

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: 52 Friendship Drive, Sorell

PROPOSED DEVELOPMENT:

DWELLING

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 22nd July 2024**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Monday 22nd July 2024**.

APPLICANT: Sjm Property Developments

APPLICATION NO: DA 2024 / 141 - 1

DATE: 04 July 2024

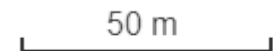


52 Friendship Drive, Sorell - Representation Close Monday 22nd July 2024

4-Jul-2024



Disclaimer: This map is a representation of the information currently held by Sorell Council. While every effort has been made to ensure the accuracy of the product, Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated.



Part B: Please note that Part B of this form is publicly exhibited.

Full description of Proposal:	Use: Residential
	Development: New Dwelling
	<i>Large or complex proposals should be described in a letter or planning report.</i>
Design and construction cost of proposal:	\$ 550,000

Is all, or some the work already constructed:	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>
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Location of proposed works:	Street address: 52 Friendship Drive
	Suburb: SORELL Postcode: 7172
	Certificate of Title(s) Volume: 184600 Folio: 316

Current Use of Site	Vacant
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Current Owner/s:	Name(s) PR & MK Stallan as trustee for the P & M Stallan Investment Trus
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Is the Property on the Tasmanian Heritage Register?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please provide written advice from Heritage Tasmania</i>
Is the proposal to be carried out in more than one stage?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please clearly describe in plans</i>
Have any potentially contaminating uses been undertaken on the site?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Additional Information for Non-Residential Use</i>
Is any vegetation proposed to be removed?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please ensure plans clearly show area to be impacted</i>
Does the proposal involve land administered or owned by either the Crown or Council?	No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/>	<i>If yes, please complete the Council or Crown land section on page 3</i>

If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form
<https://www.sorell.tas.gov.au/services/engineering/>



Sorell Council
 Development Application: Development
 Application - 52 Friendship Drive, Sorell - P1.pdf
 Plans Reference:P1
 Date Received:13/06/2024

Part B continued: Please note that Part B of this form is publicly exhibited

Declarations and acknowledgements

- I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land.
- I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council’s representatives to enter the land at any time during normal business hours.
- I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies.
- I/we declare that, in accordance with s52(1) of the *Land Use Planning and Approvals Act 1993*, that I have notified the owner(s) of the intention to make this application.
- I/we declare that the information in this application is true and correct.

Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council’s Privacy Policy available on the Council website.

- I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only.
- Where the General Manager’s consent is also required under s.14 of the *Urban Drainage Act 2013*, by making this application I/we also apply for that consent.

Applicant Signature:	Signature: <u> <i>Anda Durgin</i> </u> Date: <u> 12/6/2024 </u>
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Crown or General Manager Land Owner Consent

If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the *Land Use Planning and Approvals Act 1993*).

Please note:

- If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au
- If the application involves Crown land you will also need a letter of consent.
- Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development.

I _____ being responsible for the administration of land at _____

declare that I have given permission for the making of this application for _____



Sorell Council

Development Application: Development Application - 52 Friendship Drive, Sorell - P1.pdf

Plans Reference: P1

Date Received: 13/06/2024

Signature of General Manager, Minister or Delegate:	Signature: Date:
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BUSHFIRE HAZARD REPORT



Proposed residential dwelling
52 Friendship Drive
Sorell, 7172

Dated 3rd March 2024
Report by David Lyne BFP-144



11 Granville Avenue
Geilston Bay, 7015
M: 0421 852 987
dave_lyne@hotmail.com

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Appendix A – Topographic Map with Cadastral & Contour Overlay - indicates subject site

Appendix B – Site photos and designers site plan

Appendix C – Bushfire Hazard Management Plan, by David Lyne – certified date 03.03.2024; & Certificate of Others (Form 55) 1479/24

1. Introduction

I have been engaged by SJM Property Developments to prepare a bushfire report and plan for a new residential dwelling in the suburb of Sorell. The intent of this report is to confirm the suitability of the bushfire prone parcel of land to be successfully developed for the dwelling in accordance with the Directors Determination – bushfire hazard areas v1.1 (the Code).

The assessment describes the site and surrounding area, classifying the vegetation, assessing the slope and environmental features. This report should be included with approval documentation forming part of the certified documentation intended to satisfy the Directors Determination. The body of the report describes the site and assesses the requirements to be implemented to satisfy the requirements of the Directors Determination.

2. Limitation of Report

This report has been prepared for the above mentioned clients for their use and distribution only. The intent of the report is to provide supporting documentation for the Development Application (specifically vegetation clearance/maintenance distances) and the Building Application. Should submitted Application Plans differ from the Certified Plans in this report then an amended design review should be conducted to determine the suitability of any amendments in relation to the Bushfire Prone Area Requirements of AS3959-2018.

It is also to be noted that the assessment has been conducted according to the site inspection being conducted in February 2024 and does not take into account the possibility of altered site conditions either naturally occurring or where currently maintained or excluded vegetation conditions change due to a lack of ongoing maintenance.

It should be noted that compliance with the recommendations contained in this assessment does not mean that there is no residual risk to life safety or property as a result of bushfire. A residual level of risk remains which recognizes that removing the risk to life and property in absolute terms is not achievable while people continue to build in bushfire prone areas. This limitation is expressed in the following extract from AS 3959 (2018) which states (in the forward), *It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions.*

This level of residual risk is inherent in all bushfire standards and also applies to this assessment.

3. Site Description and Background

52 Friendship Drive Sorell is an existing land parcel located in the municipality of the Sorell Council. The property is currently low threat vegetation, with neighbouring properties currently low threat vegetation to all directions.

The site has access to a pre-approved public road – Friendship Drive, which links to Nugent Road and eventually the Arthur Highway. This allotment is provided with a reticulated hydrant water supply for firefighting.

3.1 Property Details

Address: 52 Friendship Drive, Sorell 7172

Municipality: Sorell Council

Zoned: General Residential

Lot Number: 184600/316

Type of Development: New Residential dwelling

Classified BAL: **BAL-LOW**





Appendix A: Photo 1 – Aerial photo with Cadastral Overlay – Subject site highlighted blue.

3.2 Classification of Vegetation

The vegetation affecting the site has been classified in accordance with Clause 2.2.3 of AS 3959-2018. The Bushfire-Prone vegetation affecting the site is predominantly **Grassland – Group G** in accordance with AS3959-2018.

In this case, in accordance with Clause 2.2.2 of AS 3959-2018, the relevant Fire Danger Index for Tasmania of 50 (FDI 50).

When considering the definition of Bushfire Prone Area under the Directors Determination it is evident the proposed dwelling location is within 100 metres of greater than 1 hectare of vegetation classified in accordance with AS 3959-2018 and is therefore considered '*Bushfire Prone*'.

From the proposed dwelling site a 360° survey has been conducted to determine the vegetation type, proximity and slope under the vegetation which is of the highest hazard rating. In this case the **Grassland – Group G** is the highest hazard vegetation surrounding the proposed dwelling. The land directly to the north is part of a staged subdivision, works have already begun on this stage of the development.

Note: in a bushfire there is a possibility of fire attack from any direction, not just the direction of the highest hazard.

Photo 1 above indicates the Bushfire Prone Vegetation described. Refer to Appendix B for current conditions as at time of inspection.



3.3 Slope

The Effective slope of the land under the classified vegetation is determined in accordance with Clause 2.2.5 of AS 3959- 2018.

The *effective* slope under the bushfire prone vegetation is generally Upslope/Flatland to the south, and east; downslope 0-5° to the north and to the west.

Refer to Appendix A Image for topographic contour information.

4. Bushfire Assessment

In accordance with Clause 2.2 of AS 3959-2018, the Simplified Procedure has been applied to determine the Bushfire Attack Level (BAL) for the proposed dwelling site. In accordance with the Directors Determination, fire-fighting water supply and vehicle access are also considered and discussed in relation to the proposed dwelling.

4.1 Bushfire Attack Level

Considering the current conditions, in accordance with AS3959-2018 the dwelling site is capable of achieving **BAL-LOW** (the minimum required standard being BAL-29 required by the Directors Determination).

The desired BAL rating to be applied in this instance will be **BAL-LOW**. The vegetation within the Hazard Management Area (HMA) is to be continually managed to a low threat level - as per Clause 2.2.3.2 of AS3959-2018.



Table 1 – Bushfire Attack Level Assessment Summary and Notes

Property Details

Applicants Name	SJM Property Developments	Phone	0407 542 974
Municipality	Sorell Council	Zoning	General Residential
Certificate of Title/Lot No.	184600/316	Lot Size	509m ²
Address	52 Friendship Drive, Sorell 7172		

Type of Building Work

New Class 1a Buildings	<input checked="" type="checkbox"/>
New Class 10a Building	<input type="checkbox"/>
New Class 2 Building	<input type="checkbox"/>
New Class 3 Building	<input type="checkbox"/>
Alteration/Additions to an existing building	<input type="checkbox"/>

Description of building work: e.g. *single dwelling with attached garage*
New residential dwelling

Bush Fire Attack Level (BAL)

Relevant fire danger index: (see clause 2.2.2)

FDI 50

Assess the vegetation within 100m in all directions (tick relevant group)

Note 1: Refer to table 2.3 and figures 2.3 & 2.4 for description and classification of vegetation.

Note 2: If there is no classified vegetation within 100m of the site then the BAL is LOW for that part of the site.

Vegetation Classification (See Table 2.3)	North <input checked="" type="checkbox"/>	South <input checked="" type="checkbox"/>	East <input checked="" type="checkbox"/>	West <input checked="" type="checkbox"/>
	North East <input type="checkbox"/>	South-West <input type="checkbox"/>	South-East <input type="checkbox"/>	North-West <input type="checkbox"/>
Group -	Low threat veg.	Low threat veg.	Low threat veg.	Low threat veg.

Exclusions (where applicable)	Circle relevant paragraph descriptor from clause 2.2.3.2			
	(a) (b) (c) (d) (e) (f)	(a) (b) (c) (d) (e) (f)	(a) (b) (c) (d) (e) (f)	(a) (b) (c) (d) (e) (f)

Distance of the site from classified vegetation (see clause 2.2.4)

Distance to classified vegetation	Show distances in meters			
	N/A	N/A	N/A	N/A

Effective Slope	Upslope			
Slope under the classified vegetation	Upslope/0°	Upslope/0° X	Upslope/0°	Upslope/0° X
	Downslope			
	>0 to 5° X	>0 to 5° <input type="checkbox"/>	>0 to 5° X	>0 to 5° <input type="checkbox"/>
	>5 to 10° <input type="checkbox"/>	>5 to 10° <input type="checkbox"/>	>5 to 10° <input type="checkbox"/>	>5 to 10° <input type="checkbox"/>
	>10 to 15° <input type="checkbox"/>	>10 to 15° <input type="checkbox"/>	>10 to 15° <input type="checkbox"/>	>10 to 15° <input type="checkbox"/>
	>15 to 20° <input type="checkbox"/>	>15 to 20° <input type="checkbox"/>	>15 to 20° <input type="checkbox"/>	>15 to 20° <input type="checkbox"/>

BAL value for each side of the site	BAL-LOW	BAL-LOW	BAL-LOW	BAL-LOW
Separation to achieve BAL-29	N/A	N/A	N/A	N/A
Separation to achieve BAL-19	N/A	N/A	N/A	N/A
Separation to achieve BAL-12.5	N/A	N/A	N/A	N/A

Construction Requirements

For this particular development a BAL-LOW rating would suit all directions of this site, construction will be generally compliant with AS3959 -2018 Sections 3 and 4.

4.2 Road / Vehicle Access

The primary access to the lot is from a sealed public road – Friendship Drive, which connects to Nugent Road and eventually the Arthur Highway. As there is a hydrant within 120m of the proposed dwelling, there are no requirements to upgrade the driveway and access for firefighting purposes.

4.3 Water supply for firefighting

The proposed development has access to a reticulated water supply suitable for firefighting. There is an existing water hydrant located to the north-west of the front boundary of the property.

5. Conclusion

The site has been classified as **BAL-LOW** as per the assessment processes outlined in AS3959-2018. The separation distances shown above are the areas to be maintained and kept in a way to reduce the fuel loads present in order to achieve lower BAL ratings. For this particular site and for where the proposed building is to be constructed, a **BAL-LOW** rating is easily achieved and would suit all directions of the site.

6. References

- Directors Determination – Bushfire hazard areas v1.1
- LIST map version. Aerial Photograph [online]. Available from: <http://www.thelist.tas.gov.au/listmap/listmap>
- Standards Australia 2018, *Construction of buildings in bushfire prone areas*, AS 3959-2018.

Statement

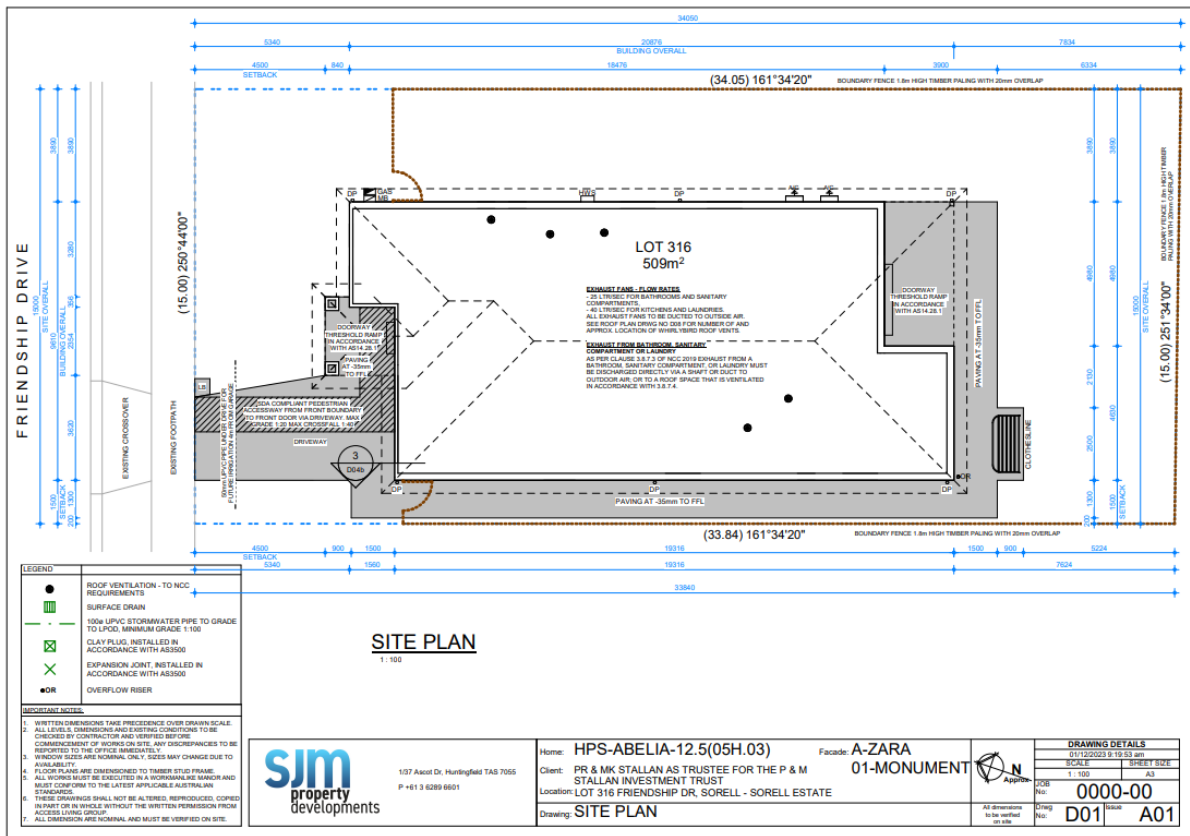
I have taken all reasonable steps to ensure that the information provided in this assessment is accurate and reflects the conditions on and around the site and allotment on the date of this assessment.

It should be noted that this report does not take into account the possibility of altered site conditions either naturally occurring or where currently maintained or excluded vegetation conditions change due to lack of ongoing maintenance. Compliance with the recommendations contained in this assessment does not mean that there is no residual risk to safety of life or property as a result of bushfire.

Signed:.....

Date: 03/03/2024.....

Appendix B – Site photos and designers site plan



 **Sorell Council**

Development Application: Development Application - 52 Friendship Drive, Sorell - P1.pdf

Plans Reference:P1
 Date Received:13/06/2024



Looking North



Looking South

 **Sorell Council**
Development Application: Development
Application - 52 Friendship Drive, Sorell - P1.pdf
Plans Reference:P1
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Looking East



Looking West

 **Sorell Council**
Development Application: Development
Application - 52 Friendship Drive, Sorell - P1.pdf
Plans Reference: P1
Date Received: 13/06/2024

HAZARD MANAGEMENT AREAS - HMA

Hazard Management Area includes the area to protect the Building as well as the access and water supplies. The entirety of this allotment should be treated as HMA.

Vegetation in the Hazard Management area is to be managed and maintained in a minimum fuel condition.

The HMA is determined from the unmanaged vegetation on neighbouring allotments, and should the level of the unmanaged vegetation increase the BHMP and HMA should be reviewed to determine the ongoing suitability of the BHMP and HMA associated with the development.

MAINTENANCE SCHEDULE

- Removal of fallen limbs, leaf and bark litter;
- Cut lawns short (less than 100mm) and maintain;
- Remove pine bark and other garden mulch;
- Complete under-brushing and thin out the under storey;
- Prune low hanging trees to ensure separation from ground litter;
- Prune larger trees to establish and maintain horizontal and vertical canopy separation;
- Maintain storage of petroleum fuels;
- Remove fallen limbs, leaf and bark litter from roofs, gutters and around the building;

BUSHFIRE PROTECTION MEASURES

To reduce the risk of bushfire attack, continual maintenance of bushfire protection measures including building maintenance, managed vegetation areas, water supply and road construction are to be undertaken by successive owners for perpetuity.

WATER SUPPLY

There is an existing fire hydrant within 120m of the most disadvantaged section of the dwelling.

