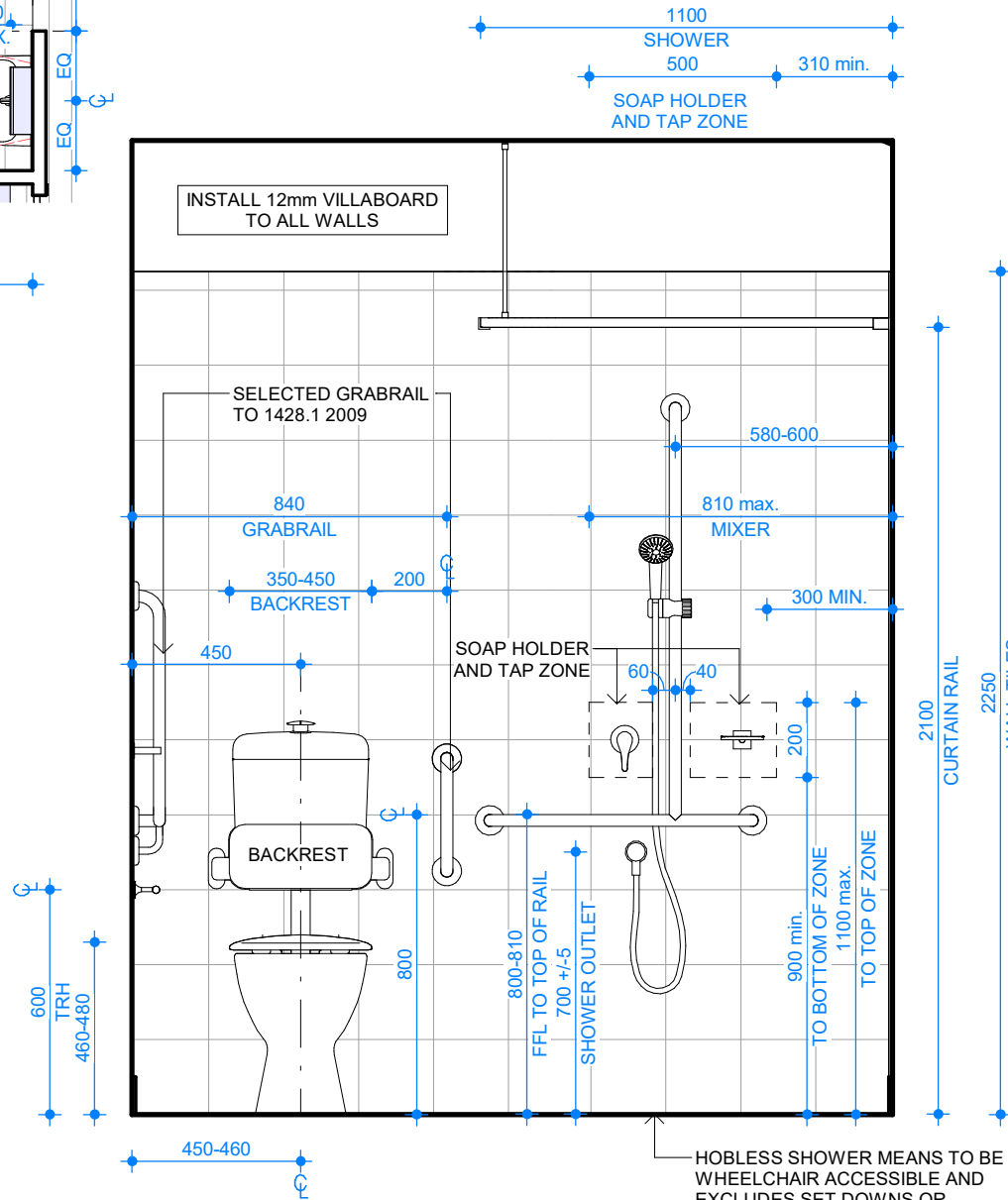
PUSH TO RELEASE MECHANISMS FOR BOTH OVERHEAD AND UNDER BENCH CUPBOARDS

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**BENCHTOP:**  
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)

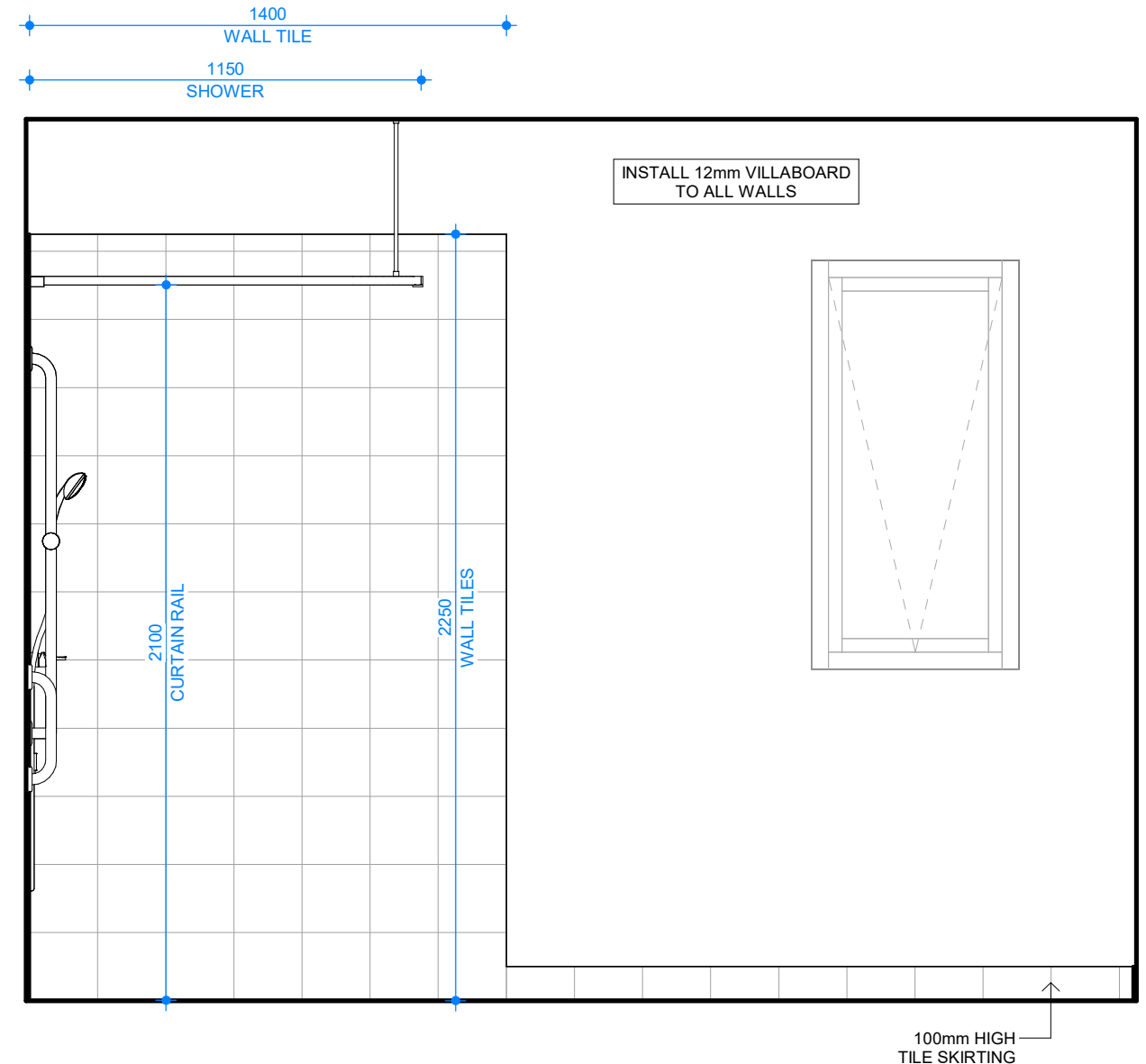
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## 1 ENSUITE 2 ELEVATION

D07e 1 : 20



## 2 ENSUITE 2 ELEVATION

D07e 1 : 20

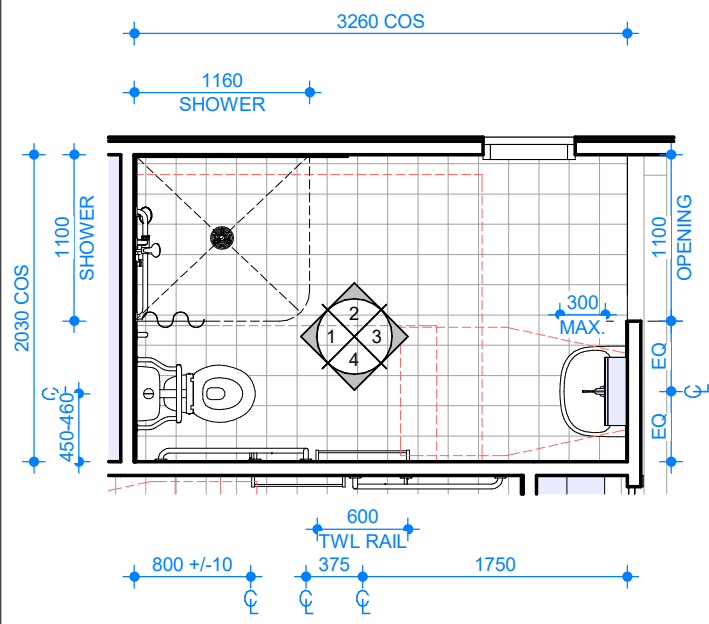
**Sorell Council**  
Development Application: Development Application - 22 Oakmont Road, Midway - P1.pdf  
Plans Reference: P1  
Date Received: 19/06/2024

**SJM property developments**  
1/37 Ascot Dr, Huntingfield TAS 7055  
P +61 3 6289 6601

Home: **ABELIA-12.5(05H.02)** Facade: **A-ZARA 01-MONUMENT**  
Client: **SJM**  
Location: **22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171**  
Drawing: **WET AREA ELEVATIONS - ENSUITE 2**

DRAWING DETAILS	
6/18/2024 1:15:15 PM	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	<b>494N</b>
Drwg No:	<b>D07e</b>
Issue	<b>A02</b>

All dimensions to be verified on site



### ENSUITE 2 PLAN

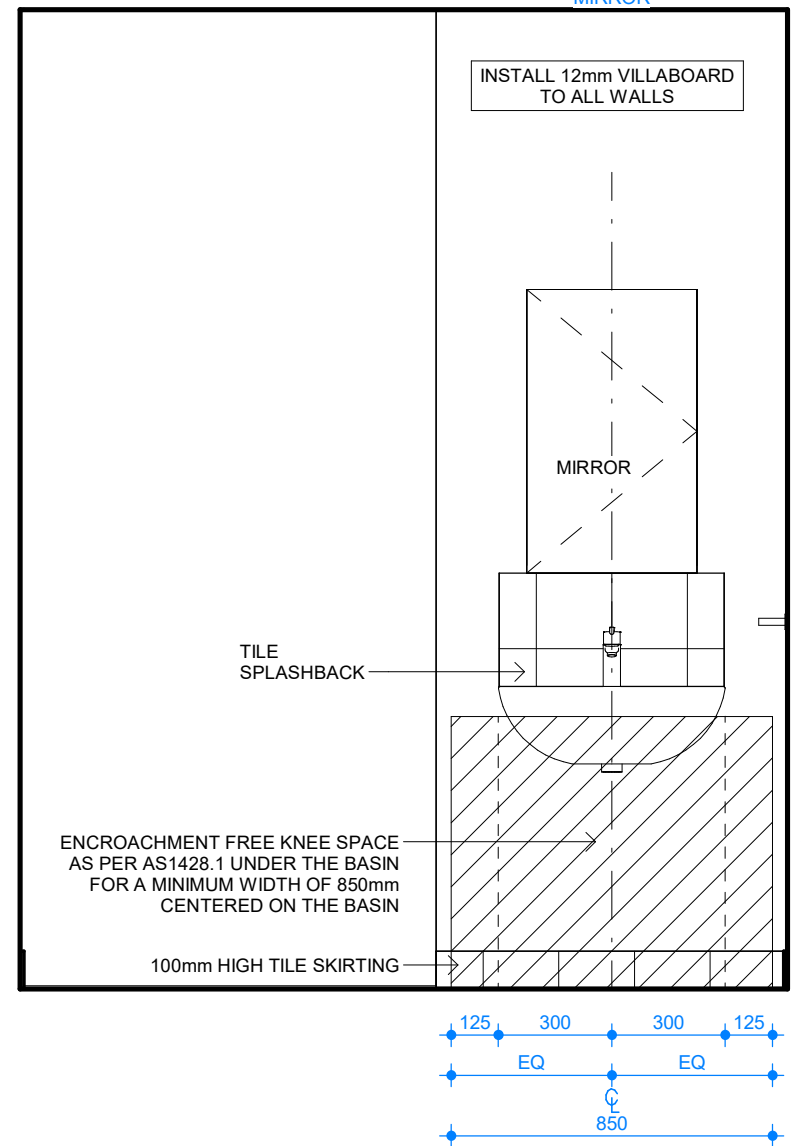
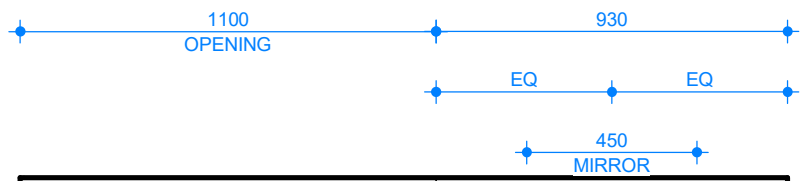
1 : 50