Low-Threat
Vegetation Exclusion
2.2.3

PLAN TO BE READ IN CONJUNCTION WITH BUSHFIRE
ATTACK LEVEL (BAL) REPORT

NOTIFY COUNCIL AND CERTIFYING BUSHFIRE
PRACTITIONER IF ANY VARIATION IN BUILDING
SETOUT OR VEGETATION HAZARDS OCCUR

ENSURE THIS PLAN AND ACCOMPANYING REPORT
DO NOT CONFLICT WITH OTHER RELEVANT
REPORTS AND ASSESSMENTS

HAZARD MANAGEMENT AREA
Low threat, maintained vegetation
in accordance with AS 3959 -
(Clause 2.2.3.2 (e) & (f)). Building
is to be constructed to meet
BAL-LOW requirements

FRIENDSHIP DRIVE

proposed dwelling

Low-Threat
Vegetation Exclusion
2.2.3

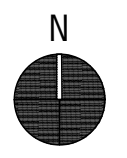
Low-Threat
Vegetation Exclusion
2.2.3

LOT 316
509m²

Low-Threat
Vegetation Exclusion
2.2.3

Prepared By David Lyne - BFP 144

SJM Property Developments
52 Friendship Drive, Sorell
Tasmania 7172
Job No: 1479



11 GRANVILLE AVENUE
GAILSTON BAY, TASMANIA 7015
PH: 0421 852 987 EMAIL: dave_lyne@hotmail.com
Accredited Designer: David Lyne CC7063

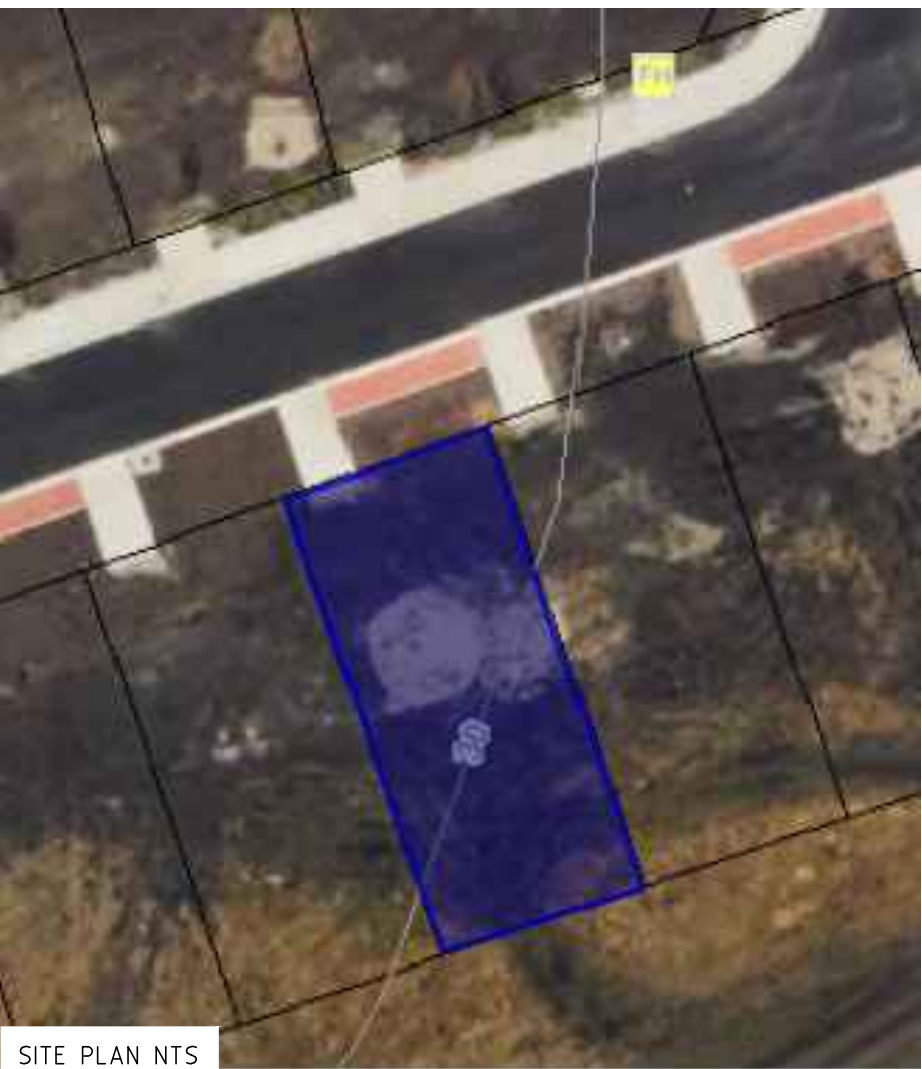
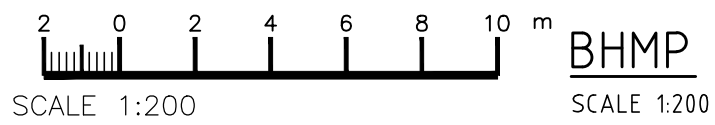
PLEASE READ CAREFULLY
THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE
BUILDING CONTRACT AND I UNDERSTAND CHANGES HEREAFTER MAY
NOT BE POSSIBLE.
FINAL PLAN: ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN
WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE

SIGNATURES

CLIENT:DATE:
CLIENT:DATE:
BUILDER:.....DATE:

DWG NO: 1479	SHEET: 01
SCALE AT A3: 1:200	DATE: 03.03.2024
DRAWN:DL	CHECK: DL
REV	0

Sorell Council
Development Application: Development
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SITE PLAN NTS

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

To: Owner /Agent
 Address
 Suburb/postcode

Form **55**

Qualified person details:

Qualified person:
Address: Phone No:
 Fax No:
Licence No: Email address:

Qualifications and Insurance details: *(description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)*

Speciality area of expertise: *(description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)*

Details of work:

Address: Lot No:
 Certificate of title No:

The assessable item related to this certificate: *(description of the assessable item being certified)*
Assessable item includes –
- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: *(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)*

This certificate is in relation to the above assessable items, at any stage, as part of – (tick one)

building work, plumbing work or plumbing installation or demolition work

OR

 **Sorell Council**

Development Application: Development Application - 52 Friendship Drive, Sorell - P1.pdf

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a building, temporary structure or plumbing installation

In issuing this certificate the following matters are relevant

Documents:

Bushfire Hazard Report – New residential dwelling
Bushfire Hazard Management Plan

Relevant

- In Accordance with AS3959-2018; and
- the Building Regulations (TAS).

calculations:



References:

- AS3959-2018;
- the Building Regulations (TAS); and
- Building Code of Australia (BCA).

Substance of Certificate: (what it is that is being certified)

The above mentioned report concludes that a BAL-LOW rating is achievable and easily maintained for the dwelling on this site

Scope and/or Limitations

The assessment has been conducted according to information provided by the designer/client and freely available historical data and does not take into account the possibility of altered site conditions from the data relied upon.

It should be noted compliance with the recommendations contained in the certified documents does not mean that there is no residual risk to life safety and property as a result of bushfire. The limitation is expressed in the following extract from AS3959-2018, which states:

It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions.

The level of residual risk is inherent in all bushfire standards and also applies to this certification.


The assessment has been undertaken and certification provided on the understanding that; -

1. The certificate only deals with the potential bushfire risk all other statutory assessments are outside the scope of this report.

2. The report only identifies the size, volume and status of vegetation at the time the site inspection was undertaken and cannot be relied upon for any future development. Impacts of future development and vegetation growth have not been considered.

I certify the matters described in this certificate.

Qualified person:

Signed: 

Certificate No:

1479/24

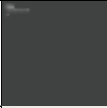
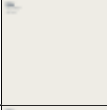
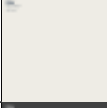

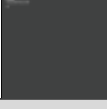



Date:

03/03/2024

EXTERIOR SCHEDULE - SCHEME 01 MONUMENT

Builder:	SJM Property Developments
Revision Date:	30/11/2023
Revision No:	05
Design:	Abelia

Item/Location	Product Code/Name	Finish/Size/Colour/Comments	Manufacturer	Image
Roofing				
Corrugated Roof Sheet	Custom Orb	Colorbond Monument		
Fascia & Gutter	Quad Profile	Colorbond Monument		
Downpipes	Round PVC	Painted Dulux Natural White		
Doors				
Front Door	Madison PMAD 101	Translucent Glass	Corinthian	
Rear Garage Door	Solid Core External		Corinthian	
Laundry Door	Solid Core External		Corinthian	
Windows and Flyscreens				
Windows		Colorbond Night Sky Frame Black Hardware		
Fly Screens - N/A Unless BAL Rated		Colorbond Night Sky Frame Mesh as per BAL Rating		
Garage Door				
Garage Door	Panelift	Seville, Woodgrain Textured Colorbond Monument	b&d	
Render				
Render A		Colorbond Monument	Dulux	
Render B		Natural White	Dulux	
Bricks				
Refer to Exterior Elevations	Industrial	Iron	Austral	

Paint				
Porch Post		Colorbond Monument	Dulux	
Alfresco / Porch Ceiling		Natural White	Dulux	
Eave Lining		Natural White	Dulux	
Front Door		Colorbond Night Sky	Dulux	
Rear Garage Door & Laundry Door		Colorbond Night Sky	Dulux	
Concreting				
Driveway	Exposed Aggregate	Cradle Mountain	Hanson	
Electrical				
Porch / Alfresco Ceiling Lights	Builder's Range LED	White		
Miscellaneous				
Clothesline	Single Fold Down MK2 Lift and Lock	Black	Daytek	
Letterbox	Dune Letterbox	Black	Sandleford	

GENERAL NOTES

BUILDING MEMBRANE

AS PER CLAUSE 3.8.7.2 OF NCC 2019 A PLIABLE BUILDING MEMBRANE TO BE INSTALLED THAT COMPLIES WITH AS/NZS 4200.1 AND TO BE INSTALLED IN ACCORDANCE WITH AS/NZS 4200.2 AND MUST BE A VAPOUR PERMEABLE MEMBRANE FOR CLIMATE ZONES 6/7/8.

DOORS - WATER CLOSET

PROVIDE "LIFT-OFF" HINGES TO ALL WC DOORS.

DOORS - INTERNAL GARAGE

PROVIDE DOOR SEAL AS PER NCC 2019 CLAUSE 3.12.3.3.

DOWNPIPES - TEMPORARY

TEMPORARY DOWNPIPES TO BE INSTALLED DURING CONSTRUCTION TO PREVENT WATER PONDING NEAR THE SLAB.

EXHAUST FANS - FLOW RATES

- 25 LTR/SEC FOR BATHROOMS AND SANITARY COMPARTMENTS,
- 40 LTR/SEC FOR KITCHENS AND LAUNDRIES.
ALL EXHAUST FANS TO BE DUCTED TO OUTSIDE AIR.
SEE ROOF PLAN DRWG NO D08 FOR NUMBER OF AND APPROX. LOCATION OF WHIRLYBIRD ROOF VENTS.

EXHAUST FROM BATHROOM, SANITARY

COMPARTMENT OR LAUNDRY

AS PER CLAUSE 3.8.7.3 OF NCC 2019 EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED DIRECTLY VIA A SHAFT OR DUCT TO OUTDOOR AIR; OR TO A ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH 3.8.7.4.

GLAZING

GLAZING TO COMPLY WITH AS1288 & AS2047.

PLUMBING

- PLUMBING AND DRAINAGE WORKS TO COMPLY WITH AS3500 2021.
- BACKFLOW PROTECTION VALVE IS REQUIRED TO BE INSTALLED TO SHOWER HOSE ASSEMBLY WHERE SHOWER HOSE CAN REACH THE TOILET BOWL.
- HOT WATER INSTALLATION SHALL DELIVER HOT WATER TO ALL SANITARY FIXTURES USED FOR PERSONAL HYGIENE AT 50 °C, KITCHEN & LAUNDRY SHALL BE 60 °C TO COMPLY WITH REQUIREMENTS OF AS3500 2021. (TEMPERING VALVES TO BE INSTALLED TO SUIT)

WATERPROOFING - INTERNAL

PROVIDE INTERIOR WATERPROOFING TO COMPLY WITH AS3740 2021.

EMERGENCY POWER SOLUTIONS

PROVIDE EMERGENCY POWER SOLUTIONS (I.E. UNINTERRUPTED POWER SUPPLY (UPS)) SHALL BE PROVIDED.

ASSISTIVE TECHNOLOGY

INTERNET CONNECTION SHALL BE PROVIDED WITH THE ABILITY FOR HIGH INTERNET SPEEDS TO BE MAINTAINED AND STABLE IN NATURE WITH WI-FI COVERAGE THROUGHOUT ALL AREAS OF THE DWELLING

INTERNAL GARAGE CONSTRUCTION

THE INSIDE OF THE GARAGE IS TO INCLUDE THE FOLLOWING:

A. A 10mm ALUMINIUM ANGLE OR KILN DRIED HARDWOOD TIMBER SILL/THRESHOLD (OR OTHER TYPE OF DURABLE UPSTAND) IS INSTALLED ACCROSS THE PEDESTRIAN DOORWAY BETWEEN THE GARAGE AND THE DWELLING. THE UPSTAND/THRESHOLD IS TO BE SEALED TO THE CONCRETE USING A WATERPROOF SEALANT.

REFER TO FINAL DRAINAGE PLANS FOR LOCATIONS OF AGRICULTURAL DRAINS AND SILT PITS

SOIL CLASSIFICATION

CLASS "M"

AS PER SOIL REPORT PROVIDED BY "GEO-ENVIRONMENTAL SOLUTIONS (G.E.S.)"
FILE NO:J10088
DATED: 19/03/2024

WIND RATING : N2

SITE CUT AND BATTER

SITE CUT AND FILL TO BE MINIMUM 1.2m FROM DWELLING BOUNDARY AND BATTERED AT NO MORE THAN 45 DEGREES SITE CUTS/FILLING WORKS NOT SUPPORTED BY RETAINING WALLS SHALL BE FINISHED WITH A BATTER OF 45 DEGREES AND AN AGRICULTURAL DRAIN AT THE BASE OR A SPOON DRAIN AT THE END OF ANY FUTURE PAVING EXTERNAL WALL FOOTINGS SHALL NOT BE FOUNDED AT GREATER DEPTHS THAN THE ADJOINING BUILDING FOOTINGS. STOP WORKS AND CONTACT THE OFFICE IMMEDIATELY IF THE ABOVE CANNOT BE ACHIEVED.

STORMWATER DRAIN

CONSTRUCT & DISCHARGE 100 DIA. P.V.C STORM WATER DRAIN TO LEGAL POINT OF DISCHARGE AS DIRECTED BY THE RELEVANT AUTHORITY. MIN FALL 1:100 PROVIDE INSPECTION OPENINGS AT 9000 MAX CTRS OR AT EVERY CHANGE OF DIRECTION. DP DENOTES 100x50 DOWNPIPES AT 12000 MAX CTRS. PROVIDE 100 DIA. SEWERGRADE S.W DRAIN UNDER SLAB AND DRIVEWAY.

GARDEN TAPS

POSITION OF THE FRONT GARDEN TAP & WATER METER IS BY WATER AUTHORITY, THE FULL COST OF RELOCATION IS AT THE OWNER'S EXPENSE.

LEVELS

LEVELS SHOWN ARE TO AN ARBITRARY DATUM AND ARE TO BE USED AS A GUIDE ONLY. OWNER/BUILDER TO CHECK AND VERIFY ON SITE PRIOR TO ANY WORK BEING CARRIED OUT. ALL LEVELS ON DRAWINGS ARE NOMINAL AND MAY ALTER DUE TO SITE CONDITIONS UP TO 50mm EITHER WAY.

GENERAL

- CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND MEASUREMENTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL WORK IS SUBJECT TO INSPECTION AND APPROVAL OF RELEVANT BUILDING SURVEYOR.
- ALL WORK SHOWN TO BE CARRIED OUT IN GOOD WORKMAN LIKE MANNER IN ACCORDANCE WITH "NATIONAL CONSTRUCTION CODE -2019".
- NO RESPONSIBILITY IS TAKEN FOR WORK DONE AFTER ACCEPTANCE OF PLANS BY CLIENT.
- WORK SHOWN TO BE IN ACCORDANCE WITH SPECIFICATIONS/COMPUTATIONS SUPPLIED.

EXCAVATION

- EXCAVATE FOOTINGS AND DRAINS AS SHOWN. KEEP EXCAVATIONS DRY AND BACKFILL WITH APPROVED MATERIALS FREE OF ANY BUILDING DEBRIS.

ENERGY RATING

- ALL EXTERNAL DOORS AND WINDOWS TO UTILITY ROOMS (NON-HEATED BATHROOMS, LAUNDRIES; STORAGE ROOMS) TO BE WEATHER-SEALED WITH WEATHER-STRIPPING BETWEEN THE DOOR AND THE FRAME, AND A DRAFT EXCLUDER FITTED AT THE BOTTOM OF THE DOOR TO CREATE A TIGHT SEAL WHEN CLOSED.

- ALL OPENABLE WINDOWS TO HAVE WEATHER-STRIPPING BETWEEN THE FRAME AND THE SASH TO CREATE A TIGHT SEAL WHEN CLOSED.

- ENTRY DOOR TO BE WEATHER-STRIPPED.

- ALL GENERAL BUILDING GAPS AND CRACKS TO BE FILLED.

- ALL REFLECTIVE FOIL TO BE INSTALLED TO MANUFACTURERS RECCOMENDATIONS AND TO RUN CONTIGUOUSLY FROM BOTTOM PLATE TO TOP PLATE WITH ALL GAPS TAPED. ALL RIPS IN FOIL AND PENETRATIONS TO BE RE-TAPED.

- ONLY NON-VENTED DOWNLIGHTS, AND SKYLIGHTS TO BE USED

- EXHAUST FANS TO BE SELF-SEALING, OR FITTED WITH A SELF CLOSING DEVICE TO PROVIDE A SEAL TO UNWANTED VENTILATION.

- **R2.5 BATTS TO EXTERNAL WALLS.**

- **R2.5 BATTS TO GARAGE INTERNAL WALLS.**

- **R5.0 BATTS TO CEILINGS.**

- ALL WINDOWS/SLIDING DOORS ARE TO BE ALUMINIUM FRAMED DOUBLE GLAZED CLEAR GLASS WITH A MINIMUM U-VALUE & SHGC AS LISTED IN THE ENERGY REPORT.

DRAWING REGISTER

NUMBER	DRAWING NAME
D00a	NOTES & DRAWING REGISTER
D00b	WET AREA WATER PROOFING
D01a	SITE PLAN
D01b	SITE EXCAVATION PLAN
D01c	SITE SURVEY
D02	FLOOR PLAN
D03a	ELEVATIONS A & B
D03b	ELEVATIONS C & D
D03c	ELEVATIONS - NOTES
D04a	SECTIONS
D04b	SECTIONS - TYPICAL
D05	WINDOW & DOOR SCHEDULE
D06a	INTERNAL ELEVATIONS - KITCHEN
D06b	INTERNAL ELEVATIONS - KITCHEN
D06c	INTERNAL ELEVATIONS - KITCHEN
D06d	INTERNAL ELEVATIONS - TYPICAL
D07a	WET AREA ELEVATIONS - WC
D07b	WET AREA ELEVATIONS - WC
D07c	WET AREA ELEVATIONS - ENSUITE 1
D07d	WET AREA ELEVATIONS - ENSUITE 1
D07e	WET AREA ELEVATIONS - ENSUITE 2
D07f	WET AREA ELEVATIONS - ENSUITE 2
D07g	WET AREA ELEVATIONS - LAUNDRY
D08	ROOF PLAN
D09	SLAB PLAN
D10a	SLAB PENETRATION PLAN
D10b	PLUMBING PLAN
D10c	STORMWATER MANAGEMENT PLAN
D11	FLOOR FINISHES PLAN
D12	ELECTRICAL & LIGHTING PLANS
D13	SPRINKLER PLAN
D14	LANDSCAPE PLAN

BUSHFIRE ASSESSMENT

THIS PARCEL IS IN A 'BAL LOW' DESIGNATED BUSHFIRE PRONE AREA. 'NO' BAL REQUIREMENTS.

IMPORTANT NOTES:

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN SCALE.
- ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE. ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
- WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
- FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME.
- ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANOR AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS.
- THESE DRAWINGS SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION FROM ACCESS LIVING GROUP.
- ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE.



1/37 Ascot Dr, Huntingfield TAS 7055

P +61 3 6289 6601

Home: **ABELIA-12.5(05H.03)**

Client: **SJM**

Location: 52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172

Drawing: **NOTES & DRAWING REGISTER**

Facade: **A-ZARA
01-MONUMENT**

DRAWING DETAILS

6/6/2024 8:47:49 AM

SCALE SHEET SIZE
1 : 100 A3

JOB No: **490N**

All dimensions to be verified on site
Drwg No: **D00a** Issue **A01**

WET AREA WATER PROOFING

10.2.1 WET AREAS

- (1) BUILDING ELEMENTS IN WET AREAS WITHIN A BUILDING MUST BE PROTECTED WITH A WATERPROOFING SYSTEM.
- (2) THE WATER PROOFING SYSTEM IN (1) MUST EITHER BE WATERPROOF OR WATER RESISTANT IN ACCORDANCE WITH 10.2.2 TO 10.2.6.

10.2.2 SHOWER AREA (ENCLOSED AND UNENCLOSED)

- (1) FOR A SHOWER AREA WITH A HOB, STEP-DOWN OR LEVEL THRESHOLD, THE FOLLOWING APPLIES:
 - (A) THE FLOOR OF THE SHOWER AREA MUST BE WATERPROOF, INCLUDING ANY HOB OR STEP-DOWN (SEE FIGURE 10.2.2); AND
 - (B) THE WALLS OF THE SHOWER AREA MUST BE WATERPROOF NOT LESS THAN 1800 MM ABOVE THE FLOOR SUBSTRATE (SEE FIGURE 10.2.2).
 - (C) WALL JUNCTIONS AND JOINTS WITHIN THE SHOWER AREA MUST BE WATERPROOF NOT LESS THAN 40 MM EITHER SIDE OF THE JUNCTION (SEE FIGURE 10.2.2).
 - (D) WALL/FLOOR JUNCTIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF (SEE FIGURE 10.2.2).
 - (E) PENETRATIONS WITHIN THE SHOWER AREA MUST BE WATERPROOF.
- (2) A SHOWER WITH A PREFORMED SHOWER BASE MUST ALSO COMPLY WITH THE REQUIREMENTS OF (1), EXCEPT FOR (A) WHICH IS NOT APPLICABLE.