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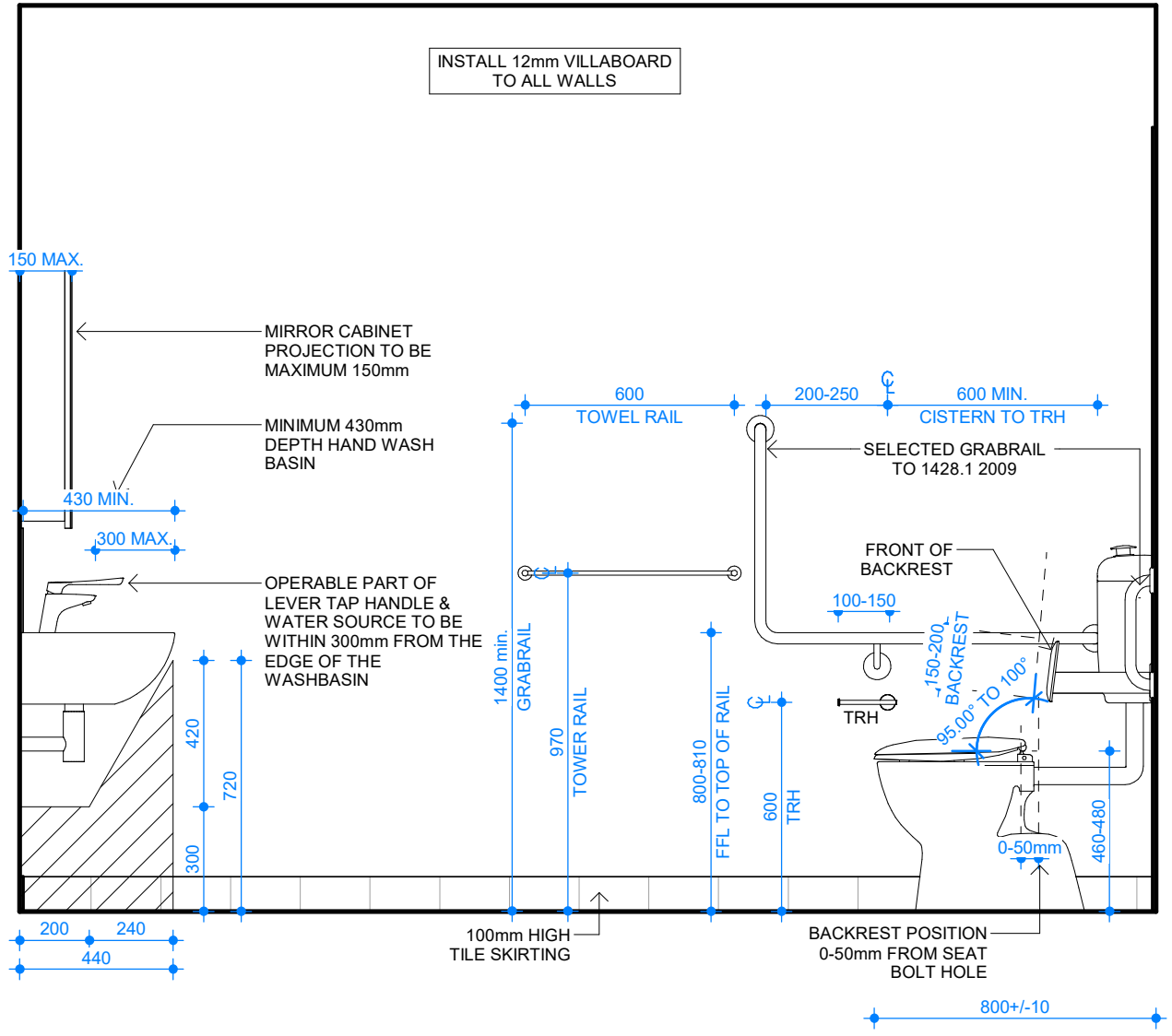
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**BENCHTOP:**  
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### 3 ENSUITE 2 ELEVATION

D07e 1 : 20



### 4 ENSUITE 2 ELEVATION

D07e 1 : 20

**Sorell Council**  
Development Application: Development Application - 22 Oakmont Road, Midway - P1.pdf  
Plans Reference: P1  
Date Received: 19/06/2024

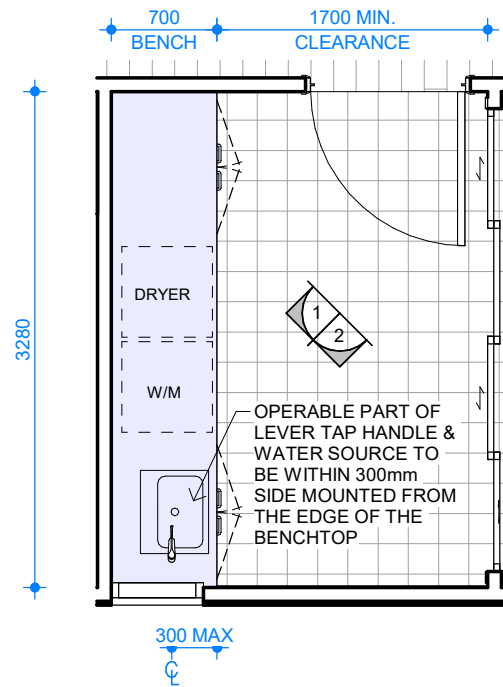
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**SJM property developments**  
1/37 Ascot Dr, Huntingfield TAS 7055  
P +61 3 6289 6601

Home: **ABELIA-12.5(05H.02)** Facade: **A-ZARA 01-MONUMENT**  
Client: **SJM**  
Location: **22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171**  
Drawing: **WET AREA ELEVATIONS - ENSUITE 2**

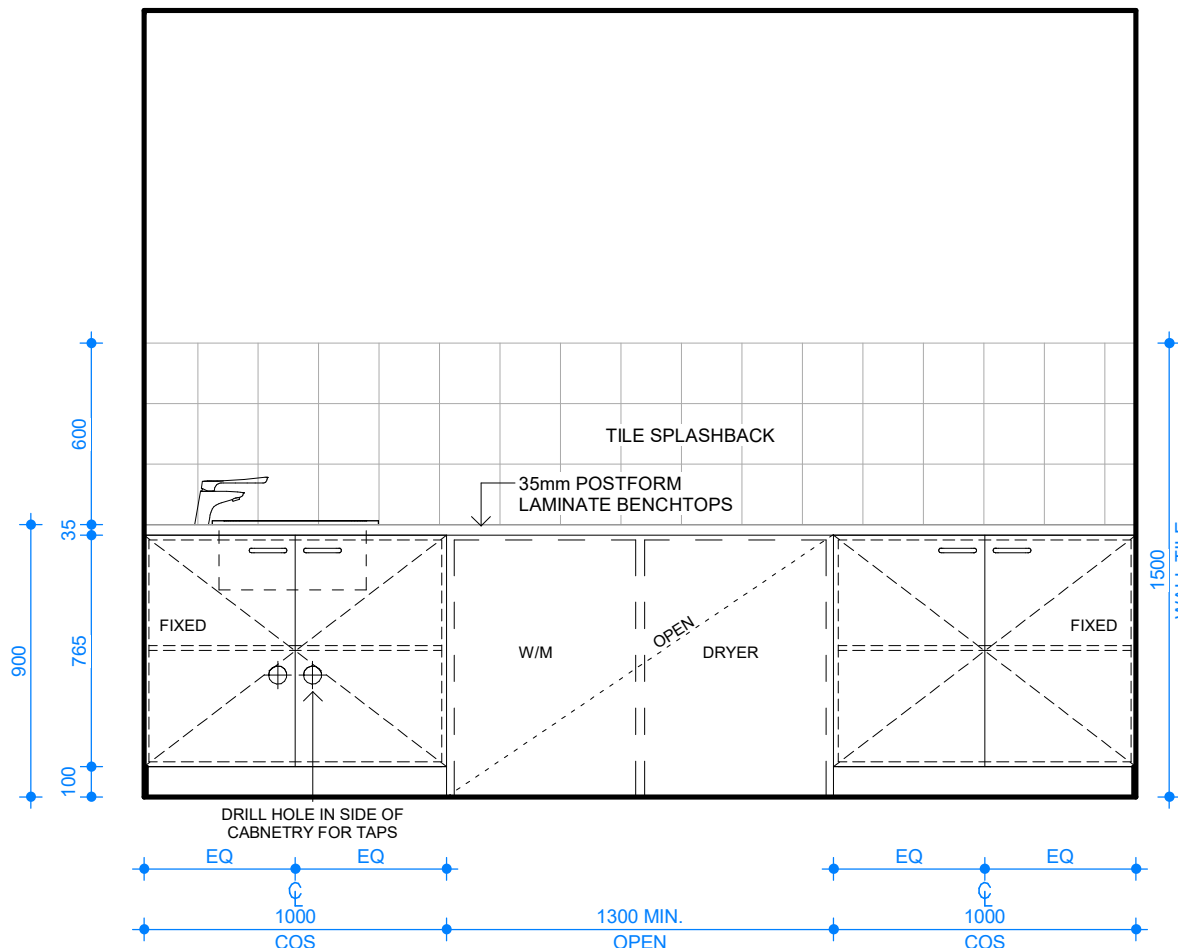
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SCALE	SHEET SIZE
As indicated	A3
JOB No:	<b>494N</b>
Drwg No:	<b>D07f</b> Issue <b>A02</b>

All dimensions to be verified on site



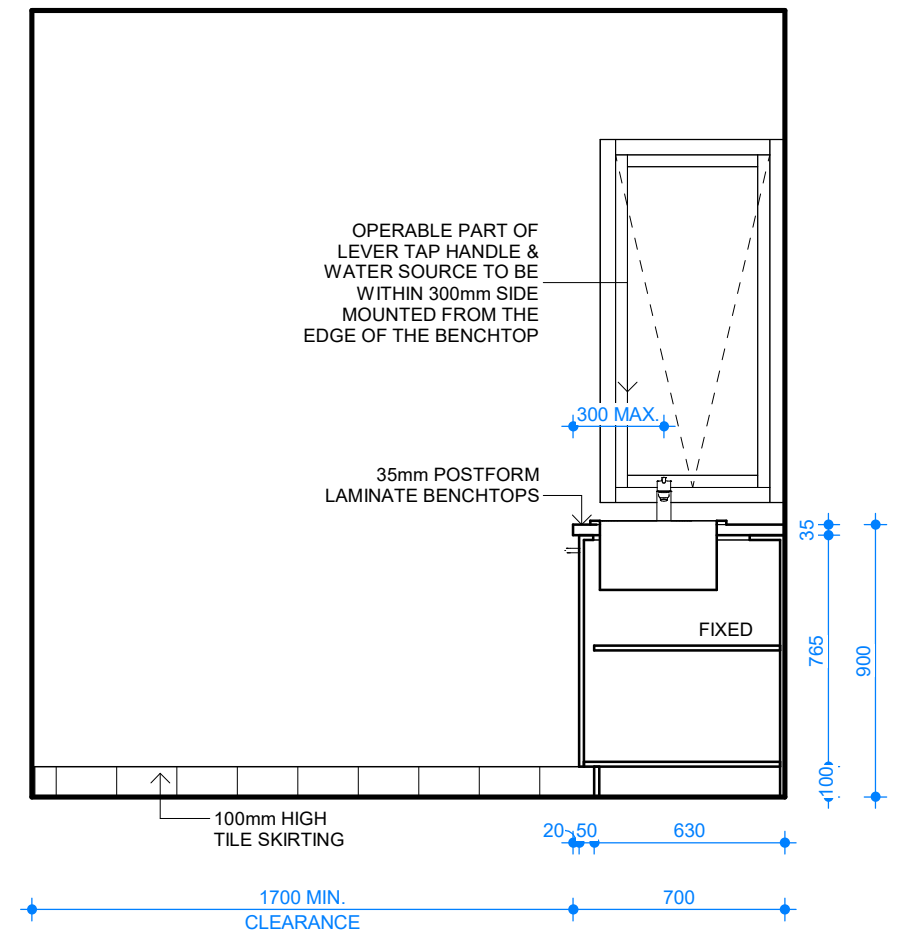
## LAUNDRY PLAN

1 : 50



## 1 LAUNDRY ELEVATION

D07g 1 : 25



## 2 LAUNDRY ELEVATION

D07a 1 : 25

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**BENCHTOP:**  
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1/37 Ascot Dr, Huntingfield TAS 7055  
P +61 3 6289 6601

Home: ABELIA-12.5(05H.02)

Client: SJM

Location: 22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171

Drawing: WET AREA ELEVATIONS - LAUNDRY

Facade: A-ZARA  
01-MONUMENT

### DRAWING DETAILS

6/18/2024 1:15:16 PM


SCALE As indicated SHEET SIZE A3

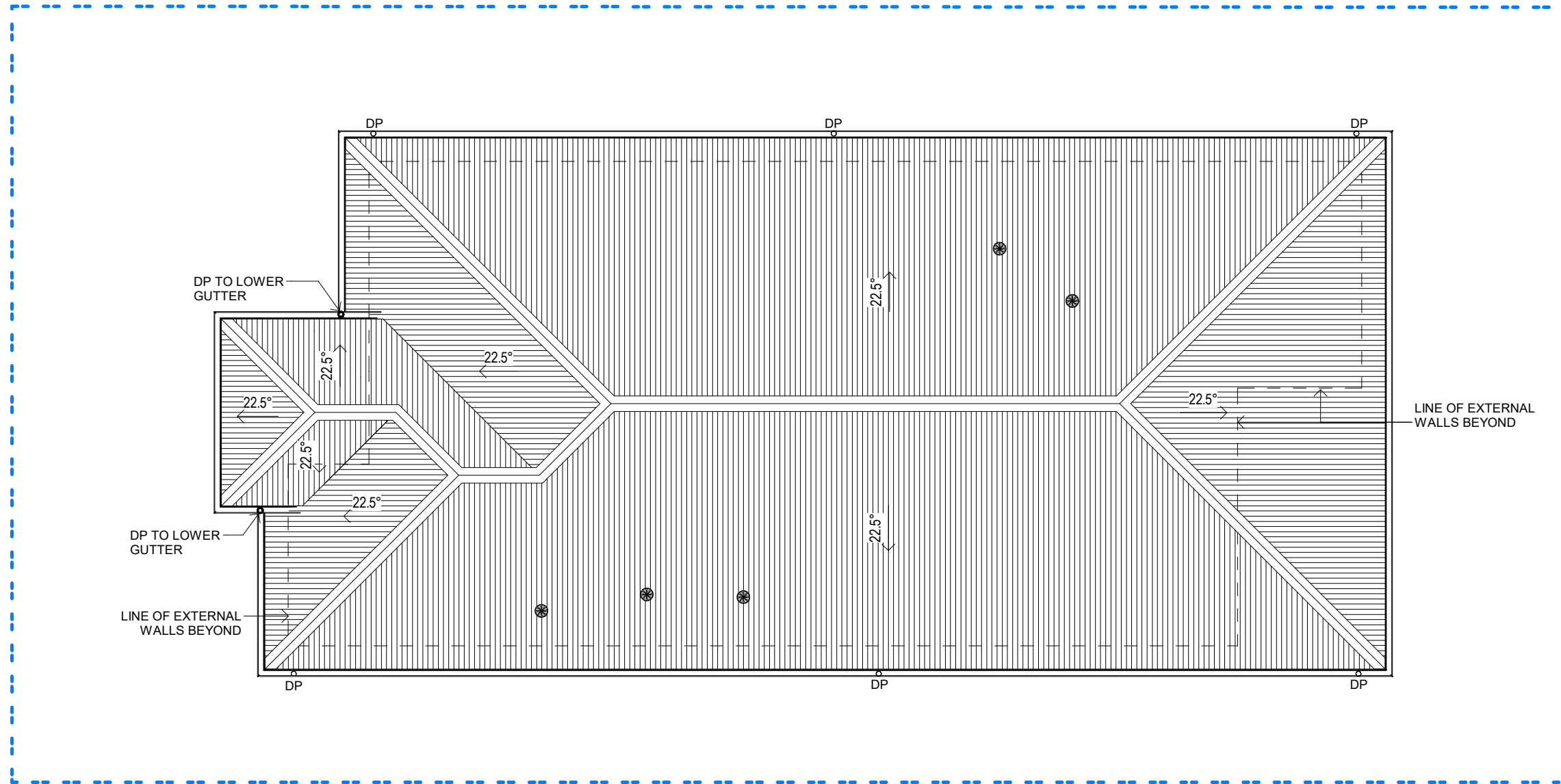
JOB No: 494N

Drwg No: D07g Issue A02

All dimensions to be verified on site



LEGEND	
	ROOF VENTILATION - TO NCC REQUIREMENTS



 **Sorell Council**  
 Development Application: Development Application - 22 Oakmont Road, Midway - P1.pdf  
 Plans Reference:P1  
 Date Received:19/06/2024

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## ROOF PLAN

1 : 100



1/37 Ascot Dr, Huntingfield TAS 7055  
 P +61 3 6289 6601

Home: **ABELIA-12.5(05H.02)**

Client: SJM

Location: 22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171

Drawing: **ROOF PLAN**

Facade: **A-ZARA  
01-MONUMENT**



All dimensions to be verified on site

**DRAWING DETAILS**

6/18/2024 1:15:17 PM

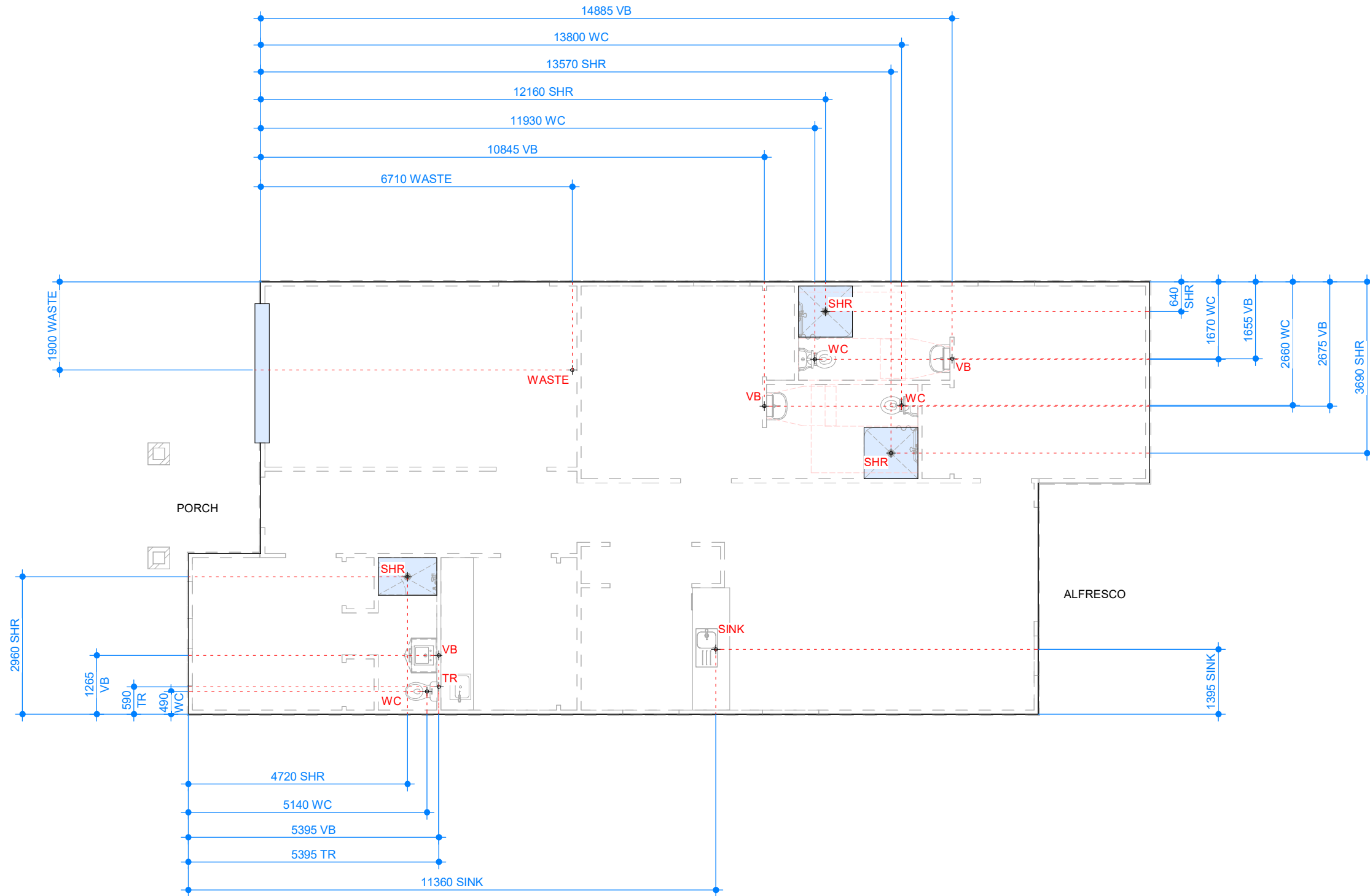
SCALE SHEET SIZE

1 : 100 A3

JOB No: **494N**

Drwg No: **D08** Issue **A02**





**Sorell Council**  
 Development Application: Development Application - 22 Oakmont Road, Midway - P1.pdf  
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# SLAB PENETRATION PLAN

1 : 100

**SJM** property developments  
 1/37 Ascot Dr, Huntingfield TAS 7055  
 P +61 3 6289 6601

Home: **ABELIA-12.5(05H.02)**  
 Client: **SJM**  
 Location: **22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171**  
 Drawing: **SLAB PENETRATION PLAN**