10.2.3 AREA OUTSIDE SHOWER AREA

- (1) FOR CONCRETE, COMPRESSED FIBRE-CEMENT AND FIBRE-CEMENT SHEET FLOORING, THE FLOOR OF THE ROOM MUST BE WATER RESISTANT.
- (2) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS, THE FLOOR OF THE ROOM MUST BE WATERPROOF.
- (3) WALL/FLOOR JUNCTIONS MUST BE
 - (A) WATER PROOF; AND
 - (B) WHERE A FLASHING IS USED, THE HORIZONTAL LEG MUST BE NOT LESS THAN 40 MM

10.2.4 AREAS ADJACENT TO BATHS AND SPAS WITHOUT SHOWERS

- (1) FOR AREAS ADJACENT TO ALL BATHS AND SPAS, THE FOLLOWING APPLIES:
 - (A) FOR CONCRETE, COMPRESSED FIBRE-CEMENT AND FIBRE CEMENT SHEET FLOORING, THE FLOOR OF THE ROOM MUST BE WATER RESISTANT.
 - (B) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS, THE FLOOR OF THE ROOM MUST BE WATERPROOF.
 - (C) TAP AND SPOUT PENETRATIONS MUST BE WATERPROOF WHERE THEY OCCUR IN HORIZONTAL SURFACES.
- (2) FOR AREAS ADJACENT TO NON-FREESTANDING BATHS AND SPAS, THE FOLLOWING APPLIES:
 - (A) WALLS MUST BE WATER RESISTANT (SEE FIGURE 10.2.4A AND FIGURE 10.2.4B)
 - (I) TO A HEIGHT OF NOT LESS THAN 150 MM ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75 MM OF A WALL; AND
 - (II) FOR ALL EXPOSED SURFACES BELOW VESSEL LIP.
- (3) WALL JUNCTIONS AND JOINTS MUST BE WATER RESISTANT WITHIN 150 MM ABOVE A VESSEL FOR THE EXTENT OF THE VESSEL.
- (4) WALL/FLOOR JUNCTIONS MUST BE WATERPROOF FOR THE EXTENT OF THE VESSEL (SEE FIGURE 10.2.4A AND FIGURE 10.2.4B).
- (5) FOR INSERTED BATHS AND SPAS, THE FOLLOWING APPLIES:
 - (A) FOR FLOORS AND HORIZONTAL SURFACES: (I) ANY SHELF AREA ADJOINING THE BATH OR SPA MUST BE WATERPROOF AND INCLUDE A WATERSTOP UNDER THE VESSEL LIP.
 - (II) THERE ARE NO REQUIREMENTS FOR THE FLOOR UNDER A BATH OR SPA.
- (6) FOR WALLS:
 - (I) WATERPROOF TO NOT LESS THAN 150 MM ABOVE THE LIP OF A BATH OR SPA.
 - (II) THERE ARE NO REQUIREMENTS FOR THE FLOOR UNDER A BATH OR SPA.
- (7) FOR WALL JUNCTIONS AND JOINTS, THE FOLLOWING APPLIES:
 - (I) WATERPROOF JUNCTIONS WITHIN 150 MM OF A BATH OR SPA.
 - (II) THERE ARE NO REQUIREMENTS FOR JUNCTIONS AND JOINTS IN WALLS BENEATH THE LIP OF A BATH OR SPA.
 - (III) TAP AND SPOUT PENETRATIONS MUST BE WATERPROOF WHERE THEY OCCUR IN HORIZONTAL SURFACES.

10.2.5 OTHER AREAS

- (1) FOR WALLS ADJOINING OTHER TYPES OF VESSELS (E.G. SINK, BASIN OR LAUNDRY TUB), THE FOLLOWING APPLIES:
 - (A) WALLS MUST BE WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150 MM ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75 MM OF A WALL (SEE FIGURE 10.2.5).
 - (B) WATERPROOF WALL JUNCTIONS WHERE A VESSEL IS FIXED TO A WALL.
 - (C) WATERPROOF TAP AND SPOUT PENETRATIONS WHERE THEY OCCUR IN SURFACES REQUIRED TO BE WATERPROOF OR WATER RESISTANT.
- (2) FOR LAUNDRIES AND WCS, THE FOLLOWING APPLIES:
 - (A) THE FLOOR OF THE ROOM MUST BE WATER RESISTANT.
 - (B) WALL/FLOOR JUNCTIONS MUST BE WATER RESISTANT, AND WHERE A FLASHING IS USED, THE HORIZONTAL LEG MUST NOT BE LESS 40MM
- (3) FOR WCS WITH HANDHELD BIDET SPRAY INSTALLATIONS, THE FOLLOWING APPLIES:
 - (A) THE FLOOR OF THE ROOM MUST BE WATERPROOF.
 - (B) WALLS MUST BE--
 - (I) WATERPROOF IN WC AREA WITHIN A 900 MM RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE TO A HEIGHT OF NOT LESS THAN 150 MM ABOVE THE FLOOR SUBSTRATE; AND
 - (II) WATER RESISTANT IN WC AREA WITHIN A 900 MM RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET DEVICE TO NOT LESS THAN 1200 MM ABOVE THE FINISHED FLOOR LEVEL OF THE WC.
 - (C) WALL JUNCTIONS WITHIN THE WC AREA WITHIN 900 MM RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE MUST BE WATERPROOF.
 - (D) WALL/FLOOR JUNCTIONS WITHIN THE WC AREA WITHIN 1000 MM RADIUS FROM THE WALL CONNECTION OF THE HANDHELD BIDET SPRAY DEVICE MUST BE WATERPROOF.
 - (E) PENETRATIONS IN THE WC AREA MUST BE WATERPROOF.

10.2.6 WATERPROOFING SYSTEMS

- (1) FOR THE PURPOSES OF THIS PART, A WATERPROOFING SYSTEM IS DEEMED
 - (A) WATERPROOF, IF IT COMPLIES WITH (2); OR
 - (B) WATER RESISTANT, IF IT COMPLIES WITH (3).
- (2) FOR A WATERPROOFING SYSTEM REQUIRED TO BE WATERPROOF IN ACCORDANCE WITH 10.2.2 TO 10.2.5, THE MATERIALS NOMINATED IN 10.2.8 MUST BE USED.
- (3) FOR A WATERPROOFING SYSTEM REQUIRED TO BE WATER RESISTANT IN ACCORDANCE WITH 10.2.2 TO 10.2.5, THE MATERIALS NOMINATED IN 10.2.9 MUST BE USED IN CONJUNCTION WITH THE MATERIALS IN 10.2.10.

FIGURE NOTES

WALL/FLOOR JUNCTION HEIGHTS ARE TO BE AS PER 10.2.2 TO 10.2.6 (AS APPLICABLE).

NOTES

WHERE A SHOWER IS ABOVE A BATH OR SPA, USE REQUIREMENTS FOR SHOWER.

FIGURE 10.2.4A

AREA ADJACENT TO BATHS AND SPAS WITHOUT SHOWERS FOR CONCRETE, COMPRESSED FIBRE-CEMENT AND FIBRE-CEMENT SHEET FLOORING

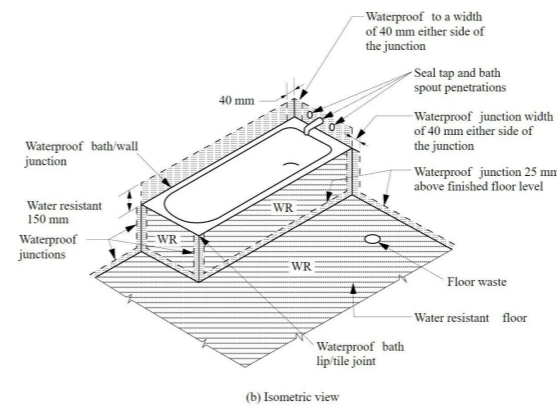
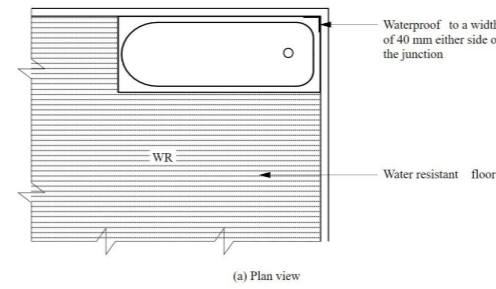


FIGURE 10.2.4B

AREAS ADJACENT TO BATHS AND SPA WITHOUT SHOWERS FOR TIMBER FLOORS INCLUDING PARTICLE-BOARD, PLYWOOD AND OTHER FLOOR MATERIALS.

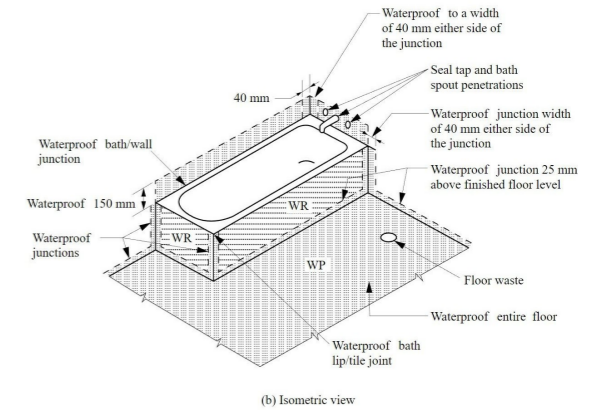
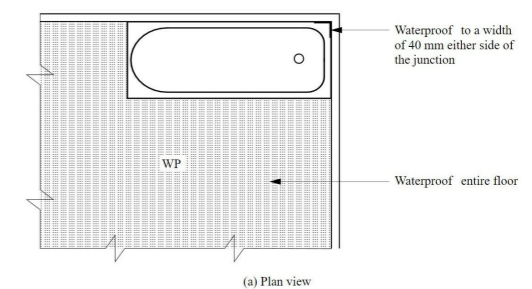


FIGURE 10.2.2

EXTENT OF TREATMENT FOR SHOWER AREAS - CONCRETE COMPRESSED FIBRE-CEMENT AND FIBRE-CEMENT SHEET FLOORS

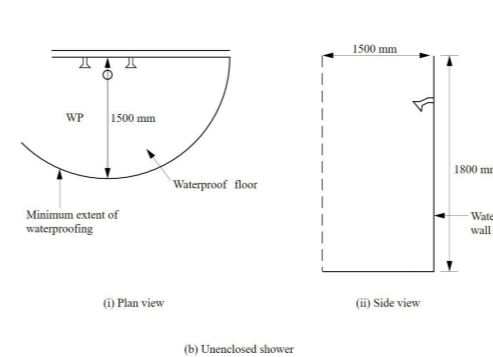
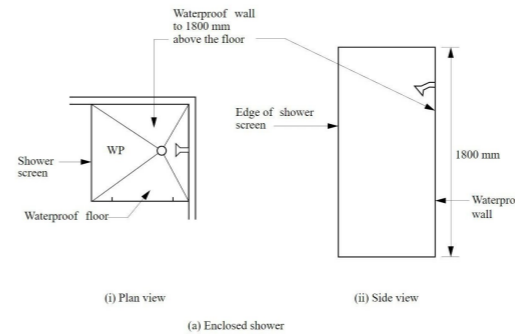
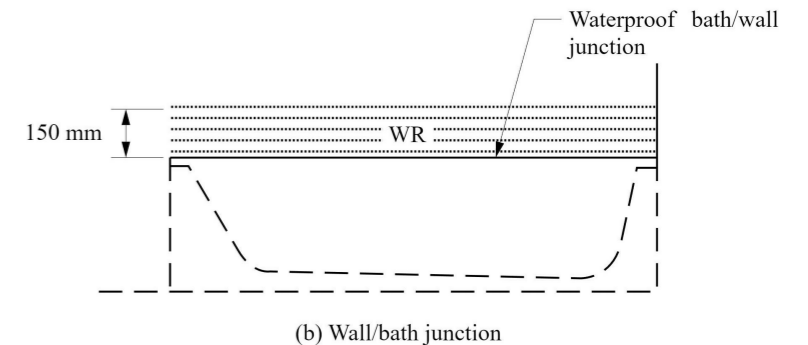
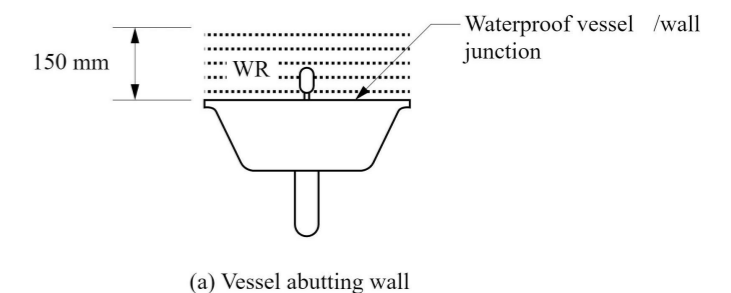


FIGURE 10.2.5

BATH AND VESSEL ABUTTING WALL - AREAS TO BE PROTECTED



IMPORTANT NOTES:

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3. WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
4. FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME.
5. ALL WORKS MUST BE EXECUTED IN A WORKMANLIKE MANNER AND MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARDS.
6. THESE DRAWINGS SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION FROM ACCESS LIVING GROUP.
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Sorell Council
 Development Application: Development Application - 52 Friendship Drive, Sorell - P1.pdf
 Plans Reference:P1
 Date Received:13/06/2024



1/37 Ascot Dr, Huntingfield TAS 7055
 P +61 3 6289 6601

Home: ABELIA-12.5(05H.03)

Client: SJM

Location: 52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172

Drawing: WET AREA WATER PROOFING

Facade: A-ZARA
 01-MONUMENT

DRAWING DETAILS

6/6/2024 8:47:49 AM

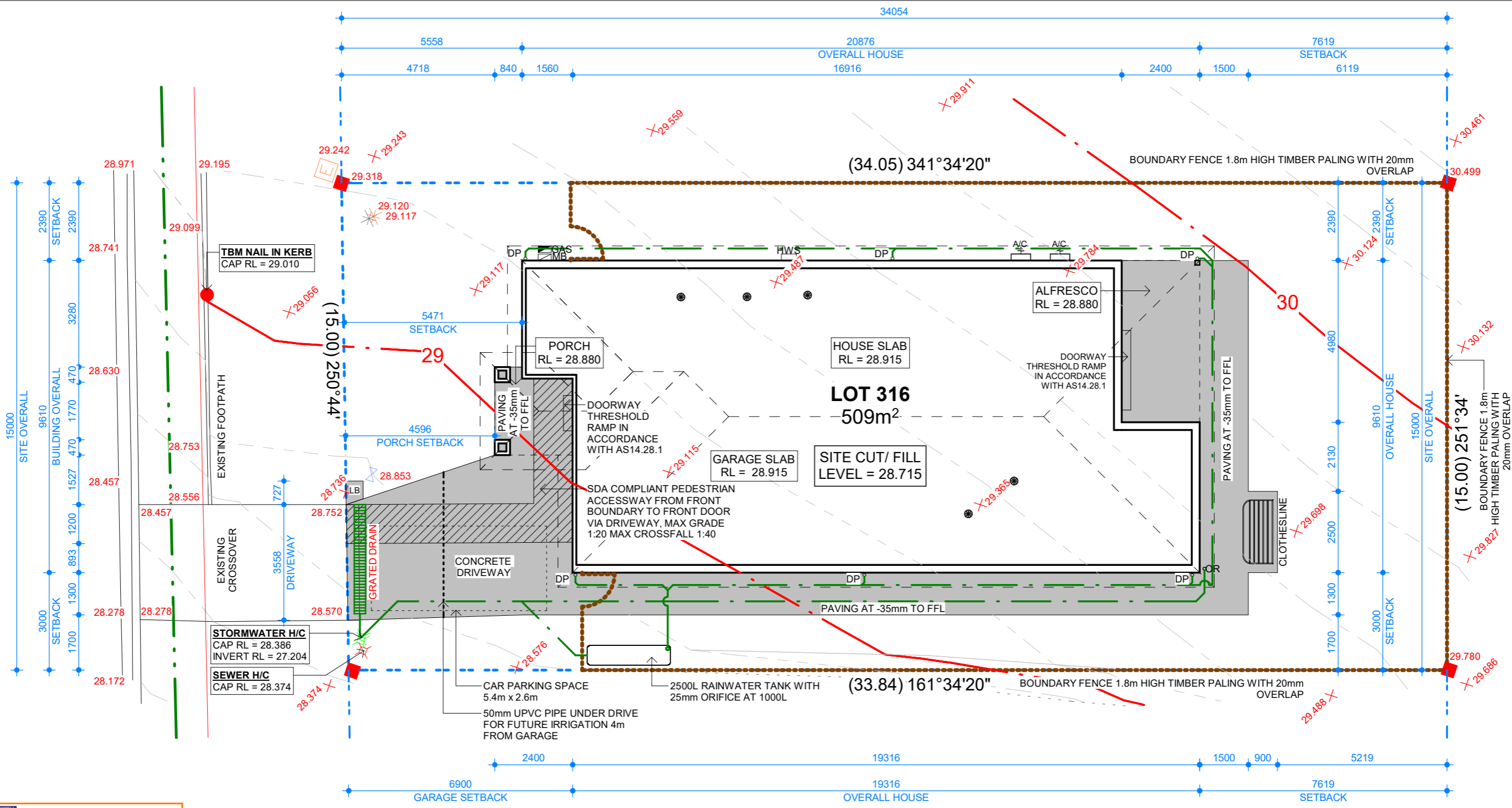
SCALE SHEET SIZE
 1 : 100 A3

JOB No: 490N

Drwg No: D00b Issue A01

All dimensions to be verified on site

FRIENDSHIP DRIVE



Sorell Council
 Development Application: Development Application - 52 Friendship Drive, Sorell - P1.pdf
 Plans Reference: P1
 Date Received: 13/06/2024

SITE PLAN

1 : 125

SITE PLAN AND SURVEY LEGENDS:

	ROOF VENTILATION - TO NCC REQUIREMENTS		LOT BOUNDARY		STORMWATER UNDERGROUND (PLOTTED FROM LISTMAP)		ELECTRICITY MAIN
	SURFACE DRAIN		EASEMENT BOUNDARY		SEWER UNDERGROUND (PLOTTED FROM LISTMAP)		POLE WITH LIGHT
	100mm UPVC STORMWATER PIPE TO GRADE TO LPOD, MINIMUM GRADE 1:100		BANK TOP		TITLE PEG		CABLE HYDRO UNDERGROUND
	CLAY PLUG, INSTALLED IN ACCORDANCE WITH AS3500		BANK BOTTOM		TITLE PEG		CABLE COMMS UNDERGROUND
	EXPANSION JOINT, INSTALLED IN ACCORDANCE WITH AS3500		BITUMEN EDGE		NATURAL SURFACE		SEWER HOUSE CONNECTION
	OVERFLOW RISER		KERB INVERT		STORMWATER HOUSE CONNECTION		METER WATER
			KERB BACK				
			FOOTPATH				
			DRIVEWAY				

EXHAUST FANS - FLOW RATES
 - 25 LTR/SEC FOR BATHROOMS AND SANITARY COMPARTMENTS.
 - 40 LTR/SEC FOR KITCHENS AND LAUNDRIES.
 ALL EXHAUST FANS TO BE DUCTED TO OUTSIDE AIR. SEE ROOF PLAN DRWG NO D08 FOR NUMBER OF AND APPROX. LOCATION OF WHIRLYBIRD ROOF VENTS.

EXHAUST FROM BATHROOM, SANITARY COMPARTMENT OR LAUNDRY
 AS PER CLAUSE 3.8.7.3 OF NCC 2019 EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED DIRECTLY VIA A SHAFT OR DUCT TO OUTDOOR AIR; OR TO A ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH 3.8.7.4.