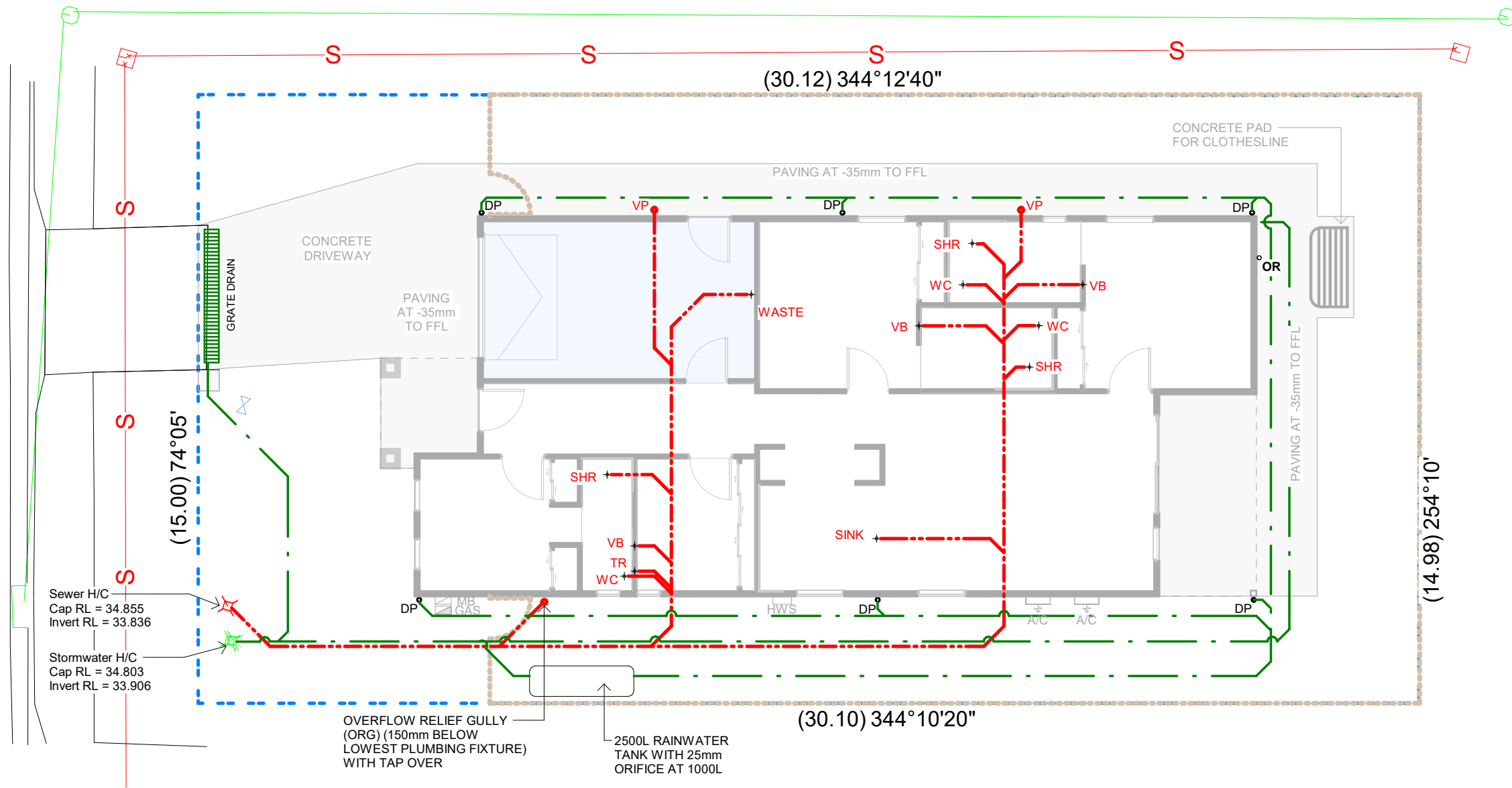
Facade: **A-ZARA 01-MONUMENT**



DRAWING DETAILS	
6/18/2024 1:15:18 PM	
SCALE	SHEET SIZE
1 : 100	A3
JOB No:	<b>494N</b>
Drwg No:	<b>D10a</b>
Issue	<b>A02</b>

All dimensions to be verified on site

OAKMONT ROAD



# PLUMBING PLAN

1 : 125

**NOTE:**  
VENTING OF DRAINS TO COMPLY WITH AS/NZS 3500.2 3.9.2.1 CLAUSE.

PLUMBING LEGEND:	
	100Ø SEWER PIPE
	100Ø STORMWATER PIPE
WC	Ø100 WATER CLOSER
VP	Ø50 VENT PIPE
TR	Ø50 TROUGH
SHR	Ø50 SHOWER
SINK	Ø50 SINK
VB	Ø40 VANITY/BASIN
AAV	AIR ADMITTANCE VALVE
DP	Ø90 DOWNPIPE

**Sorell Council**  
 Development Application: Development  
 Application - 22 Oakmont Road, Midway - P1.pdf  
 Plans Reference:P1  
 Date Received:19/06/2024

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  - ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE.



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Home: **ABELIA-12.5(05H.02)**  
 Client: **SJM**  
 Location: **22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171**  
 Drawing: **PLUMBING PLAN**

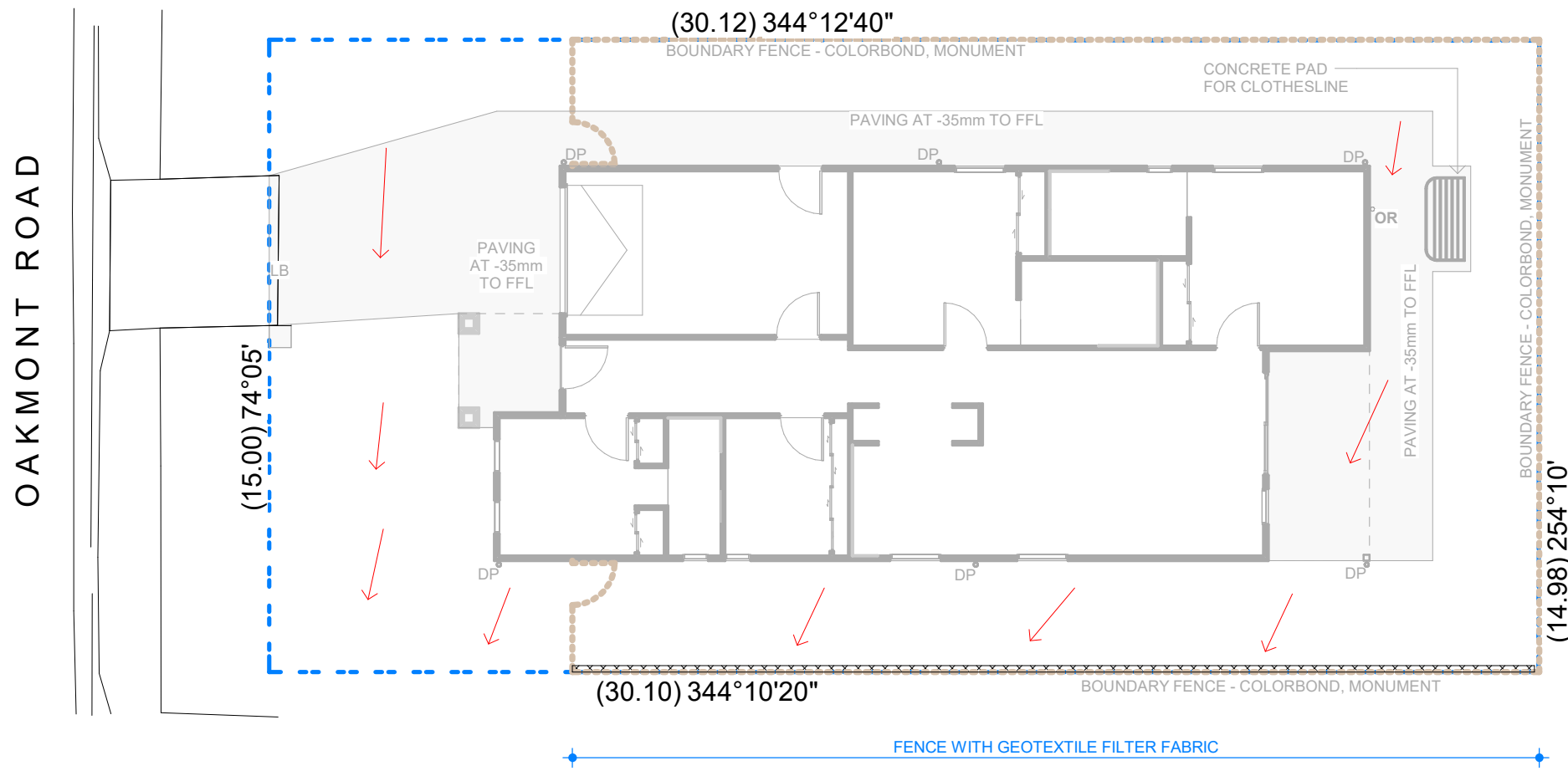
Facade: **A-ZARA 01-MONUMENT**



DRAWING DETAILS	
6/18/2024 1:15:18 PM	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	<b>494N</b>
Drwg No:	<b>D10b</b>
Issue	<b>A02</b>

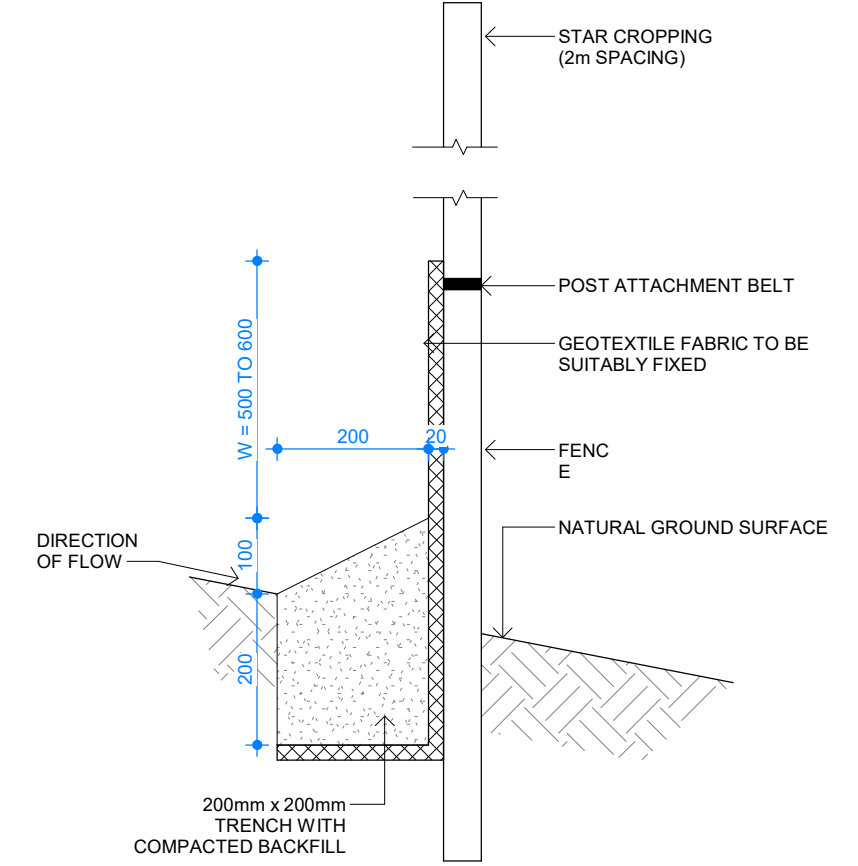
All dimensions to be verified on site





### STORMWATER MANAGEMENT PLAN

1 : 150



### SIDEMENT FENCE SECTION DETAIL

1 : 10

**LEGEND:**

- FLOW DIRECTION
- SEDIMENT FENCE
- PAVING AREA




- IMPORTANT NOTES:**
1. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.
  2. ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE, ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
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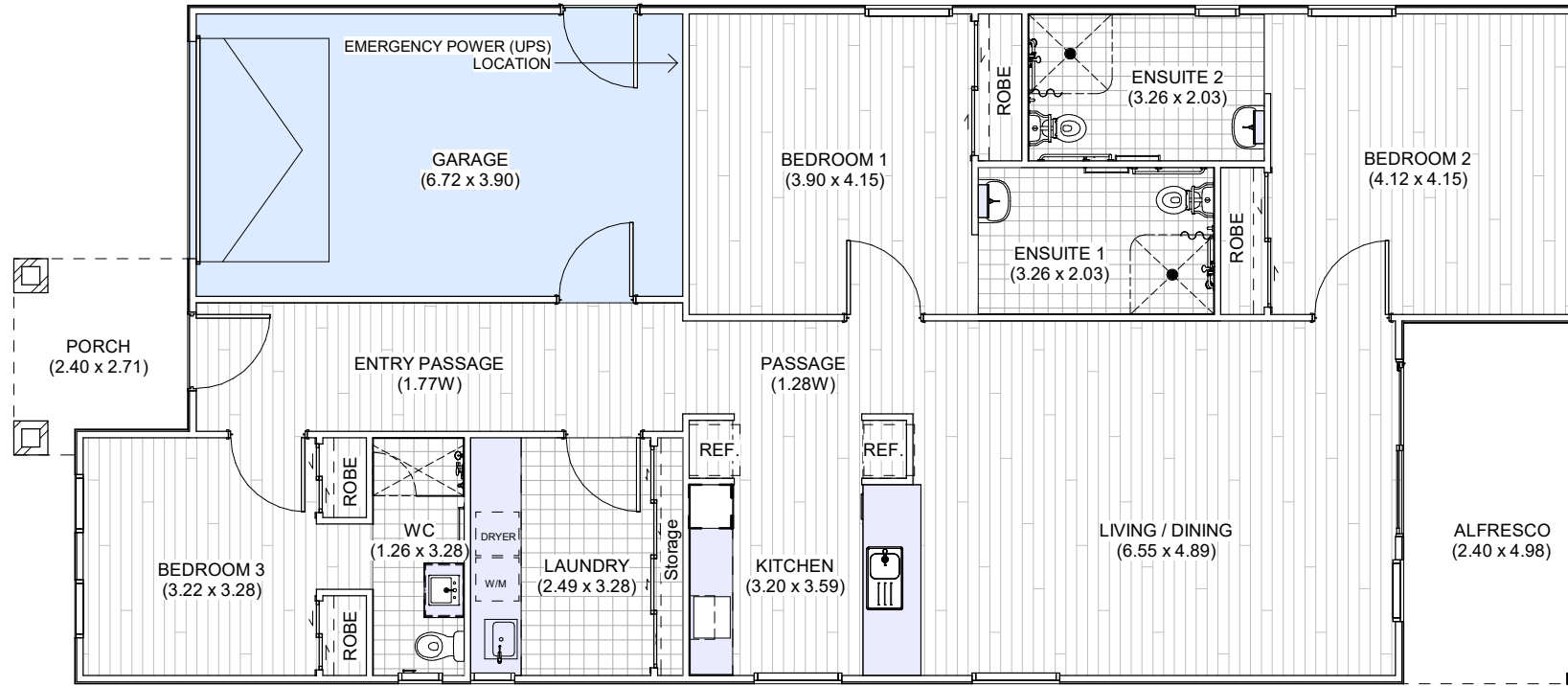
**Sorell Council**  
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 Plans Reference:P1  
 Date Received:19/06/2024

	1/37 Ascot Dr, Huntingfield TAS 7055 P +61 3 6289 6601	Home: <b>ABELIA-12.5(05H.02)</b> Client: <b>SJM</b> Location: <b>22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171</b>	Facade: <b>A-ZARA 01-MONUMENT</b>		<p style="text-align: center;"><b>DRAWING DETAILS</b></p> 6/18/2024 1:15:18 PM <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>SCALE</th> <th>SHEET SIZE</th> </tr> <tr> <td>As indicated</td> <td>A3</td> </tr> </table>	SCALE	SHEET SIZE	As indicated	A3
	SCALE	SHEET SIZE							
As indicated	A3								
Drawing: <b>STORMWATER MANAGEMENT PLAN</b>				All dimensions to be verified on site	JOB No: <b>494N</b> Drwg No: <b>D10c</b> Issue <b>A02</b>				

**NOTE:**  
 ALL FLOOR COVERINGS TO BE FIRM AND EVEN AND FEATURE A TRANSITION BETWEEN ABUTTING SURFACES ( A MAXIMUM VERTICAL TOLERANCE OF 3mm OR 5mm BETWEEN SURFACES IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELED.)

ALL INTERNAL FLOOR FINISHES SHALL HAVE A MINIMUM SLIP RESISTANCE OF P3 OR R10.

LEGEND	
	TIMBER OVERLAY
	CERAMIC TILE
	CONCRETE



## FLOOR FINISHES PLAN

1 : 100

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Home: ABELIA-12.5(05H.02)

Client: SJM

Location: 22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171

Drawing: FLOOR FINISHES PLAN

Facade: A-ZARA  
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**DRAWING DETAILS**

6/18/2024 1:15:19 PM

SCALE SHEET SIZE

1 : 100 A3

JOB No: **494N**

Drwg No: **D11** Issue **A02**

**ELECTRICAL LEGEND:**

- ⊕ **Ceiling Mounted LED Sealed, IC-F rated - 10W**
- ⊕ **Pendant Light as Selected LED - 10W**
- ⊕ **External Wall Mounted Light**  
@ 1800 above adjoining floor level unless otherwise indicated by height shown in brackets
- X **Light Switch and Single**  
@ 1000 above adjoining floor level unless otherwise indicated by height shown in brackets
- XD **Light Switch and Dimmer**  
@ 1000 above adjoining floor level unless otherwise indicated by height shown in brackets
- X2 **Light Switch - Two Way**  
@ 1000 above adjoining floor level unless otherwise indicated by height shown in brackets
- XI **Isolator Switch - 6mm 32 AMP**  
@300mm of bench top edge
- X<sup>R</sup> **Rangehood Switch**  
@300mm of bench top edge
- ▲ **GPO - Single**  
@ 700 above adjoining floor level unless otherwise indicated by height shown in brackets
- ▲ **GPO - Double**  
@ 700 above adjoining floor level unless otherwise indicated by height shown in brackets
- ▲ **GPO - Double (External)**  
@ 1200 above adjoining floor level unless otherwise indicated by height shown in brackets
- ▲ **GPO - Single (Capped)**  
At window head height
- ▲ **GPO - Double (Capped)**  
At window head height
- ▲ **GPO - 3 Phase for Car Charge ALLOW FOR FUTURE INSTALLATION ONLY**  
@ 1100 above adjoining floor level unless otherwise indicated by height shown in brackets
- **Conduit for 3 Phase Car Charge ALLOW FOR FUTURE CABLE INSTALLATION ONLY**
- TV **TV Socket**  
@ 300 above adjoining floor level unless otherwise indicated by height shown in brackets
- T **Phone Socket**  
@ 300 above adjoining floor level unless otherwise indicated by height shown in brackets
- ⊗ **Ceiling Mounter Exhaust Fan**  
250mm diameter
- ⊗ **Ceiling Fan with Light**
- ⊗ **Ceiling Fan**
- **Motion Sensor**
- ☼ **Smoke Alarm**
- ↕ **Reverse Cycle Air Conditioning**
- ⊕ **Thermostat**
- MH **Man Hole**  
600x600 (Approx. Position)
- I **Intercom (1000mm above FFL)**

**ELECTRICAL NOTES:**

- LIGHT AND GPO SWITCHES SHALL BE ROCKER ACTION, TOGGLE OR PUSH PAD IN DESIGN WITH A MINIMUM WIDTH OF 35mm.
- DIMMABLE LIGHTING SWITCHES SHALL BE PROVIDED IN LIVING AREAS AND BEDROOMS.
- PROVIDE POWER AND CONTROL CABLING TO HEAD OF ENTRY DOORS OF BEDROOMS, ONE EXTERNAL ENTRY DOORWAY AND ONE EXTERNAL DOORWAY TO LIVING
- POWER POINT IN CEILING SPACE FOR DUCTED HEATING & COOLING
- PROVIDE POWER AND CONTROL CABLING TO WINDOWS OF BEDROOMS, AND LIVING AREAS FOR FUTURE WINDOW BLIND AUTOMATION. PROVIDE A CAPPED GPO AT WINDOW HEAD WHERE INDICATED.
- GPO'S IN BEDROOMS TO BE MINIMUM 600mm HIGH FROM FFL.
- GPO'S ABOVE BENCHES AND DESKS TO BE A MINIMUM 300mm FROM EDGE OF BENCH/DESK.
- PROVIDE MINIMUM 300LUX LIGHTING LEVELS AT MAXIMUM INTERVALS OF 1500mm MEASURED DIRECTLY OVER BENCHTOPS.
- ALL LIGHT SWITCHES SHALL BE POSITIONED IN A CONSISTENT LOCATION :  
- 1000mm ABOVE FINISHED FLOOR LEVEL  
- HORIZONTALLY ALIGNED WITH THE DOOR HANDLE AT THE ENTRANCE TO A ROOM.  
- A MINIMUM OF 500mm FROM AN INTERNAL CORNER TO C/L OF THE LIGHT SWITCH.
- STANDARD VIDEO INTERCOM TO BEDROOMS & KITCHEN/LIVING.
- BEDROOMS SHALL HAVE A PROVISION FOR POWER AND INBUILT STRUCTURE, CAPABLE OF INSTALLATION OF A CONSTANT CHARGE CEILING HOIST
- EMERGENCY POWER SOLUTIONS SHALL BE PROVIDED TO CATER FOR A MINIMUM 2-HOUR OUTAGE IN NO LESS THAN 2 DOUBLE GPOs IN PARTICIPANT BEDROOMS AND ANY PROVIDED AUTOMATED DOORS THAT ARE USED FOR ENTRY OR EGRESS.
- BACKUP FOR LIFE SUPPORT SYSTEMS IF NEEDED BY PARTICIPANTS.

**LEGEND - SERVICES**

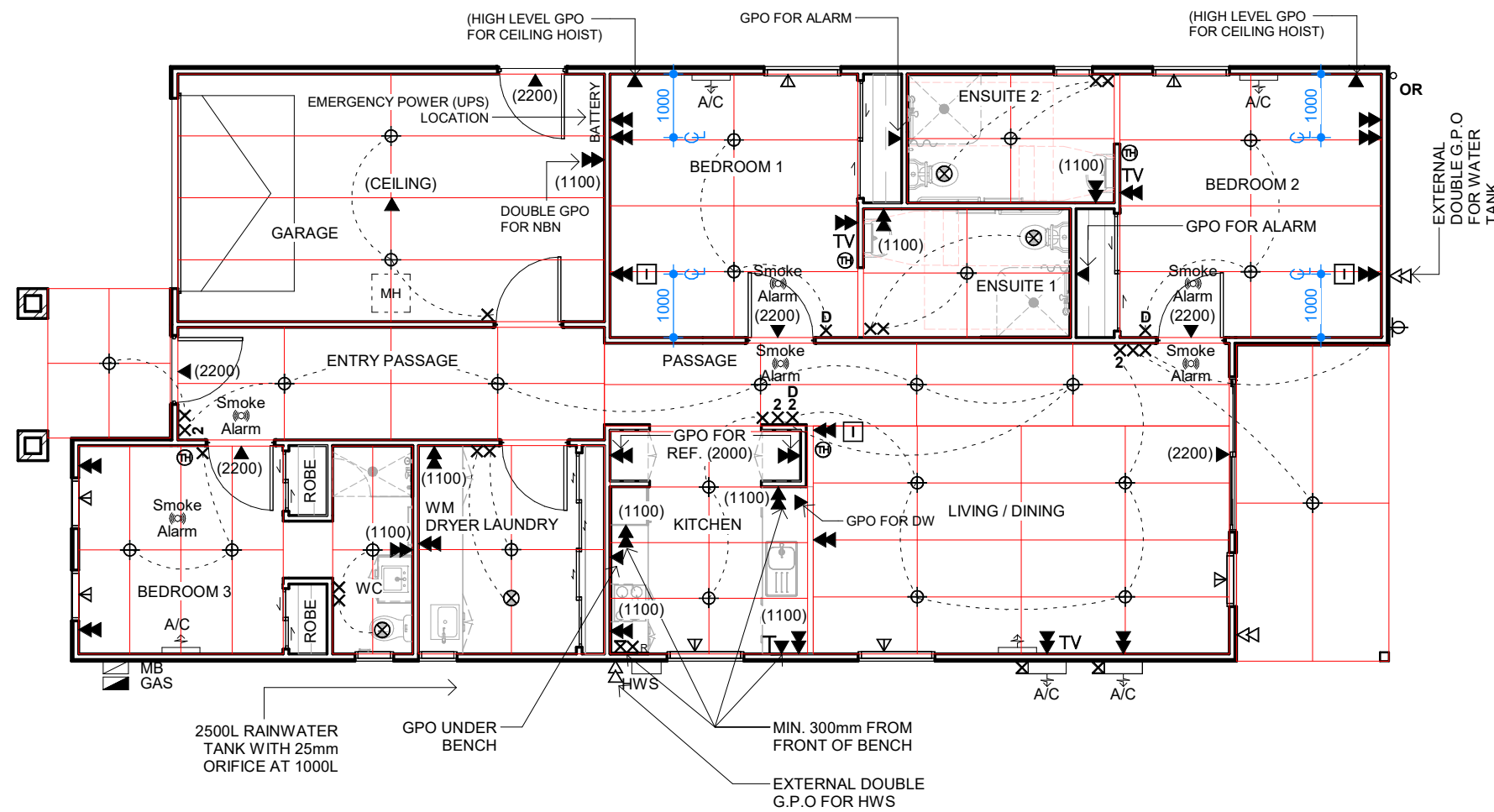
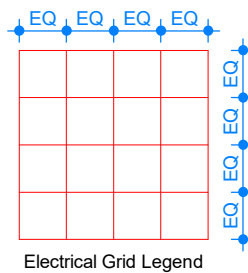
- HWS HOT WATER SERVICE
- MB METER BOX
- GAS GAS METER
- OR OVERFLOW RISER

**ILLUMINATION POWER DENSITY**

<b>LIVING AREA:</b>	145.70m <sup>2</sup>	
TOTAL MAXIMUM ALLOWABLE FOR LIVING AREA AT 5WATTS/m <sup>2</sup>	728.50 WATTS	
ACTUAL USAGE = 10WATTS x 21 DOWNLIGHTS	210.00 WATTS	
TOTAL WATTS USAGE =	1.44 WATTS/m <sup>2</sup>	

<b>GARAGE AREA:</b>	27.50m <sup>2</sup>	
TOTAL MAXIMUM ALLOWABLE FOR GARAGE AREA AT 3WATTS/M <sup>2</sup>	82.50 WATTS	
ACTUAL USAGE = 10WATTS x 2 DOWNLIGHTS	20.00 WATTS	
TOTAL WATTS USAGE =	0.72 WATTS/m <sup>2</sup>	