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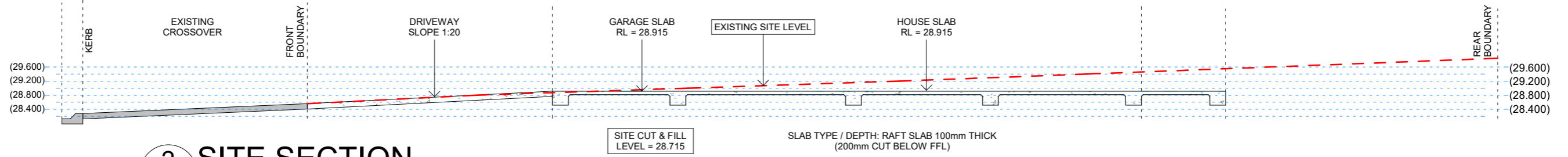
SJM property developments
 1/37 Ascot Dr, Huntingfield TAS 7055
 P +61 3 6289 6601

Home: **ABELIA-12.5(05H.03)** Facade: **A-ZARA 01-MONUMENT**
 Client: **SJM**
 Location: 52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172
 Drawing: **SITE PLAN**

DRAWING DETAILS	
6/6/2024 8:47:50 AM	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	490N
Drwg No:	D01a
Issue	A02

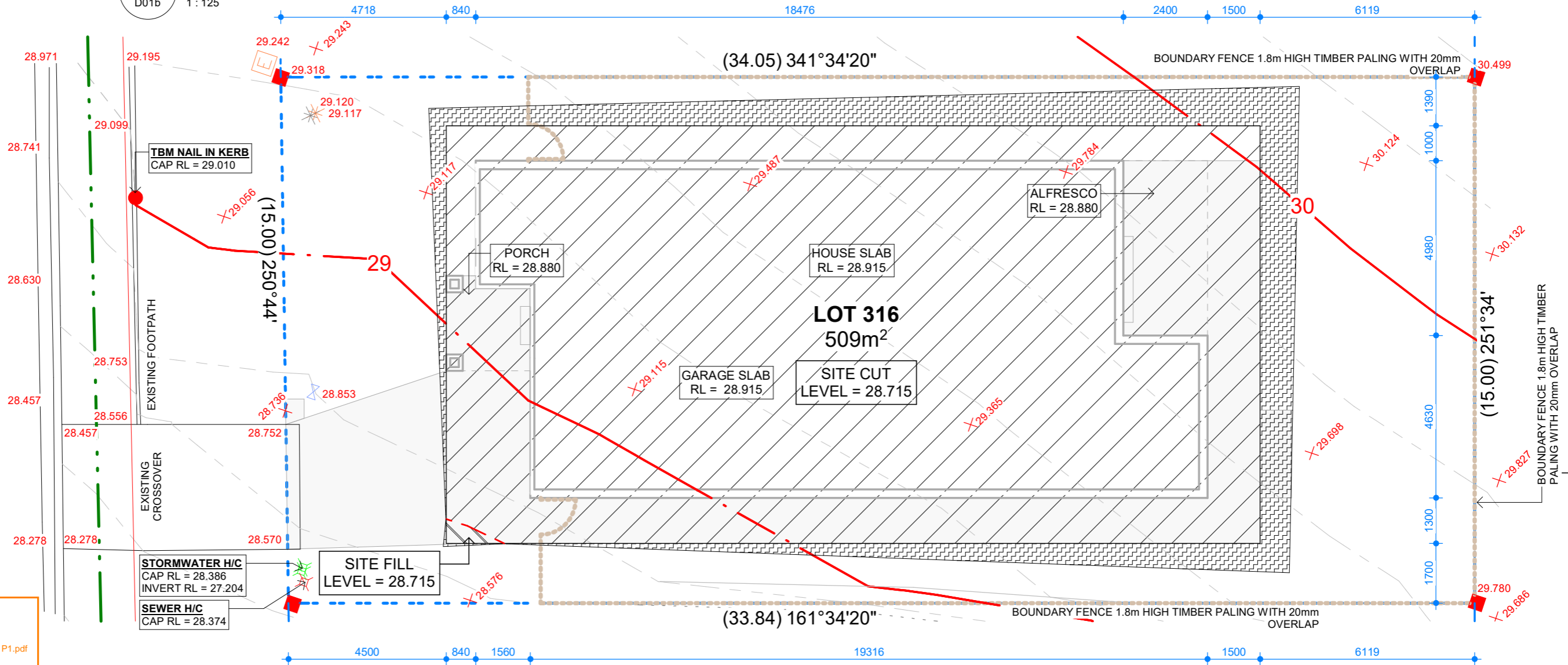
All dimensions to be verified on site

LEGENDS	
	DENOTES CUT
	DENOTES FILL
	DENOTES BATTER



2 SITE SECTION
D01b 1:125

FRIENDSHIP DRIVE



SITE EXCAVATION PLAN

1:125



1/37 Ascot Dr, Huntingfield TAS 7055
P +61 3 6289 6601

Home: **ABELIA-12.5(05H.03)**
Client: **SJM**
Location: **52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172**
Drawing: **SITE EXCAVATION PLAN**

Facade: **A-ZARA
01-MONUMENT**



DRAWING DETAILS	
6/6/2024 8:47:51 AM	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	490N
Drwg No:	D01b
Issue	A01

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Sorell Council
Development Application: Development
Application - 52 Friendship Drive, Sorell - P1.pdf
Plans Reference: P1
Date Received: 13/06/2024

All dimensions to be verified on site

FRIENDSHIP DRIVE



Sorell Council
 Development Application: Development
 Application - 52 Friendship Drive, Sorell - P1.pdf
 Plans Reference: P1
 Date Received: 13/06/2024

SITE SURVEY

1 : 125

SITE PLAN AND SURVEY LEGENDS:			
	LOT BOUNDARY		STORMWATER UNDERGROUND (PLOTTED FROM LISTMAP)
	EASEMENT BOUNDARY		SEWER UNDERGROUND (PLOTTED FROM LISTMAP)
	BANK TOP		TITLE PEG
	BANK BOTTOM		TITLE PEG
	BITUMEN EDGE		NATURAL SURFACE
	KERB INVERT		STORMWATER HOUSE CONNECTION
	KERB BACK		METER WATER
	FOOTPATH		ELECTRICITY MAIN
	DRIVEWAY		POLE WITH LIGHT
			CABLE HYDRO UNDERGROUND
			CABLE COMMS UNDERGROUND
			SEWER HOUSE CONNECTION

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SJM property developments
 1/37 Ascot Dr, Huntingfield TAS 7055
 P +61 3 6289 6601

Home: **ABELIA-12.5(05H.03)** Facade: **A-ZARA 01-MONUMENT**
 Client: **SJM**
 Location: 52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172
 Drawing: **SITE SURVEY**

DRAWING DETAILS	
6/6/2024 8:47:52 AM	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	490N
Drwg No:	D01c
Issue	A01

All dimensions to be verified on site

FLOOR FINISHES:
ALL FLOOR COVERINGS TO BE FIRM AND EVEN AND FEATURE A TRANSITION BETWEEN ABUTTING SURFACES (A MAXIMUM TOLERANCE OF 3mm OR 5mm BETWEEN SURFACES IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELED.)

ALL INTERNAL FLOOR FINISHES SHALL HAVE A MINIMUM SLIP RESISTANCE OF P3 OR R10.

EXHAUST FANS:
EXHAUST FANS TO BE 25 LITRES PER SECOND (BATHROOMS AND TOILET) OR 40 LITRES PER SECOND (KITCHEN AND LAUNDRY)

DOORS:
ALL INTERNAL DOORS AND FRONT ENTRY DOOR TO BE SOLID CORE. ALL OTHER DOORS TO BE STANDARD.

ROBE DOORS ARE STANDARD.

WET AREAS:
12mm VILLABOARD ALLOWED TO ALL WALLS IN BATHROOM AND WC.

1. ALL WATER CLOSETS TO HAVE REMOVABLE HINGES TO THE DOORS IF THERE IS LESS THAN 1.2m CLEARANCE BETWEEN THE CLOSET PAN AND THE DOORWAY.
2. IF TIMBER FLOORS ARE SUPPLIED, DIRECTION INDICATED ON DRAWINGS IS NOMINAL.
3. ALL PLUMBING TO BE CONCEALED AS PER REQUIRED.

CEILING HOIST PROVISION:

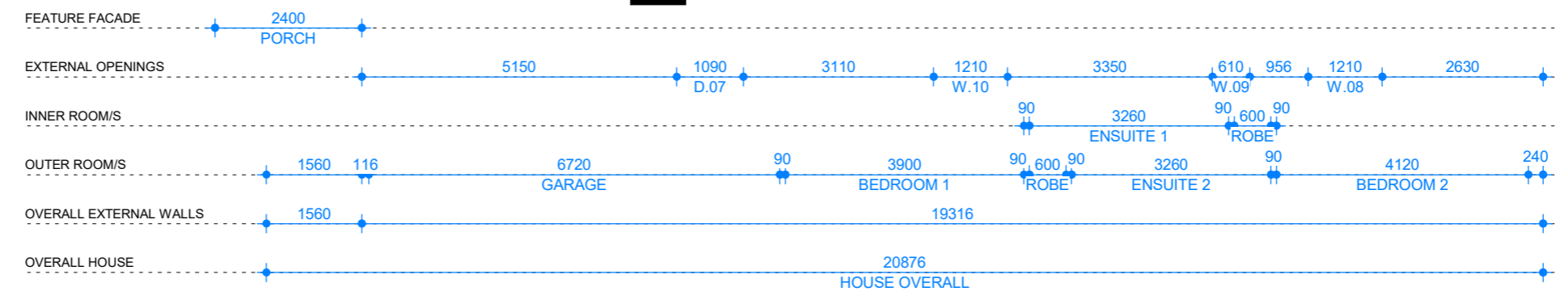
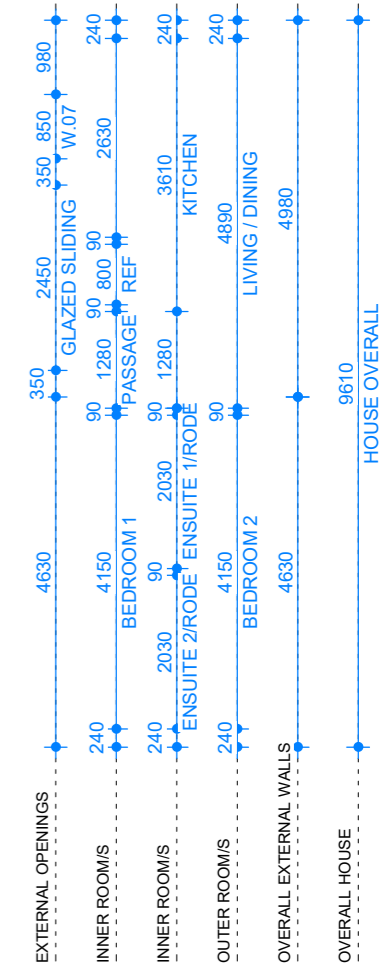
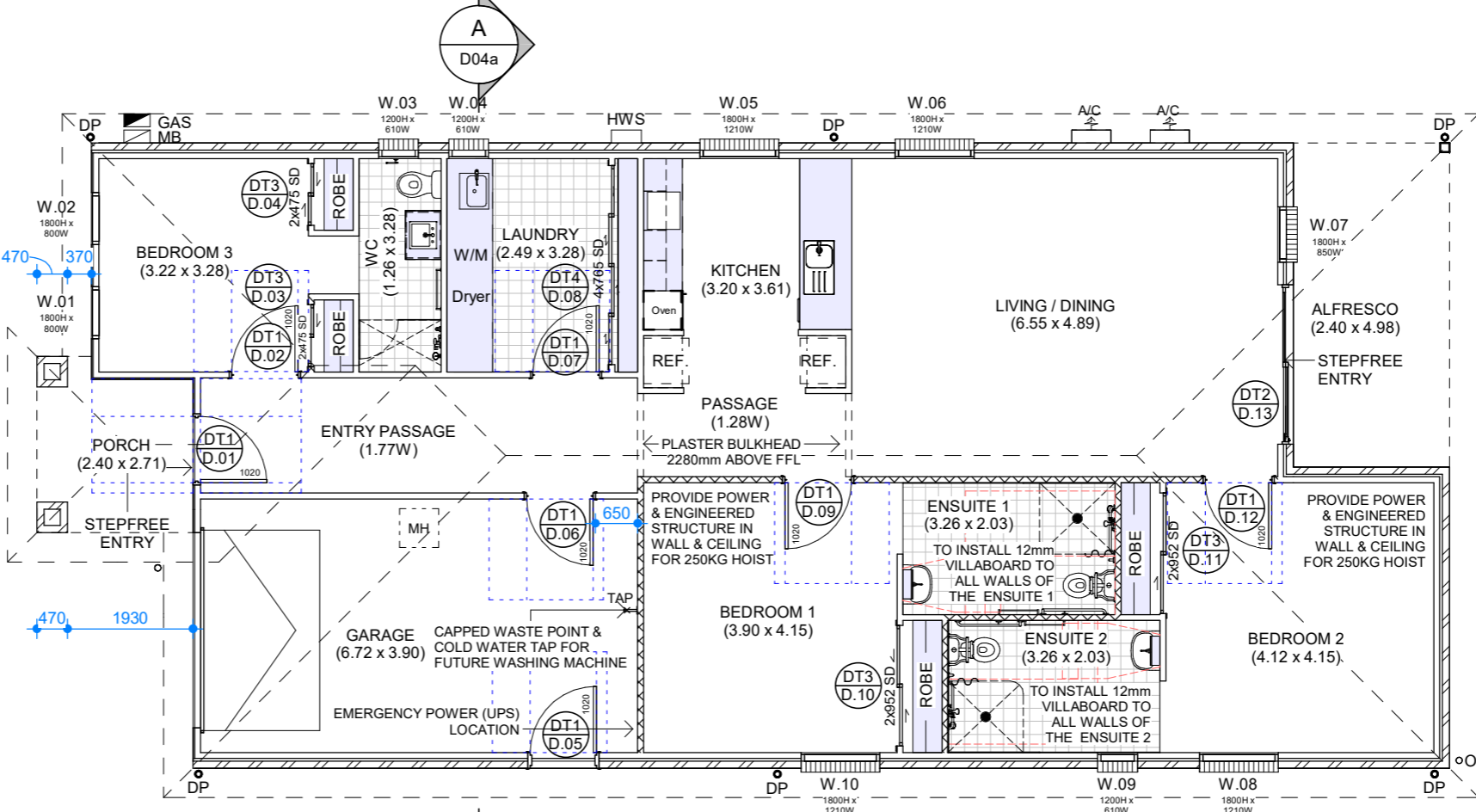
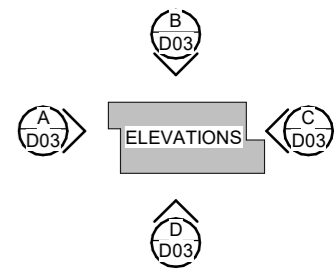
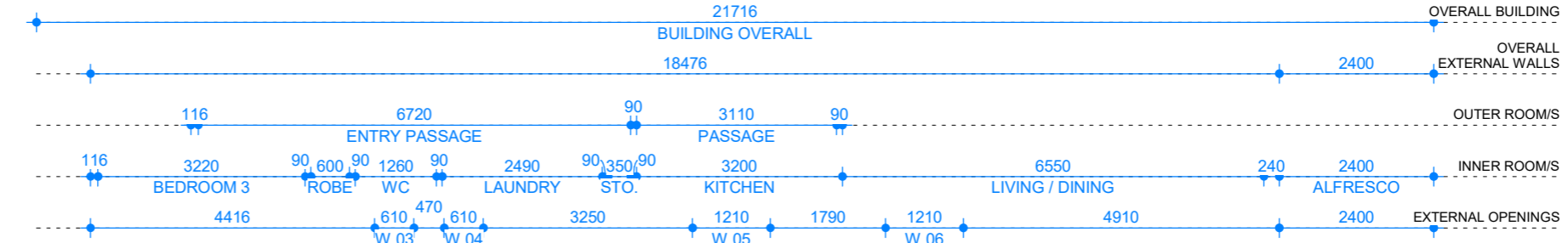
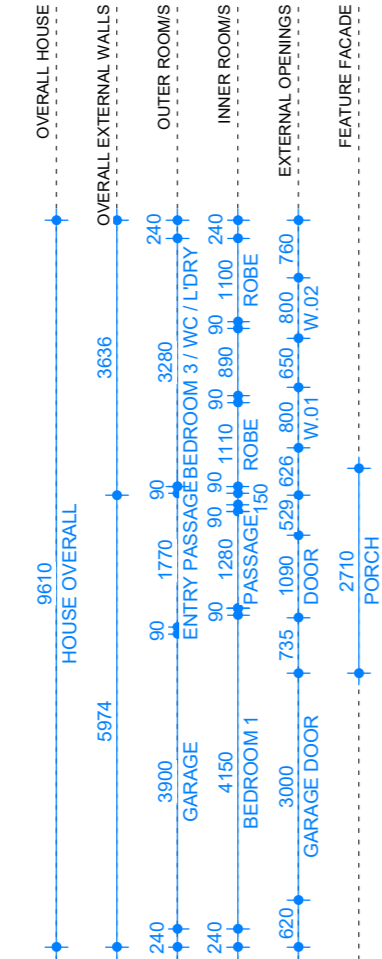
1. BEDROOMS SHALL HAVE A PROVISION FOR POWER AND INBUILT STRUCTURE, CAPABLE OF INSTALLATION OF A CONSTANT CHARGE CEILING HOIST.
2. THE HOIST SHALL BE CAPABLE OF GOING ACROSS THE BED AND DOWN THE BED.
3. MIN LOAD CAPACITY OF THE HOIST SHALL BE 250KG.
4. HOIST IS TO BE CAPABLE OF BEING EITHER CEILING MOUNTED OR WALL MOUNTED.
5. STRUCTURE FOR HOIST IN BEDROOMS 1 & 2 TO BE IN ACCORDANCE WITH ENGINEER'S DETAILS.

LEGEND

- BUILDER TO PROVIDE SOUND INSULATION AS SHOWN HATCHED.
 - MAN HOLE 600x600 (APPROX. POSITION)
 - REVERSE CYCLE AIR CONDITIONING
 - CONTROL JOINT
- LEGEND - SERVICES**
- HOT WATER SERVICE
 - METER BOX
 - GAS METER
 - OVERFLOW RISER

IMPORTANT NOTES:

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HOUSE SIZE
9.61m x 20.88m

BLOCK SIZE
15.00m x 34.05m

AREAS

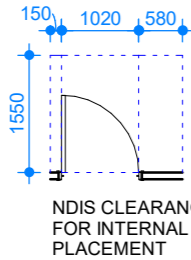
LIVING	151.0 m ²
PORCH	5.9 m ²
GARAGE	28.3 m ²
ALFRESCO	12.0 m ²
TOTAL AREA	197.2 m²

SITE COVERAGE 37.62%

FLOOR PLAN

1 : 100

Sorell Council
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Plans Reference: P1
Date Received: 13/06/2024



1/37 Ascot Dr, Huntingfield TAS 7055
P +61 3 6289 6601

Home: **ABELIA-12.5(05H.03)**
Client: **SJM**
Location: **52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172**
Drawing: **FLOOR PLAN**

Facade: **A-ZARA 01-MONUMENT**



DRAWING DETAILS

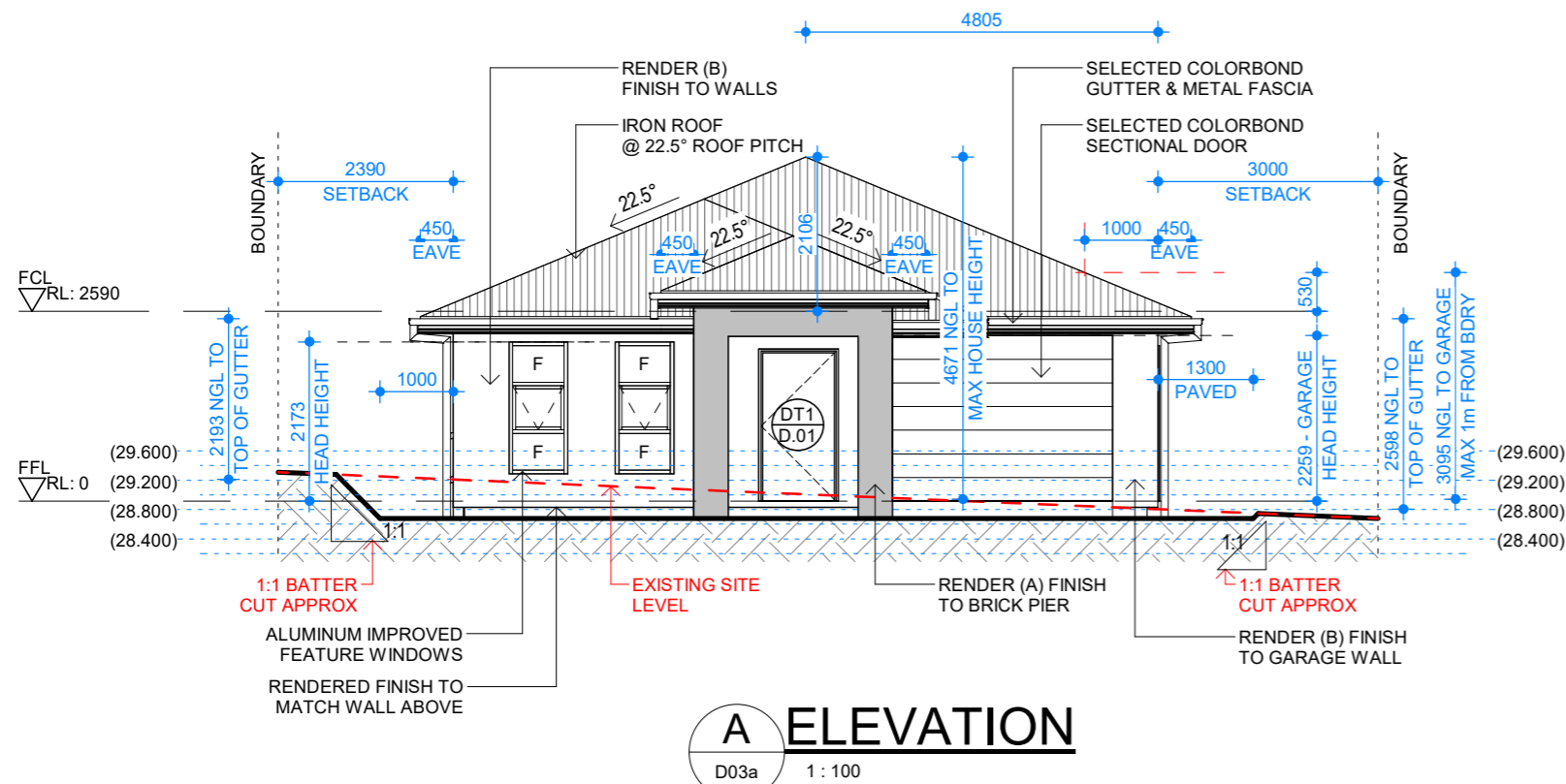
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SCALE	SHEET SIZE
1 : 100	A3

JOB No: **490N**

Drwg No: **D02** Issue **A01**

All dimensions to be verified on site



A ELEVATION
D03a 1:100

Lot 316 GARAGE & HOUSE HEIGHTS & AREAS	
GARAGE ROOF HEIGHT AT BOUNDARY	
Ceiling to roof at boundary	70 mm
Ceiling height of house	2,590 mm
Garage setdown	0 mm
RL of garage slab	28,915 mm
HIGHEST NGL RL of garage at boundary	29,075 mm
LOWEST NGL RL of garage at boundary	28,805 mm
AVERAGE NGL RL of garage at boundary	28,940 mm
AVERAGE GARAGE HT @ BOUNDARY from NGL	2,635 mm
MAXIMUM GARAGE HT @ BOUNDARY from NGL	2,770 mm
Roof rise over 1m = 370mm (22.5°) Ceiling -> 1m point	530 mm
GARAGE HT 1m in from BOUNDARY from NGL	3,095 mm
HOUSE MAX HEIGHT	
Ceiling Level to Highest Point	2,106 mm
MAX HEIGHT OF HOUSE from NGL	4,671 mm
PORCH MAX HEIGHT	
Ceiling Level to Highest Point at 5.471m setback line	815 mm
NGL at Forward Most Point (at 5.471m setback line)	29,000 mm
MAX HEIGHT OF PORCH from NGL	3,320 mm
LOT AREAS	
Site Dimensions	15.00 34.05 %
Total Site Area	509.00 m ²
Permitted Building Area 60% of Total Site Area	305.40 m ²
TOTAL BUILDING AREA	191.50 m² 37.62%
Total nonpermeable area - Driveway & Concrete Paths	93.1 m ² 18.3%
TOTAL PERMIABLE AREA	224.4 m² 44.1%

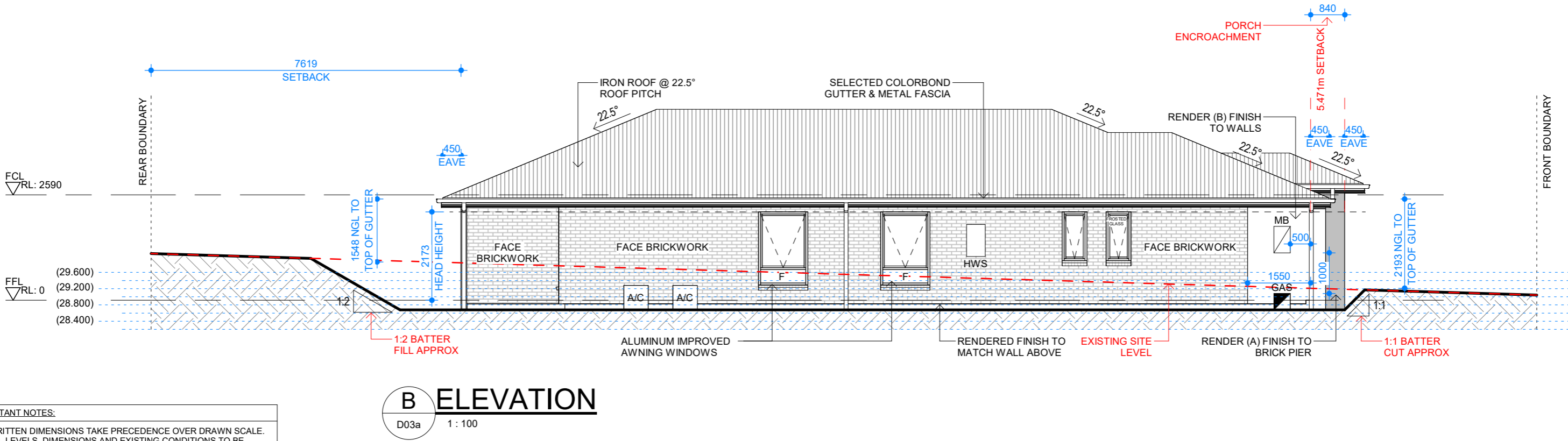
LEGEND - FINISHES	
	JAMES HARDIE CLADDING
	BRICKWORK
	RENDER A BLUE BOARD OR SIMILAR
	RENDER B BLUE BOARD OR SIMILAR

LEGEND - SERVICES	
HWS	HOT WATER SERVICE
MB	METER BOX
GAS	GAS METER

AVERAGE GARAGE WALL HEIGHT	
WALL LENGTH:	6.72m
WALL AREA:	17.74m ²
AVERAGE WALL HEIGHT:	2.64m

NOTE:
NATURAL GROUND LEVELS ARE SHOWN INDICATIVELY ONLY.

Sorell Council
Development Application: Development Application - 52 Friendship Drive, Sorell - P1.pdf
Plans Reference: P1
Date Received: 13/06/2024



B ELEVATION
D03a 1:100

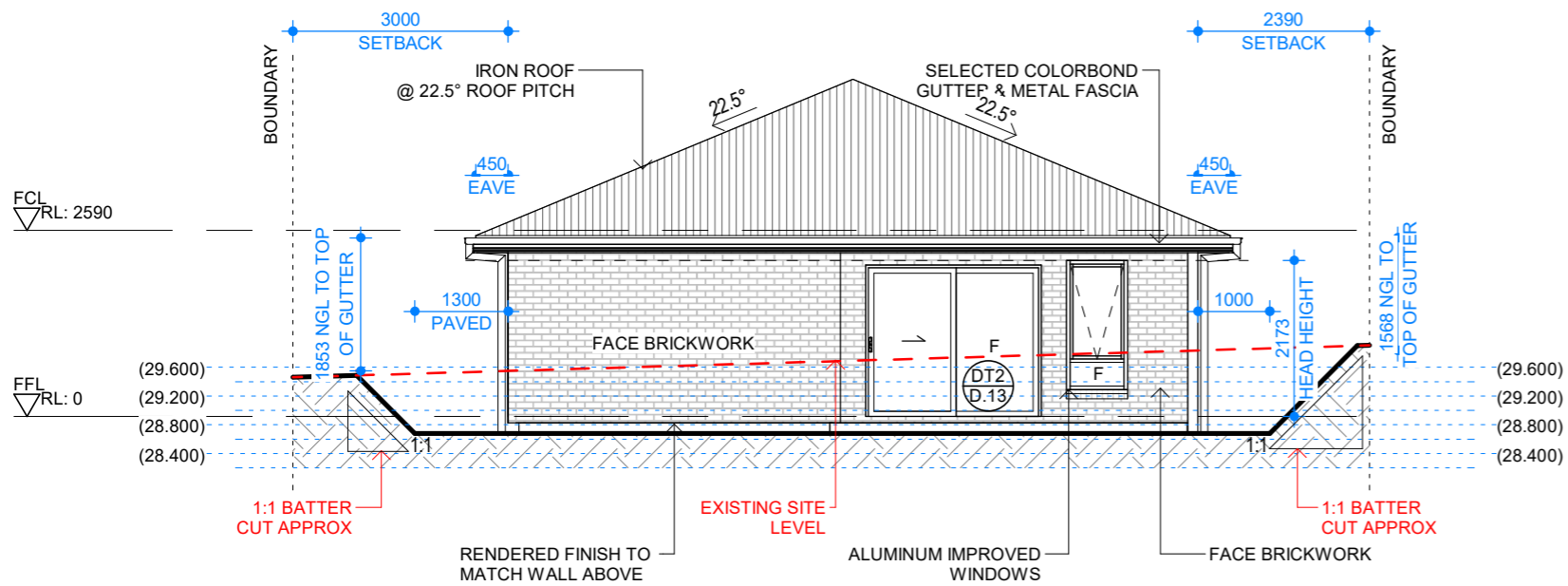
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Home: **ABELIA-12.5(05H.03)** Facade: **A-ZARA 01-MONUMENT**
Client: **SJM**
Location: **52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172**
Drawing: **ELEVATIONS A & B**

DRAWING DETAILS	
6/6/2024 8:47:55 AM	
SCALE	SHEET SIZE
1:100	A3
JOB No:	490N
Drwg No:	D03a
Issue	A01

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C ELEVATION
D03b 1:100

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GARAGE ROOF HEIGHT AT BOUNDARY	
Ceiling to roof at boundary	70 mm
Ceiling height of house	2,590 mm
Garage setdown	0 mm
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MAX HEIGHT OF PORCH from NGL	3,320 mm
LOT AREAS	
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TOTAL BUILDING AREA	191.50 m² 37.62%
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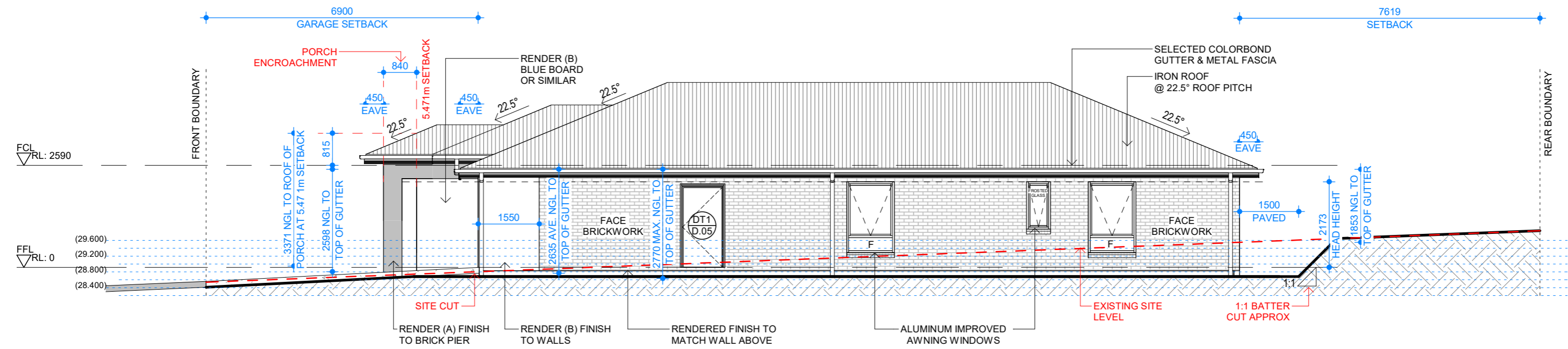
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AVERAGE GARAGE WALL HEIGHT	
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WALL AREA:	17.74m ²
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D ELEVATION
D03b 1:100

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Home: ABELIA-12.5(05H.03)

Client: SJM

Location: 52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172

Drawing: ELEVATIONS C & D

Facade: A-ZARA
01-MONUMENT

DRAWING DETAILS

6/6/2024 8:47:58 AM

SCALE SHEET SIZE

1:100 A3

JOB No: 490N

Drwg No: D03b Issue A01

All dimensions to be verified on site

GENERAL NOTES

GENERAL NOTES:

1. ALL EXTERNAL WINDOWS AND DOOR ARE TO BE DESIGNED AND TESTED IN ACCORDANCE WITH AS 2047, INCLUDING PROVISIONS FOR SUBSILLS AND FLASHING IN ANY PROPRIETARY SYSTEMS OFFERED FOR THIS PRODUCT.
2. ALL GLAZING SHALL BE IN ACCORDANCE WITH AS 1288-2006 WHEREIN GLAZING WITHIN 500mm OF THE FLOOR LEVEL SHALL BE 5MM THICKENED ANNEALED, GLAZED DOORS ASSOCIATED SIDE PANELS SHALL BE 5.38mm LAMINATED SAFETY GLASS AND BATHROOM WINDOWS WITHIN 1.5m OF THE BATH FOR 500mm FROM THE SHOWER ENCLOSURE SHALL BE 3mm TOUGHENED SAFETY GLASS
3. WATERPROOFING OF WET AREAS, BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3274: WATERPROOFING WET AREA IN RESIDENTIAL BUILDINGS.
4. ALL EXHAUST FANS TO BE FITTED WITH DAMPERS AS PER NCC.
5. EXTERNAL DOORS TO BE WEATHER STRIPPED AND WINDOWS TO COMPLY WITH AS 2047.
6. ALL GAPS FROM SERVICE PENETRATIONS ETC ARE TO BE SEALED. AS SHOULD INTERNAL DOORS TO GARAGE.
7. ALL CHIMNEYS AND FLUES TO HAVE DAMPERS AS PER BCA REQUIREMENTS 3.12.3.1, IF APPLICABLE
8. (LOH) ALL WATER CLOSETS TO HAVE REMOVABLE HINGES TO THE DOORS IF THERE IS LESS THAN 1.2M CLEARANCE BETWEEN THE CLOSEST PAN & THE DOORWAY.
9. WET AREAS IN ACCORDANCE WITH AUST. STANDARD 3740
10. MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH B.C.A. P.2.4.5
11. MAN HOLE LOCATION MAY BE CHANGED DUE TO TRUSS LAYOUT
12. DIMENSIONS RELATING TO FFL & FCL REFER TO OVERALL TOP & BOTTOM PLATE DIMENSIONS NOT ACTUAL CEILING HEIGHTS.
13. BACKFILL TO EXTERNAL DOORS NOT TO BE GREATER THAN 190MM IN ACCORDANCE WITH NCC '3.9.1.5 THRESHOLDS'

OPENING TO WINDOWS

PROVIDE 125mm RESTRICTION TO ALL OPENING WINDOWS IN BEDROOMS WHERE THE DIFFERENCE BETWEEN THE FLOOR LEVELS OF THE BEDROOM AND THE OUTSIDE FINISHED SURFACE LEVEL IS GREATER THAN 2.0m. IN ACCORDANCE WITH BCA.

CONTROL JOINTS

- CONTROL JOINT IN BRICKS TO BE IN ACCORDANCE WITH AS 3700-2001. ENGINEERS DOCUMENTATION REGARDING CONTROL JOINTS OVER-RIDES THESE DRAWINGS.
- PROVIDE CONTROL TO ALL INTERNAL CORNERS

HEAD HEIGHTS

- WINDOW HEAD HEIGHTS MEASURED FROM THE FINISHED FLOOR LEVEL (SLAB) OF THE HOUSE.
- ALL WINDOW HEAD HEIGHTS INDICATED ARE NOMINAL AND MAY VARY DUE TO VARIANCES IN BRICK SIZES.

**NOTE:
FC/SOFFIT SHEET TO
PORTICO CEILING
CONTINUE TO EAVE LINE**

**NOTE:
ENGINEERS TO DESIGN
ALL REQUIRED RAMPS
TO EXTERNAL
ENTRANCES/PORCH.**

NOTE:

WINDOW CONTROLS TO BE LOCATED WITHIN EASY REACH FROM EITHER A SEATED OR STANDING POSITION (BETWEEN 600MM TO 1100 ABOVE FFL). DOORWAYS SHALL HAVE DOOR HANDLES INSTALLED AT BETWEEN 900MM TO 1100MM ABOVE THE FFL. DOOR HANDLES SELECTION AND LOCATION SHALL COMPLY WITH AS1428.1 AS PER THE DOOR HANDLE DETAIL.

GARAGE INTERNAL CONSTRUCTION

THE INSIDE OF THE GARAGE IS TO INCLUDE THE FOLLOWING:

A. CONTROL OF WATER FROM THE GARAGE:
I. A 15mm MINIMUM HEIGHT THRESHOLD GRADED SILL (OR OTHER TYPE OF DURABLE GRADED UPSTAND) IS INSTALLED ACROSS THE PEDESTRIAN DOORWAY BETWEEN THE GARAGE AND DWELLING. THE UPSTAND/THRESHOLD IS TO BE SEALED TO THE CONCRETE USING A WATERPROOF SEALANT; OR
II. THE GARAGE FLOOR IS GRADED WITH A MINIMUM 1:100 FALL TOWARDS THE GARAGE VEHICLE ENTRY DOOR.

B. THE GARAGE SKIRTING IS TO BE A WATER RESISTANT MATERIAL, WHICH MAY INCLUDE NATURAL TIMBER SUCH AS TREATED KILN DRIED PINUS RADIATA (INCLUDING FINGER JOINTED PINE), HARDWOOD AND THE LIKE. THE SKIRTING IS TO BE SEALED TO THE SLAB WITH A MINIMUM 5mm THICK BEAD OF VISIBLE WATERPROOF FLEXIBLE SEALANT.