<b>PORCH / ALFRESCO AREA:</b>	17.90m <sup>2</sup>	
TOTAL MAXIMUM ALLOWABLE FOR PORCH / ALFRESCO AREA AT 4WATTS/M <sup>2</sup>	71.6 WATTS	
ACTUAL USAGE = 8WATTS x 2 DOWNLIGHTS	16.00 WATTS	
TOTAL WATTS USAGE =	0.89 WATTS/m <sup>2</sup>	



**ELECTRICAL PLAN**

1 : 100

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 Date Received:19/06/2024

**IMPORTANT NOTES:**

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Home: **ABELIA-12.5(05H.02)**

Client: **SJM**

Location: **22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171**

Drawing: **ELECTRICAL PLAN**

Facade: **A-ZARA 01-MONUMENT**



All dimensions to be verified on site

**DRAWING DETAILS**

6/18/2024 1:15:19 PM  
 SCALE 1 : 100 SHEET SIZE A3

JOB No: **494N**

Drwg No: **D12** Issue **A02**

**NOTES:**

**THIS PLAN IS FOR A PROVISIONAL WATER LINE TO BE CONNECTED TO THE TOWN'S MAIN VIA THE DRINKING WATER METER. THIS PLAN IS NOT TO BE USED FOR TANK & PUMP WATER SUPPLIES.**

**INSTALLATION REQUIREMENTS**

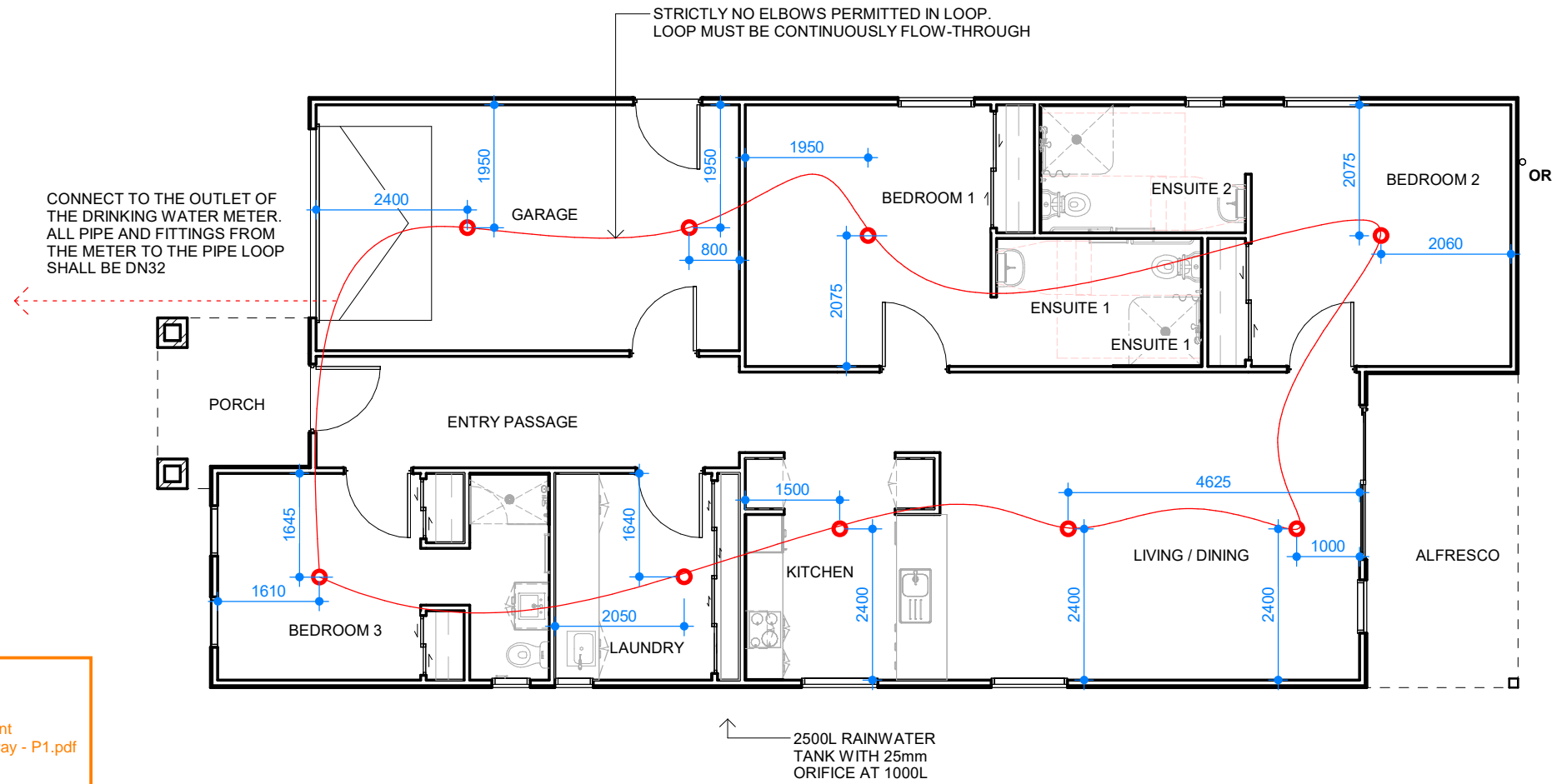
- FOR TOWN'S MAIN WATER SUPPLIES, ALL COLD-WATER DRINKING FIXTURES SHALL SUPPLIED BY THE SPRINKLER LOOP WITH THE ONLY PERMITTED EXCEPTION BEING THOSE THAT ARE REQUIRED TO BE SUPPLIED BY NON-POTABLE WATER SUPPLY, BY JURISDICTIONAL REQUIREMENTS.

**HYDRAULIC REQUIREMENTS**

- ALL PIPES, FITTINGS AND VALVES FEEDING THE LOOP FROM TOWNS' MAIN WATER METER, SHALL BE NOT LESS THAN DN 32.
- BRIDGING OF THE LOOP IS NOT PERMITTED.
- NO ELBOWS ARE PERMITTED IN THE PIPE LOOP. LOOP MUST BE CONTINUOUSLY FLOW-THROUGH ONLY.

**LEGENDS:**

- INDICATIVE SPRINKLER LOCATION
- OR OVERFLOW RISER



**Sorell Council**  
 Development Application: Development  
 Application - 22 Oakmont Road, Midway - P1.pdf  
 Plans Reference:P1  
 Date Received:19/06/2024

**LAYOUT OF PROVISIONAL WATER LINE FOR OPTIONAL FUTURE SPRINKLER INSTALLATION**

1 : 100

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Home: ABELIA-12.5(05H.02)

Client: SJM

Location: 22 OAKMONT ROAD 42, MIDWAY POINT - TAS 7171

Drawing: SPRINKLER PLAN

Facade: A-ZARA  
 01-MONUMENT



All dimensions to be verified on site

**DRAWING DETAILS**

6/18/2024 1:15:20 PM

SCALE SHEET SIZE

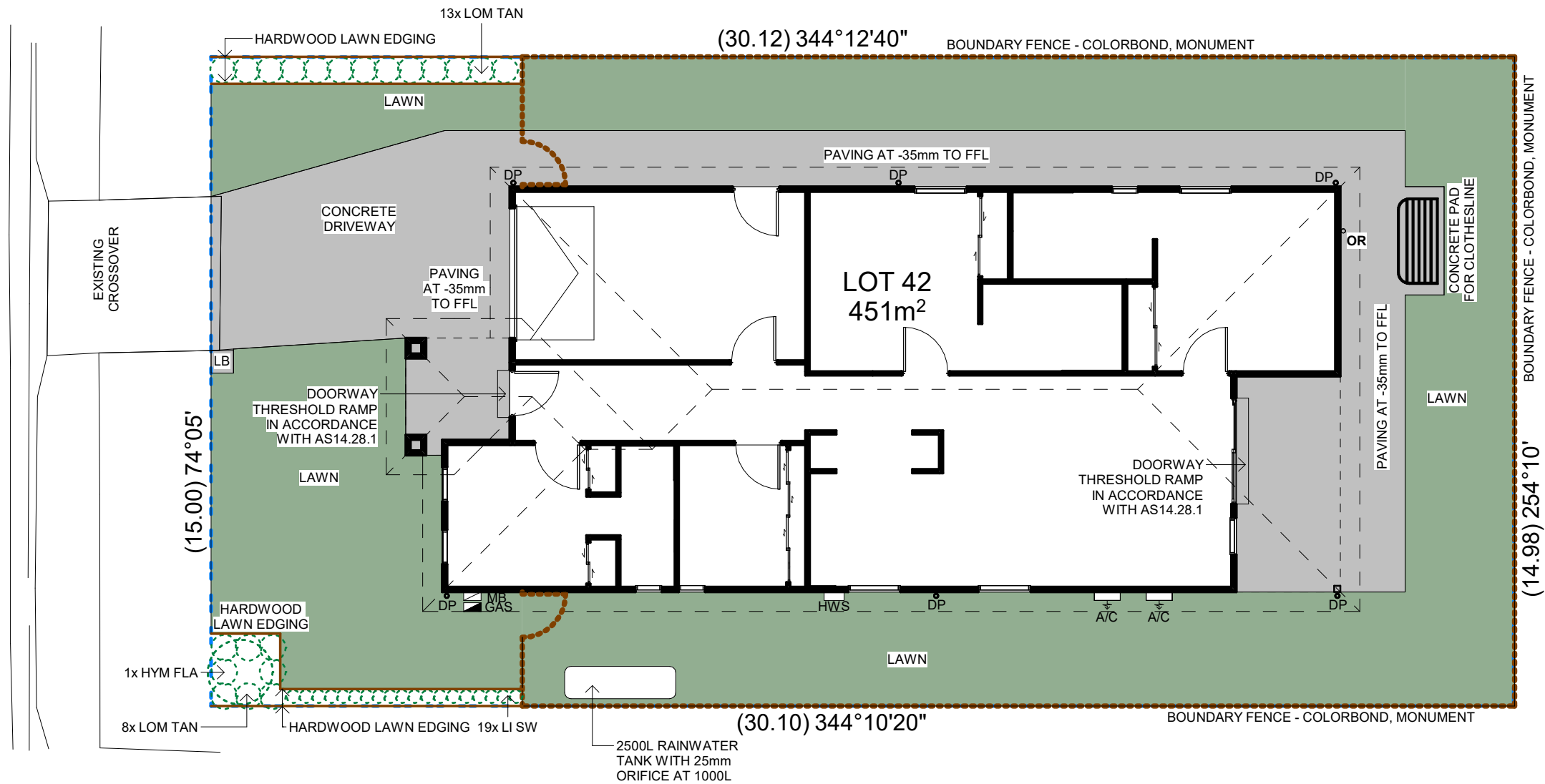
1 : 100 A3

JOB No: 494N

Drwg No: D13 Issue A02



OAKMONT ROAD



# LANDSCAPE PLAN

1 : 125

SELECTED PLANT LIST						
NO	CODE	POT	BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH
<b>TREES</b>						
1	HYM FLA	400	HYMENOSPORUM FLAVUM	NATIVE FRANGIPANI	8.0	4.0
<b>SHRUBS</b>						
21	LOM TAN	140	LOMANDRA LONGIFOLIA "TANIKA"	MAT RUSH	0.4	0.6
<b>GROUND COVERS</b>						
19	LI SW	140	LIRIOPE MUSCARI 'STRIPY WHITE'	STRIPY WHITE	0.3	0.4

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**Sorell Council**

Development Application: Development Application - 22 Oakmont Road, Midway - P1.pdf

Plans Referenced: 137 Ascot Dr, Huntingfield TAS 7055

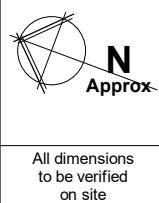
Date Received: 19/06/2024

P +61 3 6289 6601

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 Client: **SJM**  
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 Drawing: **LANDSCAPE PLAN**

Facade: **A-ZARA 01-MONUMENT**

DRAWING DETAILS	
6/18/2024 1:15:21 PM	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	<b>494N</b>
Drwg No:	<b>D14</b> Issue <b>A02</b>



All dimensions to be verified on site

# **AS2870:2011 SITE ASSESSMENT**

**22 Oakmont Road**

**Midway Point**

**March 2024**



GEO-ENVIRONMENTAL  
SOLUTIONS



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## Investigation Details

<b>Client:</b>	SJM Property Developments (Aus) Pty Ltd
<b>Site Address:</b>	22 Oakmont Road, Midway Point
<b>Date of Inspection:</b>	28/02/2024
<b>Proposed Works:</b>	New house
<b>Investigation Method:</b>	Geoprobe 540UD - Direct Push
<b>Inspected by:</b>	M. Campbell

## Site Details

<b>Certificate of Title (CT):</b>	186229/42
<b>Title Area:</b>	Approx. 448.9 m <sup>2</sup>
<b>Applicable Planning Overlays:</b>	Bushfire-prone areas, Airport obstacle limitation area
<b>Slope &amp; Aspect:</b>	4° W facing slope
<b>Vegetation:</b>	Grass & Weeds

## Background Information

<b>Geology Map:</b>	MRT
<b>Geological Unit:</b>	Triassic Sandstone
<b>Climate:</b>	Annual rainfall 400mm
<b>Water Connection:</b>	Mains
<b>Sewer Connection:</b>	Serviced-Mains
<b>Testing and Classification:</b>	AS2870:2011, AS1726:2017 & AS4055:2021

## Investigation

A number of bore holes were completed to identify the distribution and variation of the soil materials at the site, bore hole locations are indicated on the site plan. See soil profile conditions presented below. Tests were conducted across the site to obtain bearing capacities of the material at the time of this investigation.