Development Application: Development Application - 52 Friendship Drive, Sorell - P1.pdf

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Home: **ABELIA-12.5(05H.03)**

Client: **SJM**

Location: **52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172**

Drawing: **ELEVATIONS - NOTES**

Facade: **A-ZARA
01-MONUMENT**

DRAWING DETAILS

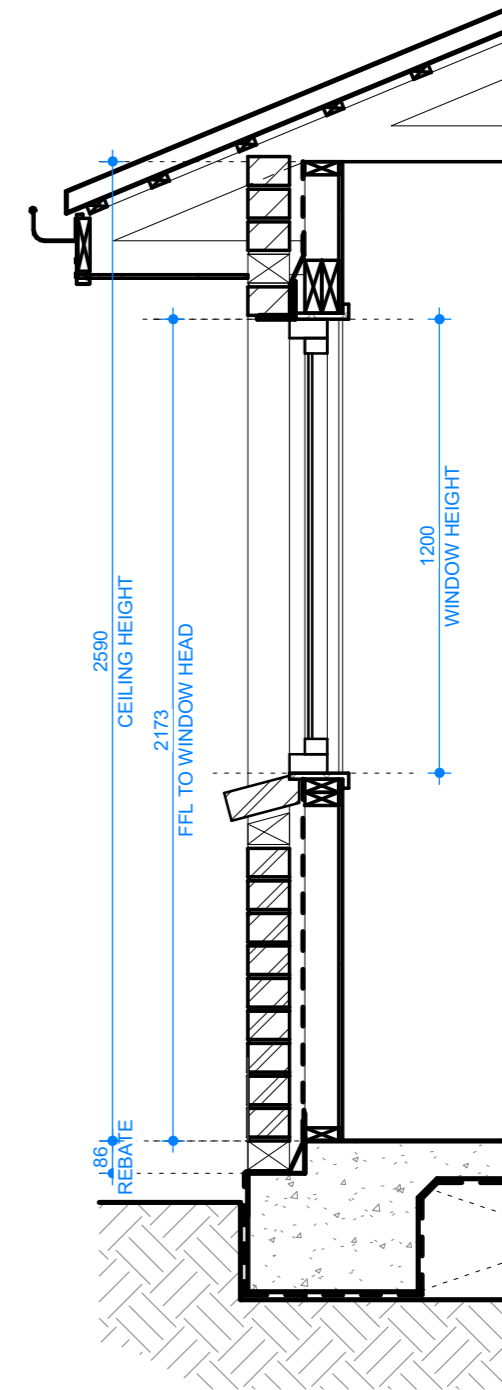
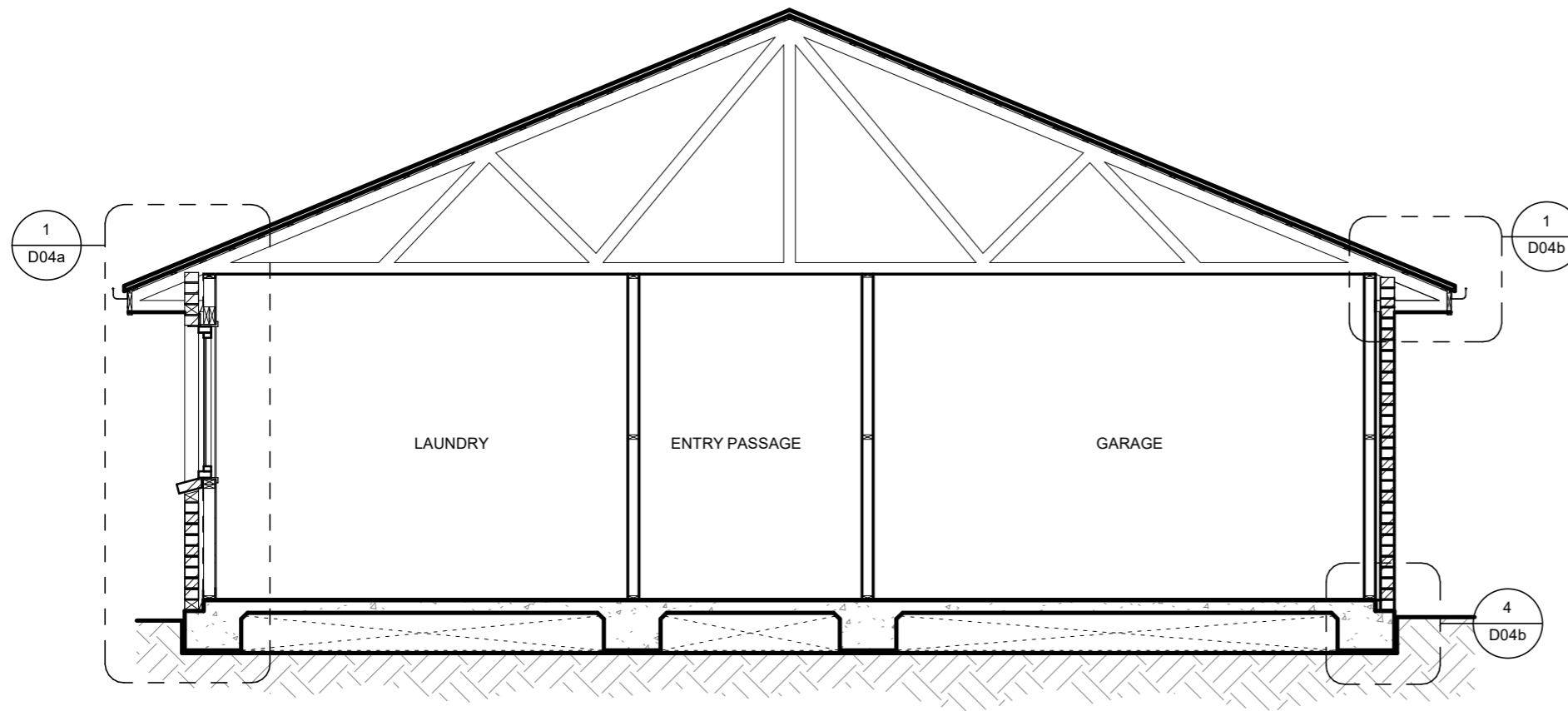
6/6/2024 8:48:00 AM

SCALE	SHEET SIZE
1 : 100	A3

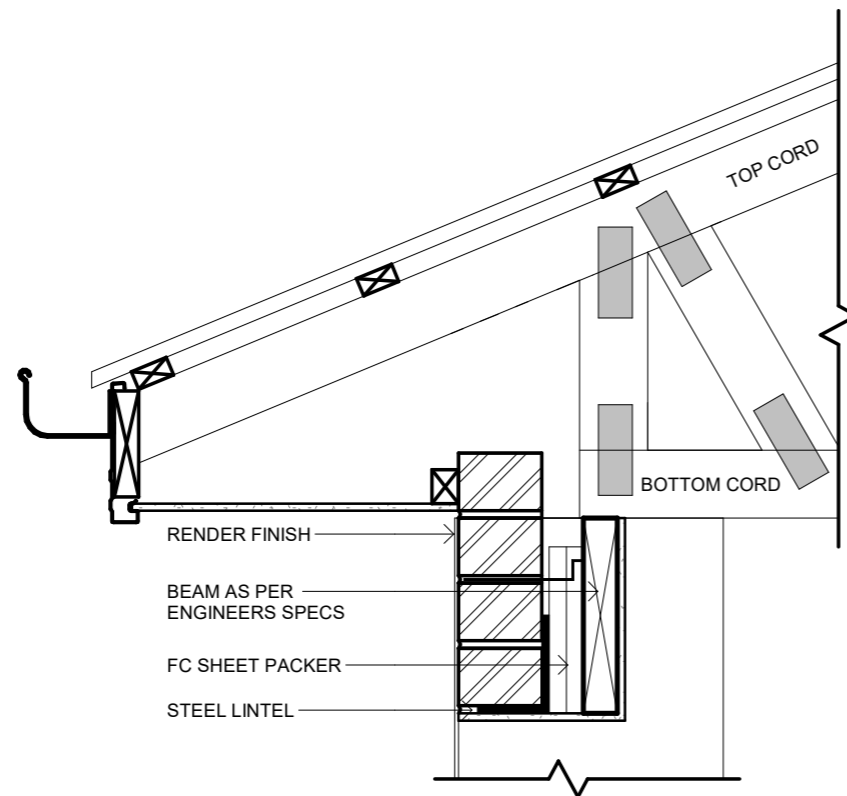
JOB No: **490N**

All dimensions to be verified on site

Drwg No: **D03c** Issue **A01**



A SECTION
D02 1 : 50




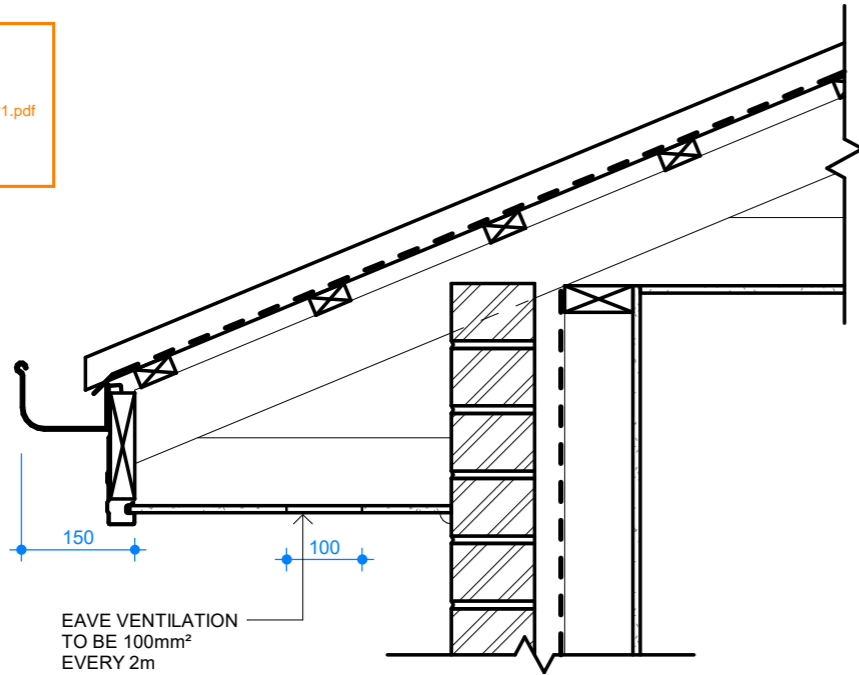
PORCH DETAIL TYPICAL
1 : 10

1 TYP. SLAB REBATE DETAIL
D04a 1 : 20

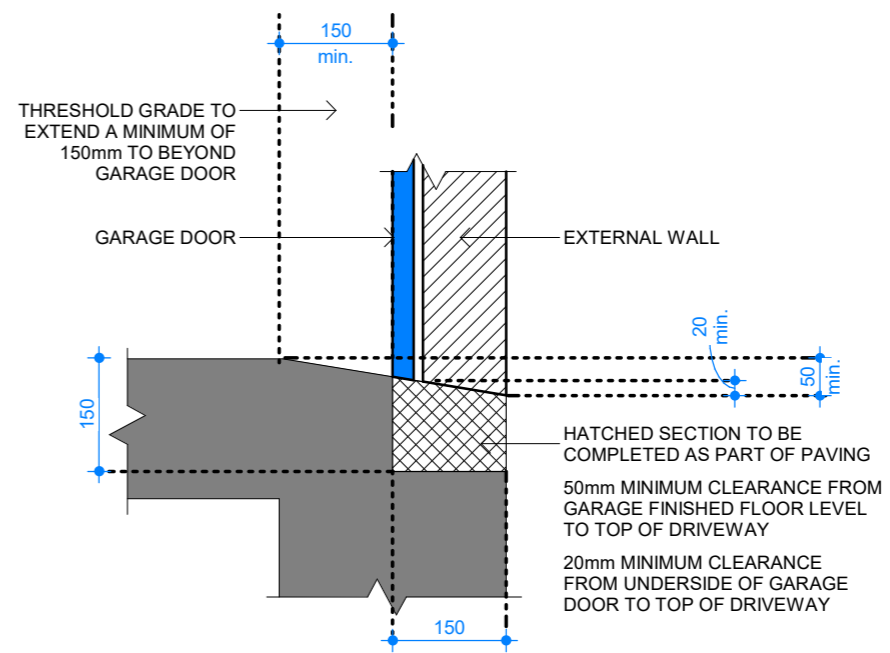
Sorell Council
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Application - 52 Friendship Drive, Sorell - P1.pdf
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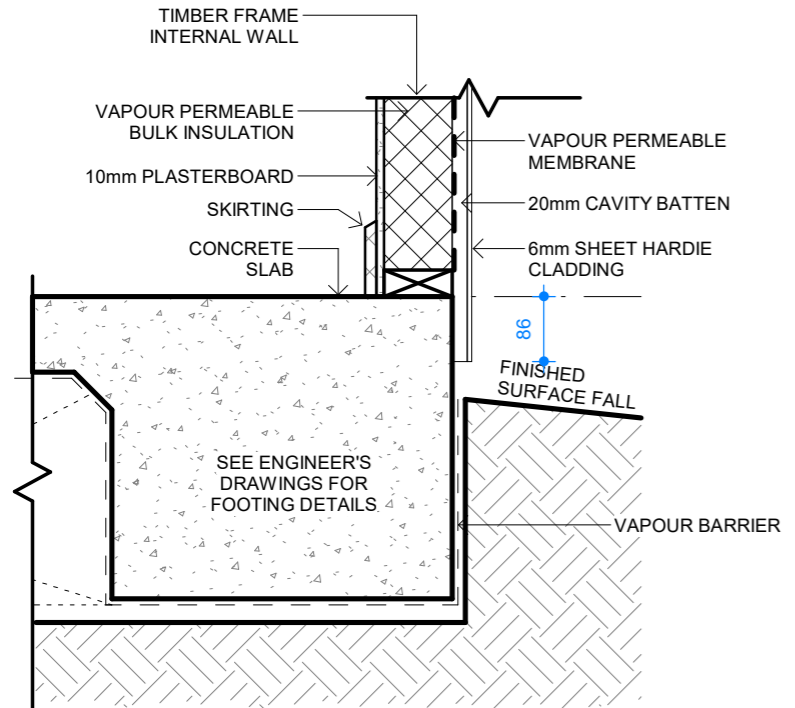
 <p>1/37 Ascot Dr, Huntingfield TAS 7055 P +61 3 6289 6601</p>	Home: ABELIA-12.5(05H.03)	Facade: A-ZARA	DRAWING DETAILS	
	Client: SJM	01-MONUMENT	6/6/2024 8:48:00 AM	
	Location: 52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172		SCALE	SHEET SIZE
	Drawing: SECTIONS		As indicated	A3
			JOB No: 490N	
		All dimensions to be verified on site	Drwg No: D04a	Issue A01



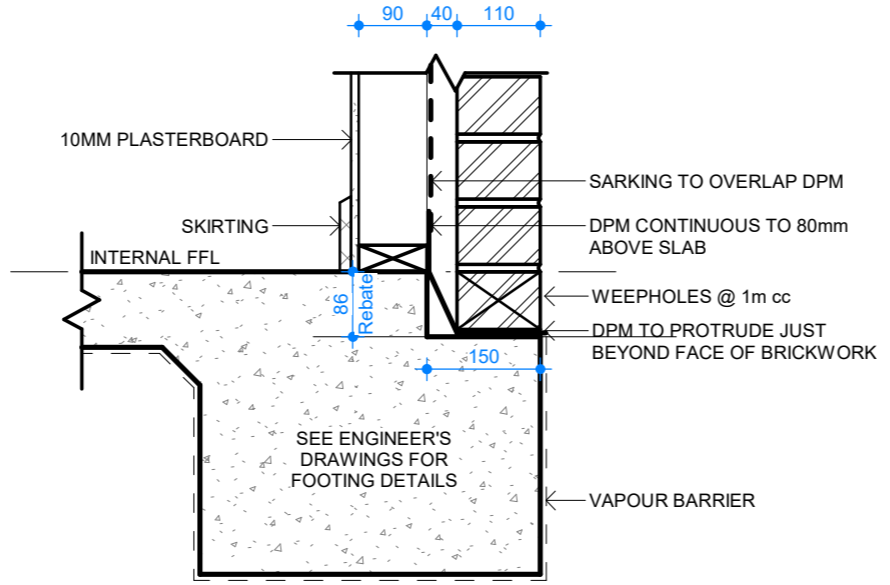
1 TYP. GUTTER DETAIL -TOP OF WALL
 D04a 1:10



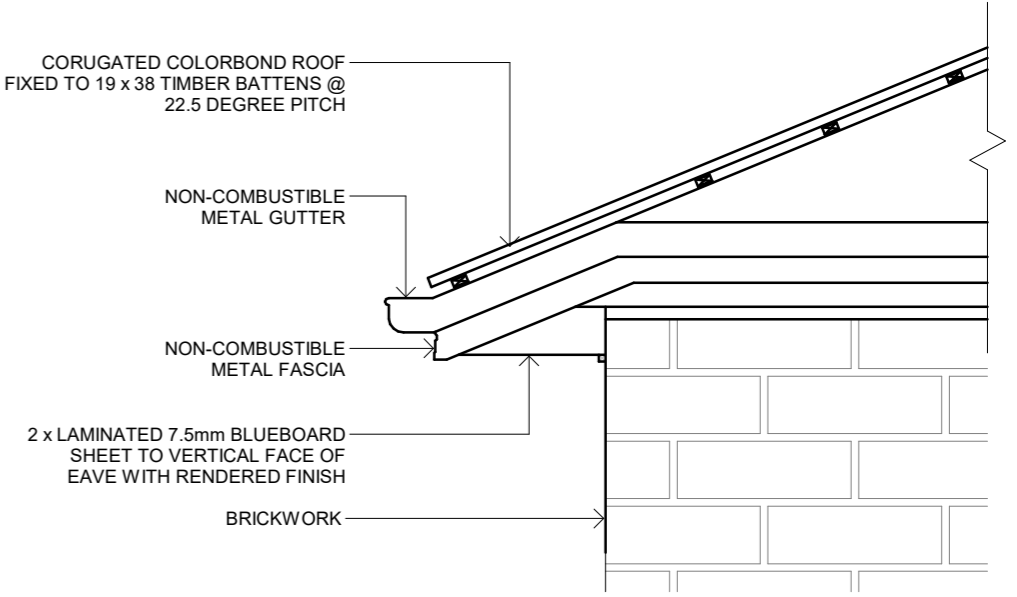
3 GARAGE GRADED THRESHOLD DETAIL
 1:10



2 TYP. SLAB REBATE DETAIL
 1:10



4 TYP. SLAB REBATE DETAIL
 D04a 1:10



EAVES DETAIL 1.0m
 1:10

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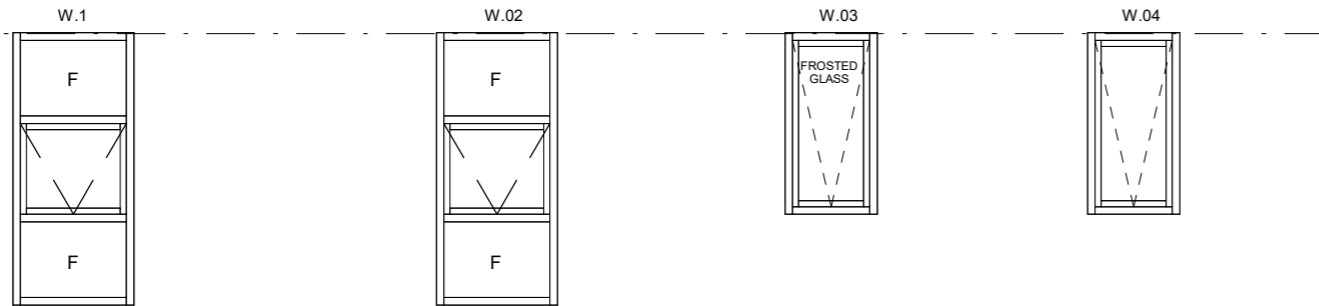
SJM property developments
 1/37 Ascot Dr, Huntingfield TAS 7055
 P +61 3 6289 6601

Home: **ABELIA-12.5(05H.03)** Facade: **A-ZARA 01-MONUMENT**
 Client: **SJM**
 Location: **52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172**
 Drawing: **SECTIONS - TYPICAL**

DRAWING DETAILS	
6/6/2024 8:48:01 AM	
SCALE	SHEET SIZE
1:10	A3
JOB No:	490N
Drwg No:	D04b
Issue	A01

All dimensions to be verified on site

WINDOW 2173 AFFL
HEAD HT

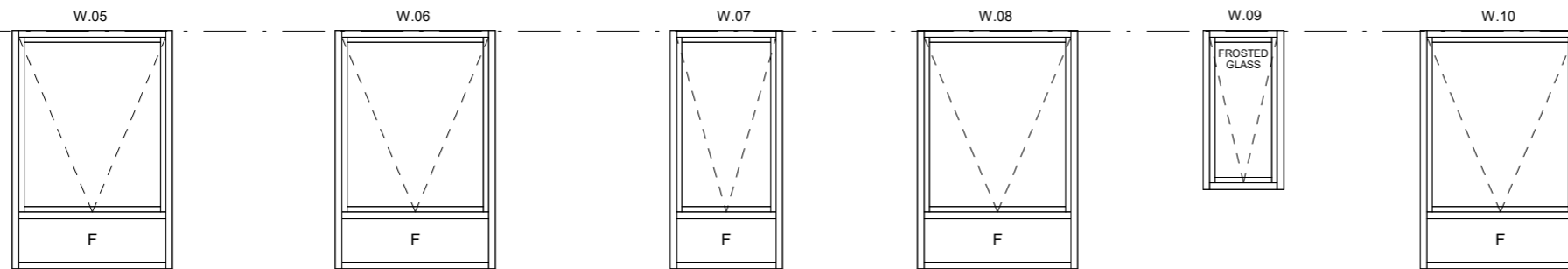


FFL 0

WINDOW SCHEDULE

WINDOW NO.	DESCRIPTION	HEIGHT	WIDTH	HEAD HEIGHT
W.01	1 Panel Wide Awning Window - 1 Opening Sash, Fixed Top & Bottom Panel	1800	800	2173
W.02	1 Panel Wide Awning Window - 1 Opening Sash, Fixed Top & Bottom Panel	1800	800	2173
W.03	1 Panel Wide Awning Window - 1 Opening Sash Only	1200	610	2173
W.04	1 Panel Wide Awning Window - 1 Opening Sash Only	1200	610	2173
W.05	1 Panel Wide Awning Window - 1 Opening Sash, 1 Fixed Bottom Panel	1800	1210	2173
W.06	1 Panel Wide Awning Window - 1 Opening Sash, 1 Fixed Bottom Panel	1800	1210	2173
W.07	1 Panel Wide Awning Window - 1 Opening Sash, 1 Fixed Bottom Panel	1800	850	2173
W.08	1 Panel Wide Awning Window - 1 Opening Sash, 1 Fixed Bottom Panel	1800	1210	2173
W.09	1 Panel Wide Awning Window - 1 Opening Sash Only	1200	610	2173
W.10	1 Panel Wide Awning Window - 1 Opening Sash, 1 Fixed Bottom Panel	1800	1210	2173