### **Soil Profile Summary**

BH 1 Depth (m)	BH 2 Depth (m)	USCS	Description
0.00-0.20	0.00-0.10	SP	<b>SAND:</b> grey, brown, dry, loose,
0.20-0.80	0.10-0.50	CI	<b>Sandy CLAY:</b> medium plasticity, yellow, brown, slightly moist, stiff,
0.80-0.90	0.50-0.60	GC	<b>Clayey GRAVEL:</b> yellow, brown, dry very dense, refusal

## Site Notes

Soils on the site are developing from Triassic Sandstone. The clay fraction is likely to show moderate ground surface movement.

## Site Classification

The site has been assessed and classified in accordance with AS2870:2011 “Residential Slabs and Footings”.

The site has been classified as:

### **Class M**

Y<sup>s</sup> range: **20-40mm**

Notes: that is a moderately reactive clay.





**Wind Loading Classification**

According to “AS4055:2021 - Wind Loads for Housing” the house site is classified below:

<b>Wind Classification:</b>	<b>N3</b>
Region:	A
Terrain Category:	1.0
Shielding Classification:	NS
Topographic Classification:	T1
Wind Classification:	N3
Design Wind Gust Speed – m/s ( $V_{h,u}$ ):	50

**Construction Notes & Recommendations**

The site has been classified as **Class M** - Moderately reactive clay or silt site, which may experience moderate ground movement from moisture changes.

It is recommended the foundations be placed on the underlying bedrock to minimise the potential for foundation movement.

All earthworks on site must comply with AS3798:2012, and I further recommend that consideration be given to drainage and sediment control on site during and after construction. Care should also be taken to ensure there is adequate drainage in the construction area to avoid the potential for weak bearing and foundation settlement associated with excessive soil moisture.

I also recommend that during construction that I and/or the design engineer be notified of any major variation to the foundation conditions as predicted in this report.

Dr John Paul Cumming B.Agr.Sc (hons) PhD CPSS GAICD

Director



**Sorell Council**

Development Application: Development Application - 22 Oakmont Road, Midway - P1.pdf

Plans Reference:P1  
Date Received:19/06/2024

## Explanatory Notes

### 1 Scope of Works

The methods of description and classification of soils used in this report are based largely on Australian Standard 1726 – Geotechnical Site Investigations (AS1726:2017), with reference to Australian Standard 1289 – Methods for testing soils for engineering purposes (AS1289), for eventual Site Classification according to Australian Standard 2870 (AS2870:2011) – Residential Slabs and Footings and Australian Standard 1547 (AS1547:2012) On-site domestic wastewater management.

#### 1.1 Site Classification AS2870:2011

Site classification with reference to the above Australian Standards are based on site reactivity.

Class	Foundation Conditions	Characteristic Surface Movement
A	Most sand and rock sites with little or no ground movement from moisture changes.	0mm
S	Slightly reactive clay sites, which may experience only slight ground movement from moisture changes.	0 – 20mm
M	Moderately reactive clay or silt sites, which may experience moderate ground movement from moisture changes.	20 – 40mm
H-1	Highly reactive clay sites, which may experience high ground movement from moisture changes.	40 – 60mm
H-2	Highly reactive clay sites, which may experience very high ground movement from moisture changes.	60 – 75mm
E	Extremely reactive sites, which may experience extreme ground movement from moisture changes.	>75mm

*Note: Soils where foundation performance may be significantly affected by factors other than reactive soil movement are classified as **Class P**.*

A site is classified as **Class P** when:

- The bearing capacity of the soil profile in the foundation zone is generally less than 100kpa
- If excessive foundation settlement may occur due to loading on the foundation.
- The site contains uncontrolled fill greater than 0.8m in depth for sandy sites and 0.4m in depth for other soil materials.
- The site is subject to mine subsidence, landslip, collapse activity or coastal erosion.
- The site is underlain by highly dispersive soils with significant potential for erosion
- If the site is subject to abnormal moisture conditions which can affect foundation performance

## 1.2 Soil Characterisation

This information explains the terms of phrase used within the soil description area of the report.

It includes terminology for cohesive and non-cohesive soils and includes information on how the Unified Soil Classification Scheme (USCS) codes are determined.

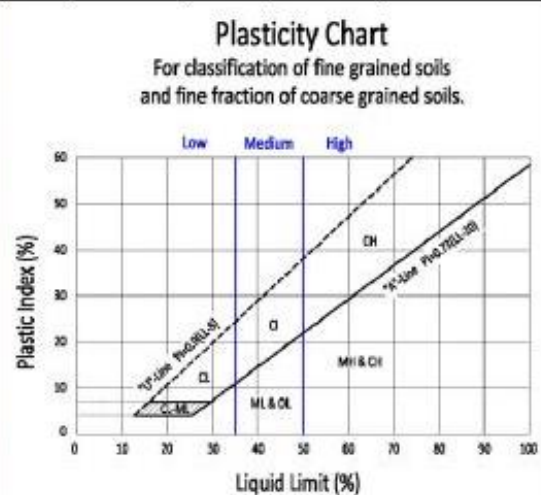
<b>NON COHESIVE – SAND &amp; GRAVEL</b>		
<b>Consistency Description</b>	<b>Field Test</b>	<b>Dynamic Cone Penetrometer blows/100 mm</b>
Very loose (VL)	Easily penetrated with 13 mm reinforcing rod pushed by hand.	0 - 1
Loose (L)	Easily penetrated with 13 mm reinforcing rod pushed by hand. Can be excavated with a spade; 50 mm wooden peg can be easily driven.	1 - 3
Medium dense (MD)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, - hard shovelling.	3 - 8
Dense (D)	Penetrated 300 mm with 13 mm reinforcing rod driven with 2 kg hammer, requires pick for excavation: 50 mm wooden peg hard to drive.	8 - 15
Very dense (VD)	Penetrated only 25 - 50 mm with 13 mm reinforcing rod driven with 2 kg hammer.	>15

<b>COHESIVE - SILT &amp; CLAY</b>		
<b>Consistency Description</b>	<b>Field Test</b>	<b>Indicative undrained shear strength kPa</b>
Very soft	Easily penetrated >40 mm by thumb. Exudes between thumb and fingers when squeezed in hand.	<12
Soft	Easily penetrated 10 mm by thumb. Moulded by light finger pressure	>12 and <25
Firm	Impression by thumb with moderate effort. Moulded by strong finger pressure	>25 and <50
Stiff	Slight impression by thumb cannot be moulded with finger.	>50 and <100
Very Stiff	Very tough. Readily indented by thumbnail.	>100 and <200
Hard	Brittle. Indented with difficulty by thumbnail.	>200

### 1.3 USCS Material Descriptions

Soils for engineering purposes are the unconsolidated materials above bedrock, they can be residual, alluvial, colluvial or aeolian in origin.

Major Divisions		Particle size mm	USCS Group Symbol	Typical Names	Laboratory Classification				NOTES	
COARSE GRAINED SOILS (more than half of material less than 63 mm is larger than 0.075 mm)	BOULDERS	200			% < 0.075 mm (2)	Plasticity of fine fraction	$C_u = \frac{D_{60}}{D_{30}}$	$C_c = \frac{(D_{30})^3}{(D_{60})(D_{10})}$	(1) Identify fines by the method given for fine-grained soils.  (2) Borderline classifications occur when the percentage of fines (fraction smaller than 0.075 mm size) is greater than 5% and less than 12%. Borderline classifications require the use of SP-SM, GW-GC.	
	COBBLES	63								
	GRAVELS (more than half of coarse fraction is larger than 2.36 mm)	coarse	20	GW	Well graded gravels and gravel-sand mixtures, little or no fines	0-5	—	>4		Between 1 and 3
		medium	6	GP	Poorly graded gravels and gravel-sand mixtures, little or no fines, uniform gravels	0-5	—	Fails to comply with above		
		fine	2.36	GM	Silty gravels, gravel-sand-silt mixtures (1)	12-50	Below 'A' line or PI<4	—		—
				GC	Clayey gravels, gravel-sand-clay mixtures (1)	12-50	Above 'A' line and PI>7	—		—
	SANDS (more than half of coarse fraction is smaller than 2.36 mm)	coarse	0.6	SW	Well graded sands and gravelly sands, little or no fines	0-5	—	>6		Between 1 and 3
		medium	0.2	SP	Poorly graded sands and gravelly sands, little or no fines	0-5	—	Fails to comply with above		
		fine	0.075	SM	Silty sands, sand silt mixtures (1)	12-50	Below 'A' line or PI<4	—		—
				SC	Clayey sands, sand-clay mixtures (1)	12-50	Above 'A' line and PI>7	—		—
FINE GRAINED SOILS (more than half of material less than 63 mm is smaller than 0.075 mm)	SILTS & CLAYS (Liquid Limit ≤50%)		ML	Inorganic silts, very fine sands, rock flour, silty or clayey fine sands or clayey silts with slight plasticity	Use the gradation curve of material passing 63 mm for classification of fractions according to the criteria given in 'Major Divisions'					
			CL CI	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays						
			OL	Organic silts and clays of low plasticity						
	SILTS & CLAYS (Liquid Limit >50%)		MH	Inorganic silts, mic-aceous or diato-maceous fine sands or silts, elastic silts						
			CH	Inorganic clays of high plasticity, fat clays						
			OH	Organic silts and clays of high plasticity						
	HIGHLY ORGANIC SOILS		PT	Peat and other highly organic soils						



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Grain size analysis is performed by two processes depending on particle size. Sand silt and clay particles are assessed using a standardised hydrometer test, and coarse sand and larger is assessed through sieving by USCS certified sieves. For more detail see the following section.

Soil Classification	Particle Size
Clay	Less than 0.002mm
Silt	0.002 – 0.06mm
Fine/Medium Sand	0.06 – 2.0mm
Coarse Sand	2.0mm – 4.75mm
Gravel	4.75mm – 60.00mm