WINDOW 2173 AFFL
HEAD HT



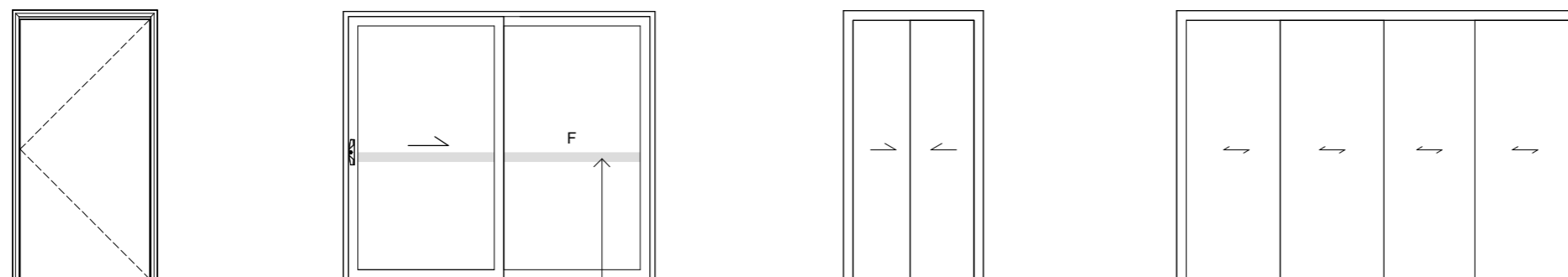
FFL 0

DOOR SCHEDULE

DOOR NO.	DOOR TYPE	DESCRIPTION	WIDTH	HEIGHT
D.01	DT1	Single Swing Solid-Core Door	1020	2040
D.02	DT1	Single Swing Solid-Core Door	1020	2040
D.03	DT3	2 Panel Robe Sliding Door	950	2040
D.04	DT3	2 Panel Robe Sliding Door	950	2040
D.05	DT1	Single Swing Solid-Core Door	1020	2040
D.06	DT1	Single Swing Solid-Core Door	1020	2040
D.07	DT1	Single Swing Solid-Core Door	1020	2040
D.08	DT4	4 Panel Robe Sliding Door	3060	2040
D.09	DT1	Single Swing Solid-Core Door	1020	2040
D.10	DT3	2 Panel Robe Sliding Door	1854	2140
D.11	DT3	2 Panel Robe Sliding Door	1854	2140
D.12	DT1	Single Swing Solid-Core Door	1020	2040
D.13	DT2	Glazed Aluminium Sliding Door - 1 Fixed Panel	2450	2110

WINDOW SCHEDULE

1 : 50



FFL 0

DT1
SOLID CORE TIMBER
SINGLE SWING DOOR

DT2
GLAZED ALUMINIUM
SLIDING DOOR
(FOR ORIENTATION
REFER TO BUILDING
ELEVATIONS)

SOLID
IDENTIFICATION
STRIP 75mm WIDE

DT3
2 PANEL ROBE/LINEN
SLIDING DOOR

DT4
4 PANEL ROBE/LINEN
SLIDING DOOR

DOOR TYPE ELEVATION

1 : 50

IMPORTANT NOTES:

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Sorell Council
Development Application: Development
Application - 52 Friendship Drive, Sorell - P1.pdf
Plans Reference:P1
Date Received:13/06/2024



1/37 Ascot Dr, Huntingfield TAS 7055
P +61 3 6289 6601

Home: ABELIA-12.5(05H.03)

Client: SJM

Location: 52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172

Drawing: WINDOW & DOOR SCHEDULE

Facade: A-ZARA
01-MONUMENT

DRAWING DETAILS

6/6/2024 8:48:02 AM

SCALE SHEET SIZE
As indicated A3

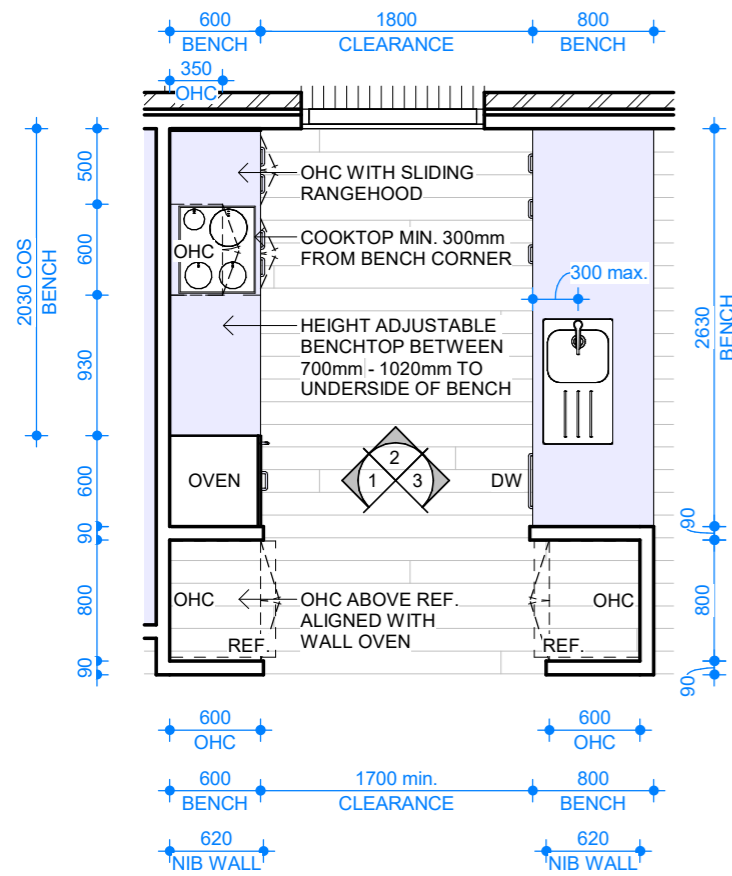
JOB No: 490N

Drwg No: D05 Issue A01

All dimensions to be verified on site

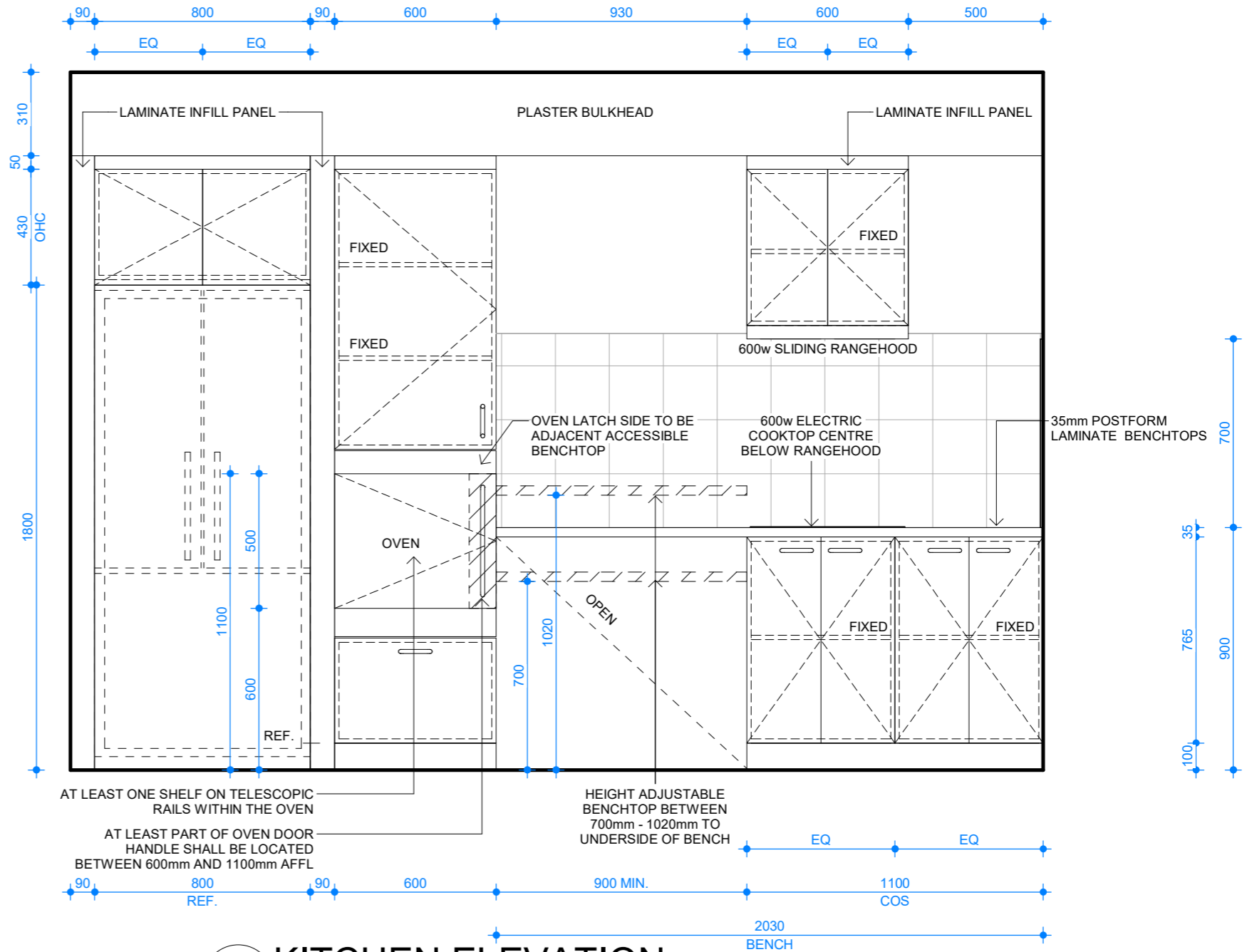
NOTE:

- SOLID IDENTIFICATION STRIP 75mm WIDE REQUIRED TO GLAZING BETWEEN 900mm TO 1000mm FFL FOR PREVENTION OF ACCIDENTAL MOVEMENT.
- WINDOW & DOOR GLAZING SPECIFICATIONS:
-ESSENTIAL 52mm AWNING WINDOW (CLEAR DOUBLE GLAZED) -U-VALUE=4.1 SHGC=0.57
-SIGNATURE 100mm SLIDING DOOR (CLEAR DOUBLE GLAZED) -U-VALUE=3.6 SHGC=0.66



KITCHEN PLAN

1 : 50



1 KITCHEN ELEVATION

D06a 1 : 20

D PULL HANDLE:
D PULL CUPBOARD HANDLES TO ALL CUPBOARDS UNLESS NOTED OTHERWISE

PUSH TO RELEASE MECHANISMS FOR BOTH OVERHEAD AND UNDER BENCH CUPBOARDS

C.O.S. DIMENSION:
ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE

BENCHTOP:
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)

Sorell Council
Development Application: Development Application - 52 Friendship Drive, Sorell - P1.pdf
Plans Reference:P1
Date Received:13/06/2024

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P +61 3 6289 6601

Home: ABELIA-12.5(05H.03)

Client: SJM

Location: 52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172

Drawing: INTERNAL ELEVATIONS - KITCHEN

Facade: A-ZARA
01-MONUMENT

DRAWING DETAILS

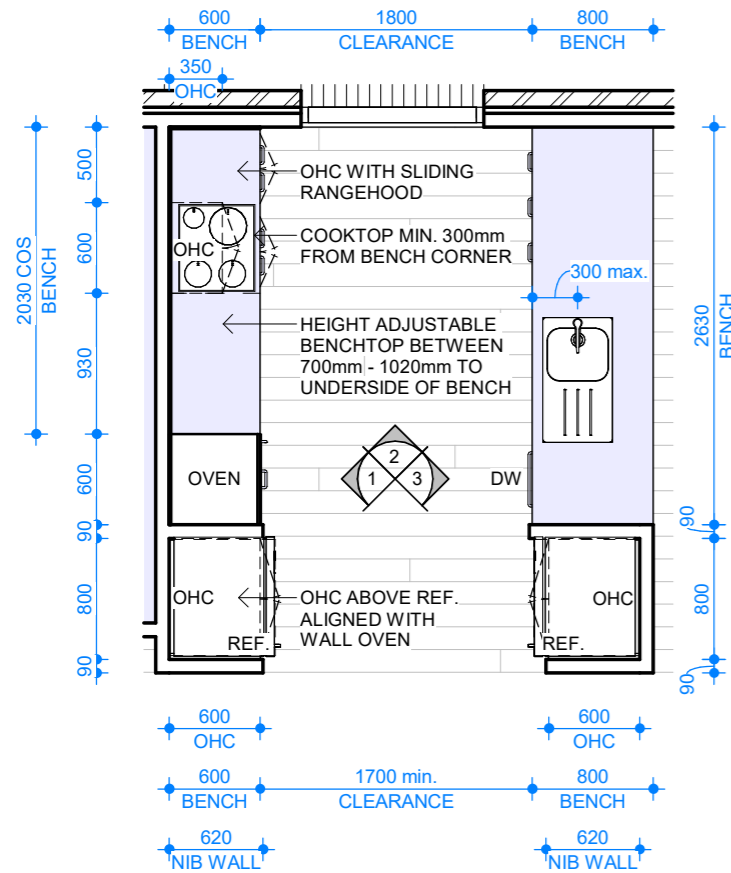
6/6/2024 8:48:03 AM

SCALE SHEET SIZE
As indicated A3

JOB No: 490N

Drwg No: D06a Issue A01

All dimensions to be verified on site



KITCHEN PLAN

1 : 50

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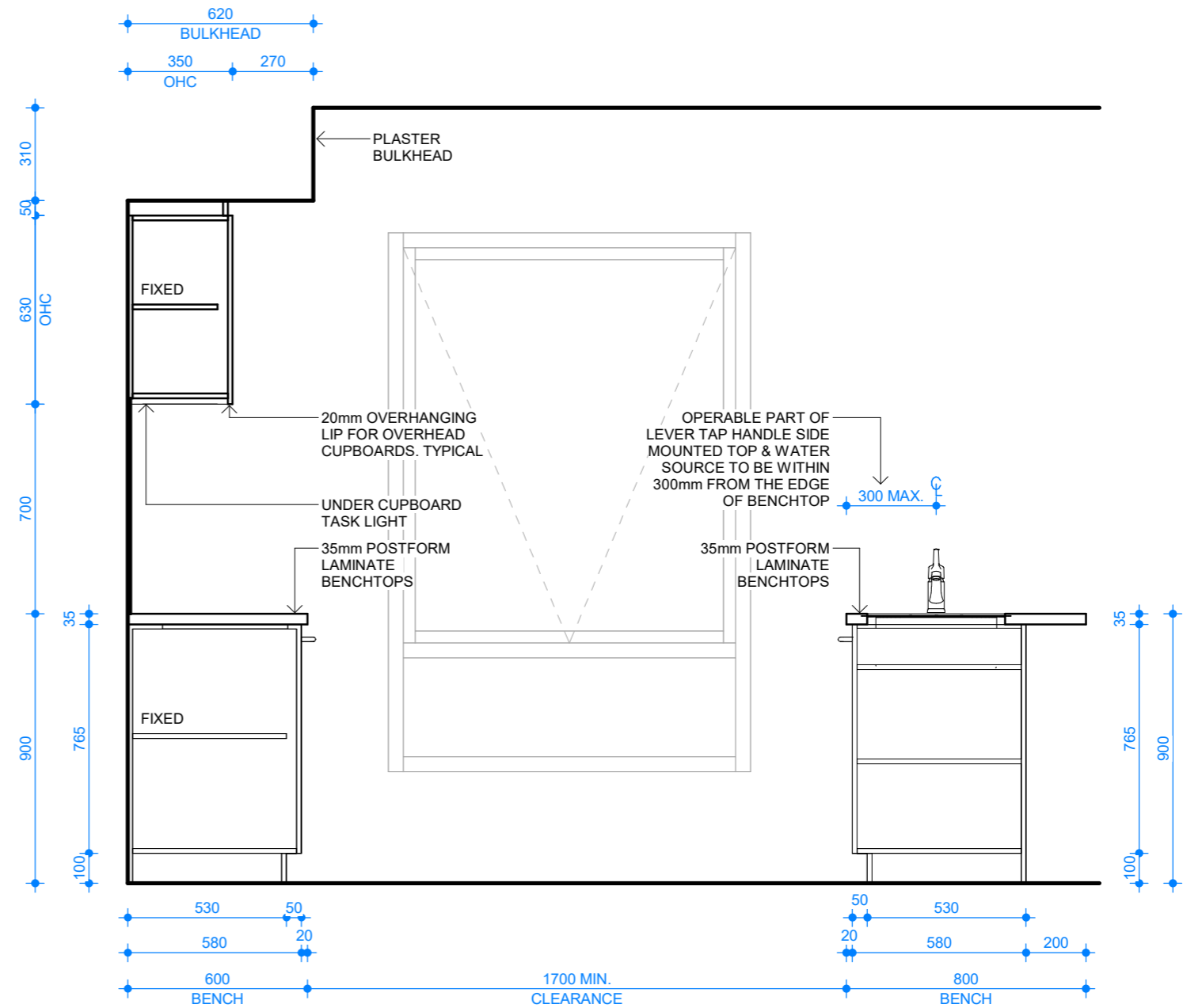
C.O.S. DIMENSION:

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BENCHTOP:

35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)

Sorell Council
 Development Application: Development Application - 52 Friendship Drive, Sorell - P1.pdf
 Plans Reference:P1
 Date Received:13/06/2024



2 KITCHEN ELEVATION

D06a 1 : 20

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Home: ABELIA-12.5(05H.03)

Client: SJM

Location: 52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172

Drawing: INTERNAL ELEVATIONS - KITCHEN

Facade: A-ZARA
 01-MONUMENT

DRAWING DETAILS

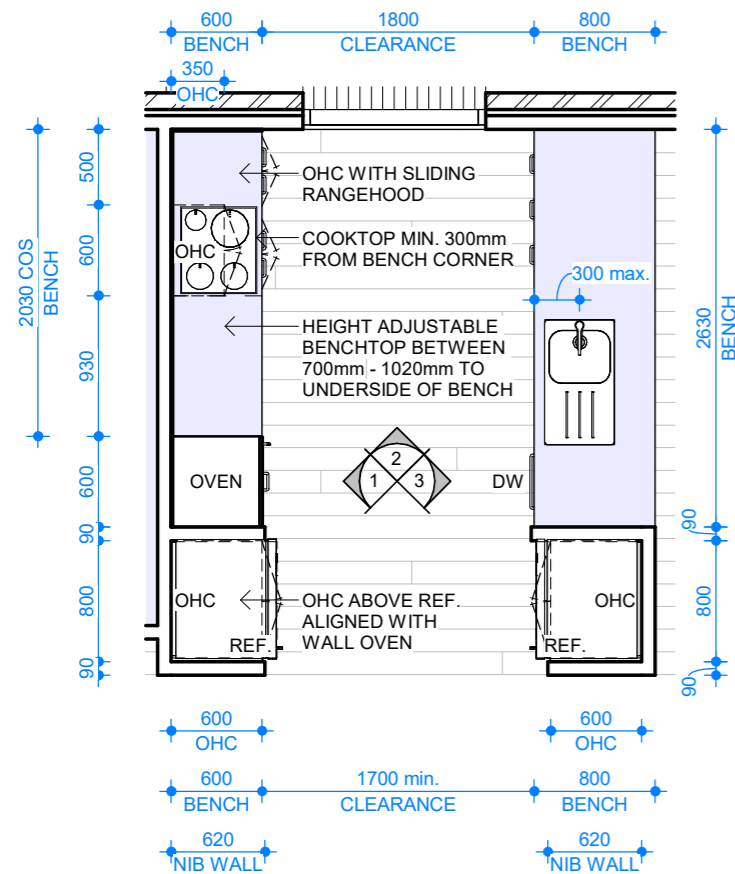
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SCALE As indicated SHEET SIZE A3