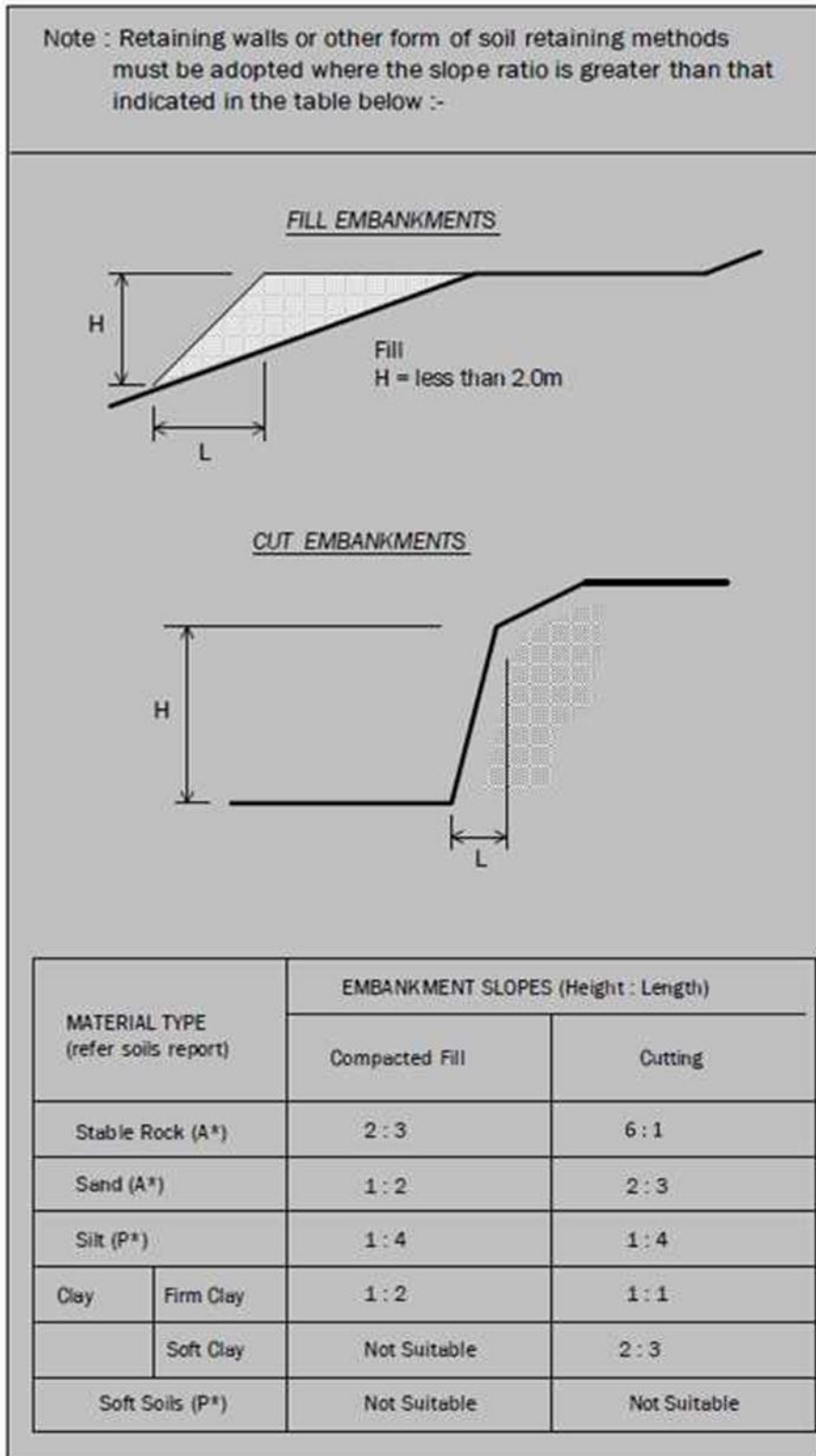
#### 1.4 Bearing Capacities and DCP testing.

DCP and PSP weighted penetrometer tests – Dynamic Cone Penetrometer (DCP) and Perth Sand Penetrometer (PSP) tests are carried out by driving a rod into the ground with a falling weight hammer and measuring the blows for successive 100mm increments of penetration. Normally, there is a depth limitation of 1.2m but this may be extended in certain conditions by the use of extension rods. The methods for the two tests are quite similar.

- Dynamic Cone Penetrometer – a 16mm rod with a 20mm diameter cone end is driven with a 9kg hammer dropping 510mm (AS 1289, Test 6.3.2).
- Perth Sand Penetrometer – a 16mm diameter flat-ended rod is driven with a 9kg hammer, dropping 600mm (AS 1289 Test 6.3.3). This test was developed for testing the density of sands and is mainly used in granular soils and filling.

Site Anomalies – During construction GES will need to be notified of any major variation to the foundation conditions as predicted in this report.

**1.5 Batter Angles for Embankments (Guide Only)**



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## Glossary of Terms

**Bearing Capacity** – Maximum bearing pressure that can be sustained by the foundation from the proposed footing system under service loads which should avoid failure or excessive settlement.

**Clay** – (Mineral particles less than 0.002mm in diameter). Fine grained cohesive soil with plastic properties when wet. Also includes sandy clays, silty clays, and gravelly clays.

**Dynamic Cone Penetrometer (DCP)** – Field equipment used to determine underlying soil strength and therefore bearing capacity (kPa) by measuring the penetration of the device into the soil after each hammer blow.

**Dispersive soil** – A soil that has the ability to pass rapidly into suspension in water.

**Footing** – Construction which transfers the load from the building to the foundation.

**Foundation** – Ground which supports the building

**Landslip** – Foundation condition on a sloping site where downhill foundation movement or failure is a design consideration.

**Qualified Engineer** – A professional engineer with academic qualifications in geotechnical or structural engineering who also has extensive experience in the design of the footing systems for houses or similar structures.

**Reactive Site** – Site consisting of clay soil which swells on wetting and shrinks on drying by an amount that can damage buildings on light strip footings or unstiffened slabs. Includes sites classified as S, M, H-1, H-2 & E in accordance with AS2870-2011.

**Sand** – (Mineral particles greater than 0.02mm in diameter). Granular non-cohesive, non-plastic soil that may contain fines including silt or clay up to 15%.

**Services** – Means all underground services to the site including but not limited to power, telephone, sewerage, water & storm water.

**Silt** – (Mineral particles 0.002 – 0.02mm in diameter). Fine grained non-cohesive soil, non-plastic when wet. Often confers a silky smoothness of field texture, regularly includes clay and sand to form clayey silts, sandy silts and gravelly silts.

**Site** – The site title, as denoted by address, lot number, or Certificate of Title (CT) number, or Property Identification Number (PID).

**Surface Movement (Ys)** – Design movement (mm) at the surface of a reactive site caused by moisture changes.

## Disclaimer

This Report has been prepared in accordance with the scope of services between Geo-Environmental Solutions Pty. Ltd. (GES) and the Client. To the best of GES's knowledge, the information presented herein represents the client's requirements at the time of printing of the Report. However, the passage of time, manifestation of latent conditions or impacts of future events may result in findings differing from that discussed in this Report. In preparing this Report, GES has relied upon data, surveys, analyses, designs, plans and other information provided by the Client and other individuals and organisations referenced herein. Except as otherwise stated in this Report, GES has not verified the accuracy or completeness of such data, surveys, analyses, designs, plans and other information.

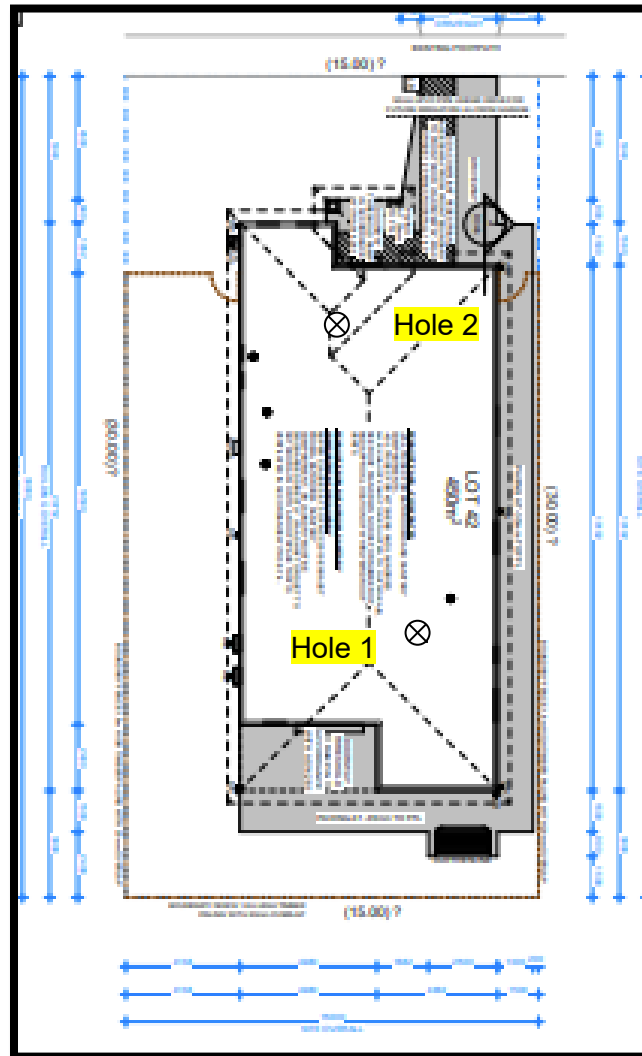
The scope of this study does not allow for the review of every possible geotechnical parameter or the soil conditions over the whole area of the site. Soil and rock samples collected from the investigation area are assumed to be representative of the areas from where they were collected and not indicative of the entire site. The conclusions discussed within this report are based on observations and/or testing at these investigation points.

This report does not purport to provide legal advice. Readers of the report should engage professional legal practitioners for this purpose as required.

No responsibility is accepted for use of any part of this report in any other context or for any other purpose by third a party.



**Site Plan**



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# CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

Form **55**

To:  Owner /Agent  
 Address  
  Suburb/postcode

## Qualified person details:


Qualified person:   
Address:     
Licence No:  Email address:   
Phone No:   
Fax No:

Qualifications and Insurance details:  (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise:  (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

## Details of work:

Address:    Lot No:   
Certificate of title No:

The assessable item related to this certificate:  (description of the assessable item being certified)  
  
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Assessable item includes –  
- a material;  
- a design  
- a form of construction  
- a document  
- testing of a component, building system or plumbing system  
- an inspection, or assessment, performed

## Certificate details:

Certificate type:  (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work

or

a building, temporary structure or plumbing installation:

In issuing this certificate the following matters are relevant –

Documents:	The attached soil report for the address detailed above in 'details of work'
Relevant calculations:	Reference the above report.
References:	AS2870:2011 residential slabs and footings AS1726:2017 Geotechnical site investigations CSIRO Building technology file – 18.

*Substance of Certificate: (what it is that is being certified)*

Site Classification consistent with AS2870-2011.

*Scope and/or Limitations*

The classification applies to the site as inspected and does not account for future alteration to foundation conditions as a result of earth works, drainage condition changes or variations in site maintenance.

**I, John-Paul Cumming certify the matters described in this certificate.**

Qualified person:

*Signed:*

Certificate No:


*Date:*

J10086

20/03/2024




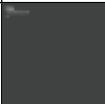

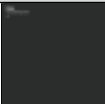
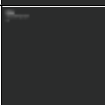

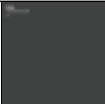
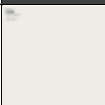
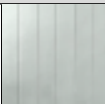
A handwritten signature in black ink, appearing to be 'John Paul Cumming', written over a light grey background.

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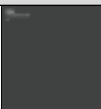
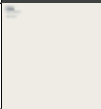
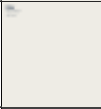






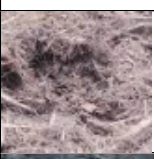



**EXTERIOR SCHEDULE - SCHEME 01 MONUMENT**

<b>Builder:</b>	SJM Property Developments
<b>Revision Date:</b>	18/06/2024
<b>Revision No:</b>	06
<b>Design:</b>	Abelia

Item/Location	Product Code/Name	Finish/Size/Colour/Comments	Manufacturer	Image
<b>Roofing</b>				
Corrugated Roof Sheet	Custom Orb	Colorbond Monument		
Fascia & Gutter	Quad Profile	Colorbond Monument		
Downpipes	Round PVC	Painted to match exterior		
<b>Doors</b>				
Front Door	Madison PMAD 101	Translucent Glass	Corinthian	
Rear Garage Door	Solid Core External		Corinthian	
<b>Windows and Flyscreens</b>				
Windows (Double Glazed)		Colorbond Night Sky Frame Black Hardware		
Fly Screens		Colorbond Night Sky Frame – BAL compliant mesh if required		
<b>Garage Door</b>				
Garage Door	Panelift	Nullarbor, Woodgrain Textured Colorbond Monument	b&d	
<b>Render</b>				
Render A	Hardie™ Fine Texture Cladding	Colorbond Monument	Dulux	
Render B	Hardie™ Fine Texture Cladding	Natural White	Dulux	
<b>Cladding</b>				
Refer to Exterior Elevations	Axon 133mm Smooth Vertical	Dulux Colorbond Monument	James Hardie	

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Paint				
Porch Post (upper, Clare façade only)		Colorbond Monument	Dulux	
Alfresco / Porch Ceiling		Natural White	Dulux	
Eave Lining		Natural White	Dulux	
Front Door		Colorbond Night Sky	Dulux	
Rear Garage Door		Colorbond Night Sky	Dulux	
Concreting				
Driveway	Coloured concrete	Colourmix Bluestone Aqua or Colourmix Charcoal Aqua		
Electrical				
Porch / Alfresco Ceiling Lights	Builder's Range LED	White		
Miscellaneous				
Clothesline	Single Fold Down MK2 Lift and Lock	Black	Daytek	
Letterbox	Dune Letterbox	Black	Sandleford	
Landscaping				
Grass	Hydroseed Lawn			
Planting	15x Lomandra Tanika 7x Lomandra Lime Tuff 1x Pittosporum Screen between			
Garden Beds	Gum Bark Mulch			
Retaining Walls	Island Block – Eco Rockface	Bluestone		



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