JOB No: 490N

Drwg No: D06b Issue A01

All dimensions to be verified on site



KITCHEN PLAN

1 : 50

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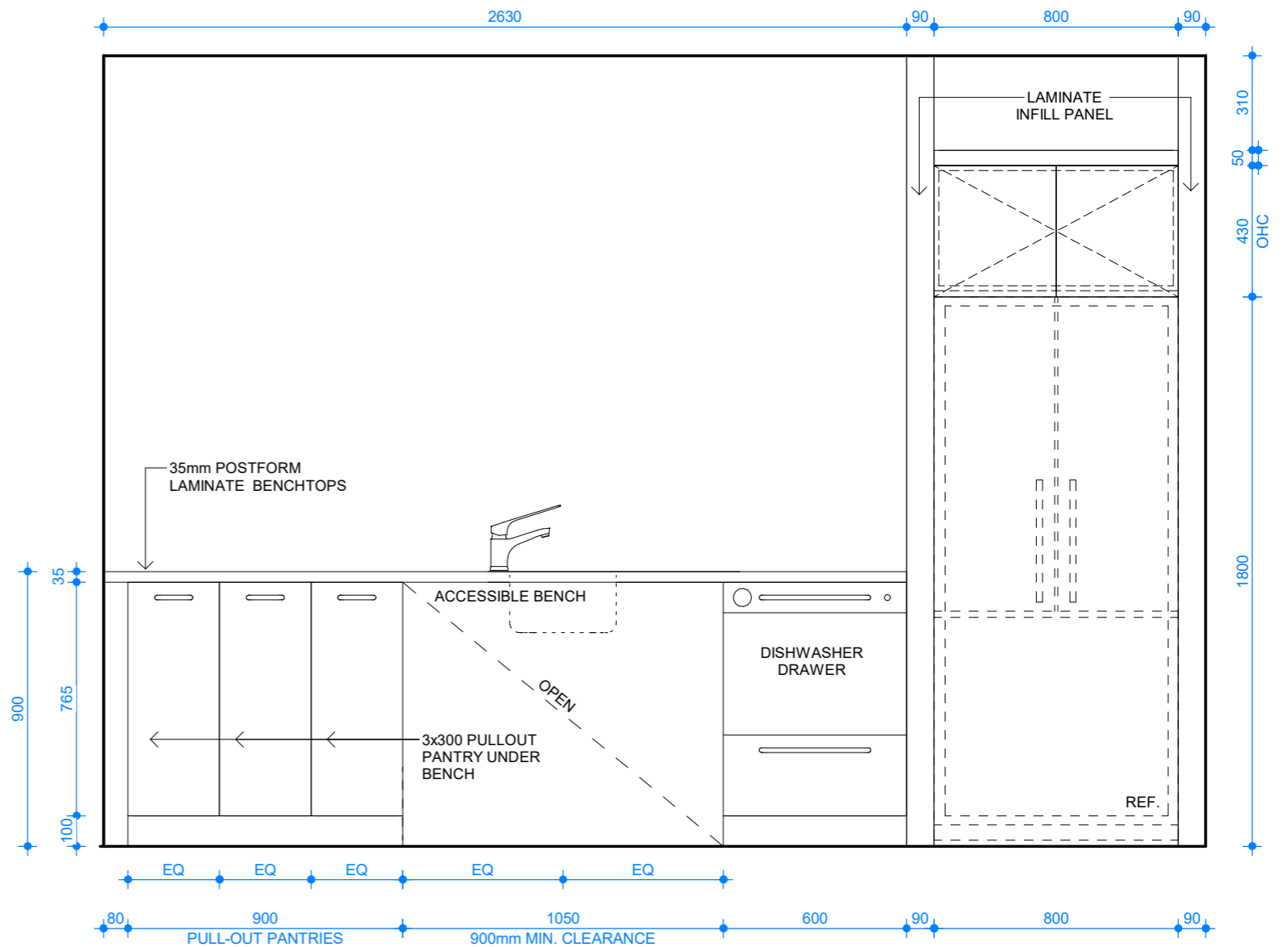
BENCHTOP:
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)

Sorell Council
Development Application: Development Application - 52 Friendship Drive, Sorell - P1.pdf
Plans Reference:P1
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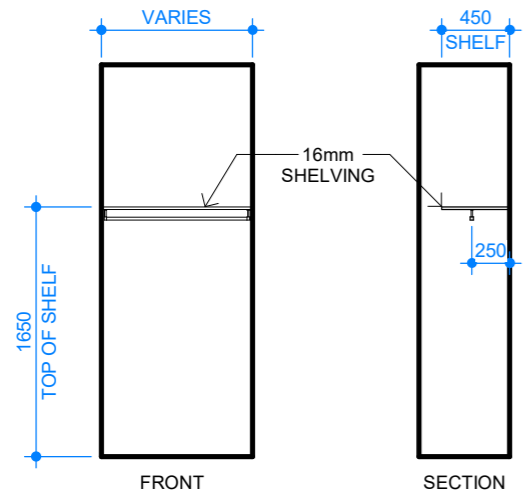
1/37 Ascot Dr, Huntingfield TAS 7055
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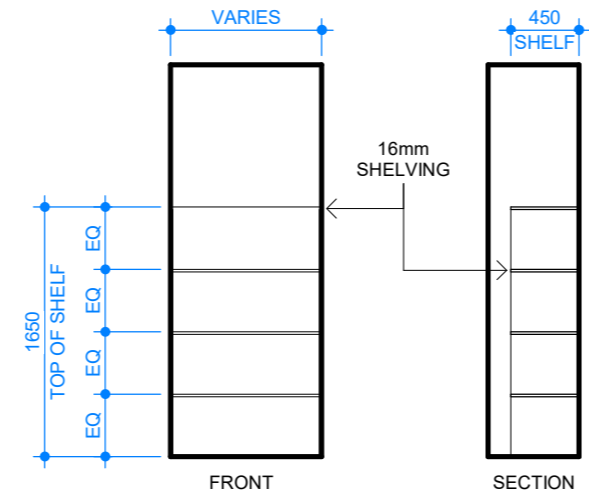
3 KITCHEN ELEVATION

D06a 1 : 20

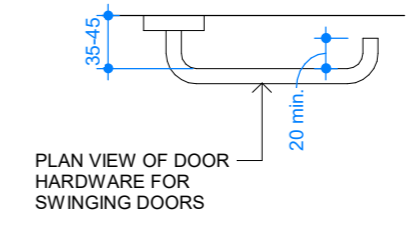
	Home: ABELIA-12.5(05H.03)	Facade: A-ZARA	DRAWING DETAILS	
	Client: SJM		6/6/2024 8:48:05 AM	
	Location: 52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172	01-MONUMENT	SCALE	SHEET SIZE
	Drawing: INTERNAL ELEVATIONS - KITCHEN		As indicated	A3
			JOB No:	490N
			Drwg No:	D06c
			Issue	A01
			All dimensions to be verified on site	



TYPICAL ROBE
1 : 50



TYPICAL LINEN
1 : 50



TYPICAL DOOR HARDWARE
1 : 5

D PULL HANDLE:
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PUSH TO RELEASE MECHANISMS FOR BOTH OVERHEAD AND UNDER BENCH CUPBOARDS

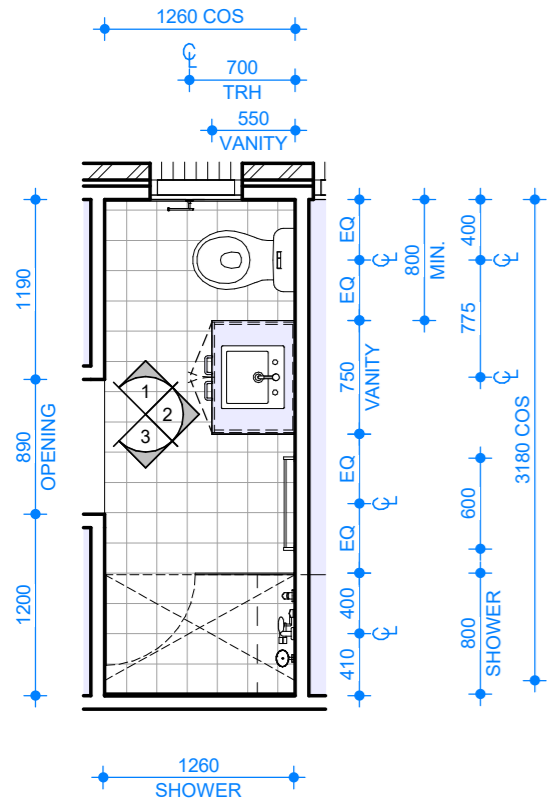
C.O.S. DIMENSION:
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BENCHTOP:
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)



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	1/37 Ascot Dr, Huntingfield TAS 7055 P +61 3 6289 6601	Home: ABELIA-12.5(05H.03)	Facade: A-ZARA	DRAWING DETAILS 6/6/2024 8:48:06 AM SCALE: As indicated SHEET SIZE: A3	
		Client: SJM	01-MONUMENT		
		Location: 52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172		JOB No: 490N	
		Drawing: INTERNAL ELEVATIONS - TYPICAL		All dimensions to be verified on site	Drwg No: D06d Issue A01



WC PLAN

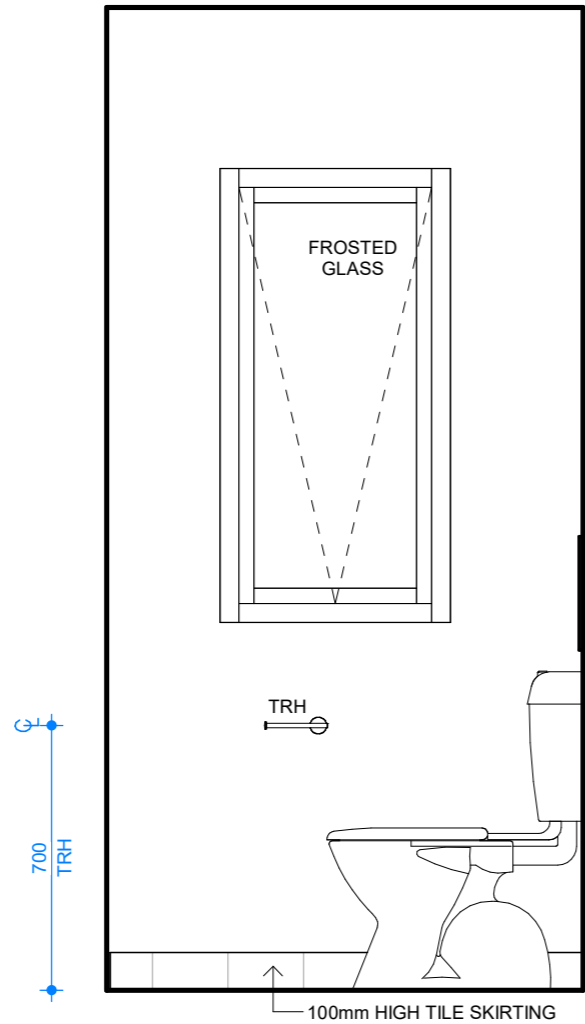
1 : 50

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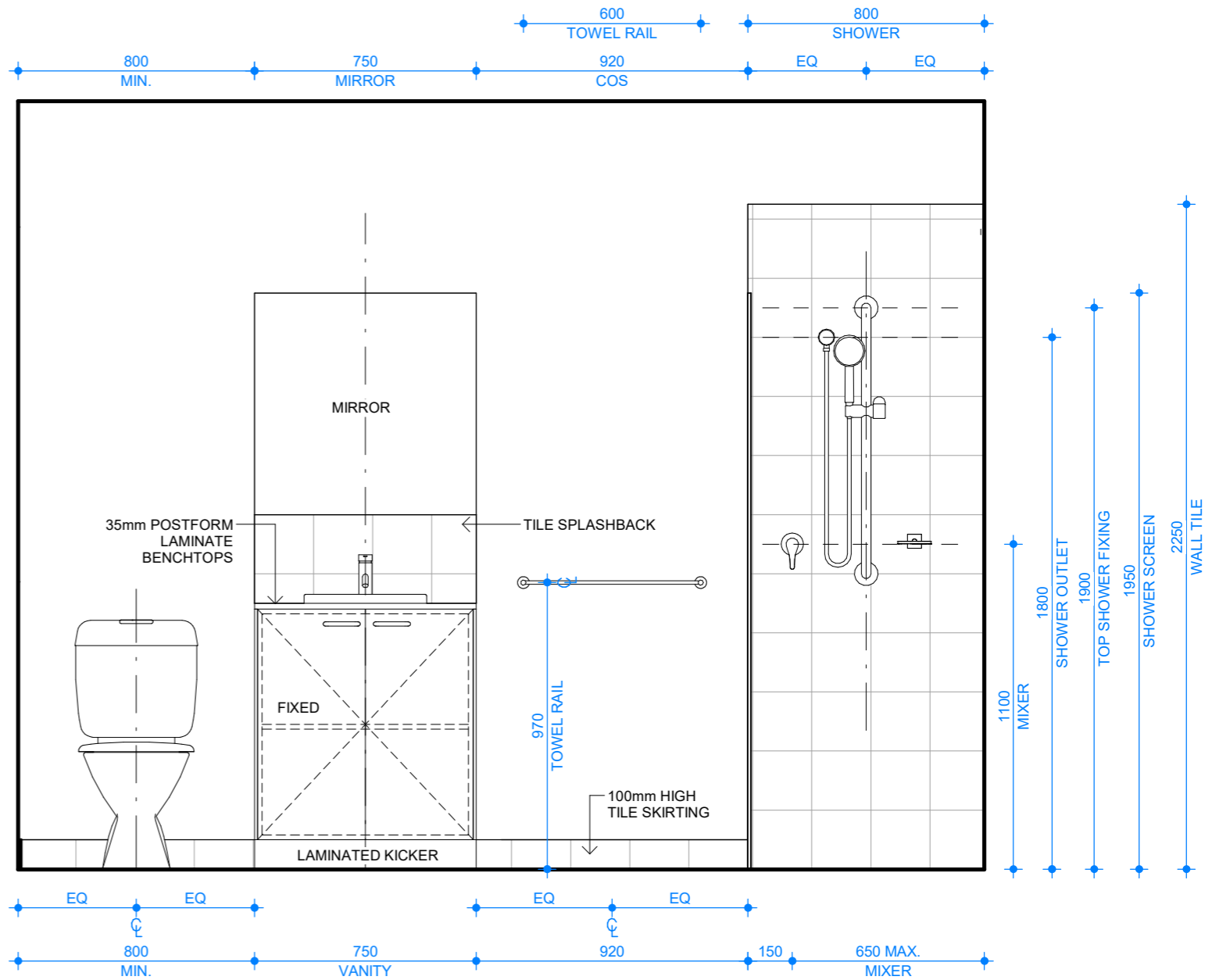
BENCHTOP:
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)



1 WC ELEVATION

D07a 1 : 20

Sorell Council
Development Application: Development
Application - 52 Friendship Drive, Sorell - P1.pdf
Plans Reference:P1
Date Received:13/06/2024



2 WC ELEVATION

D07a 1 : 20

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P +61 3 6289 6601

Home: ABELIA-12.5(05H.03)

Client: SJM

Location: 52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172

Drawing: WET AREA ELEVATIONS - WC

Facade: A-ZARA

01-MONUMENT

DRAWING DETAILS

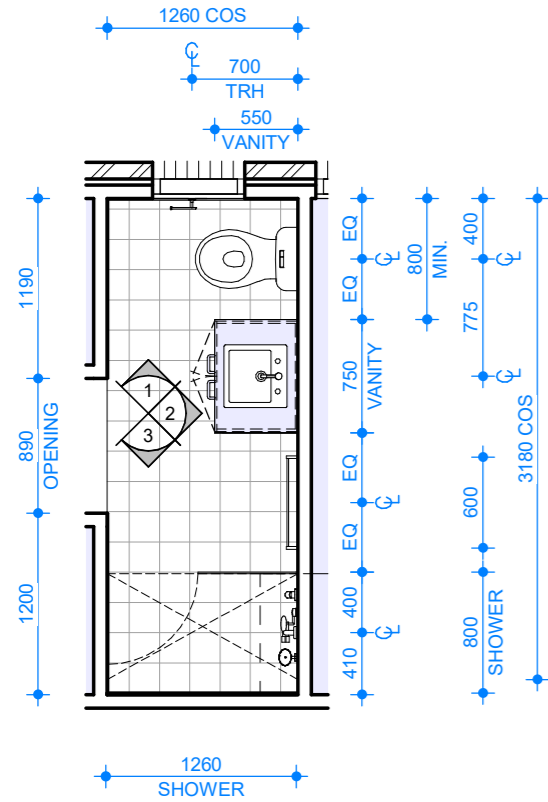
6/6/2024 8:48:06 AM

SCALE: As indicated SHEET SIZE: A3

JOB No: 490N

Drwg No: D07a Issue A01

All dimensions to be verified on site



WC PLAN
1 : 50

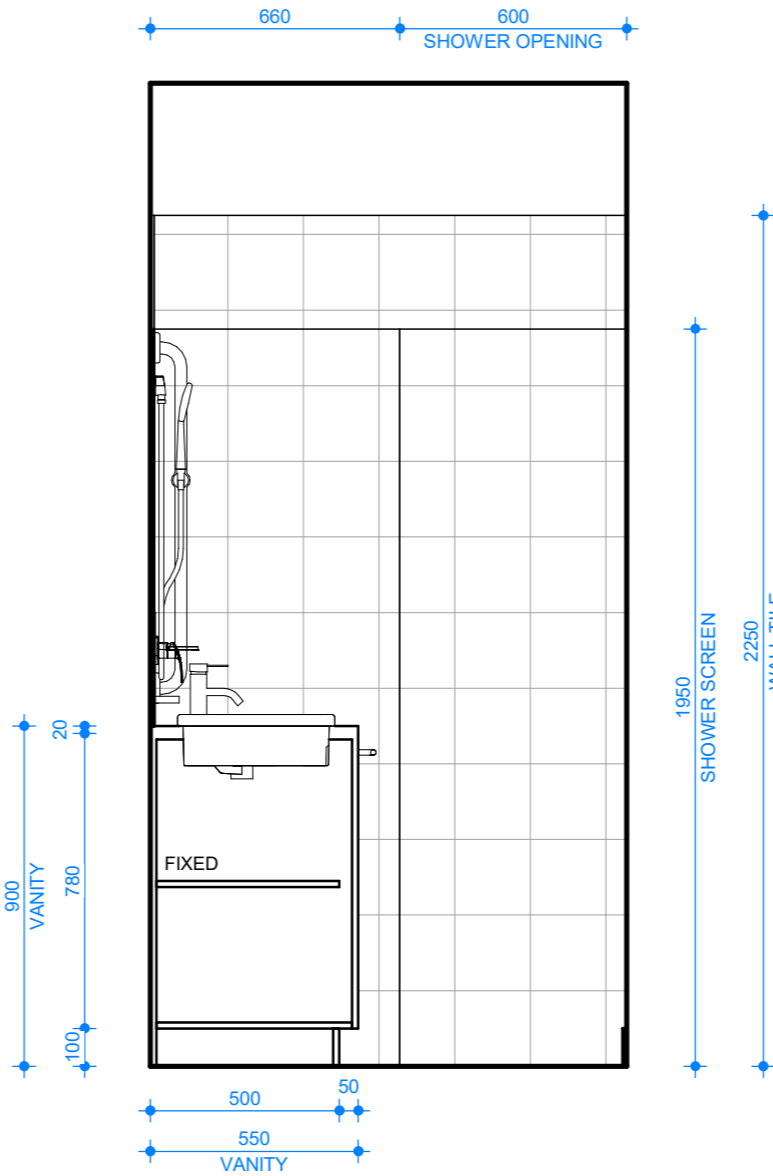
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BENCHTOP:
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Sorell Council
Development Application: Development Application - 52 Friendship Drive, Sorell - P1.pdf
Plans Reference:P1
Date Received:13/06/2024



3 WC ELEVATION
D07a 1 : 20

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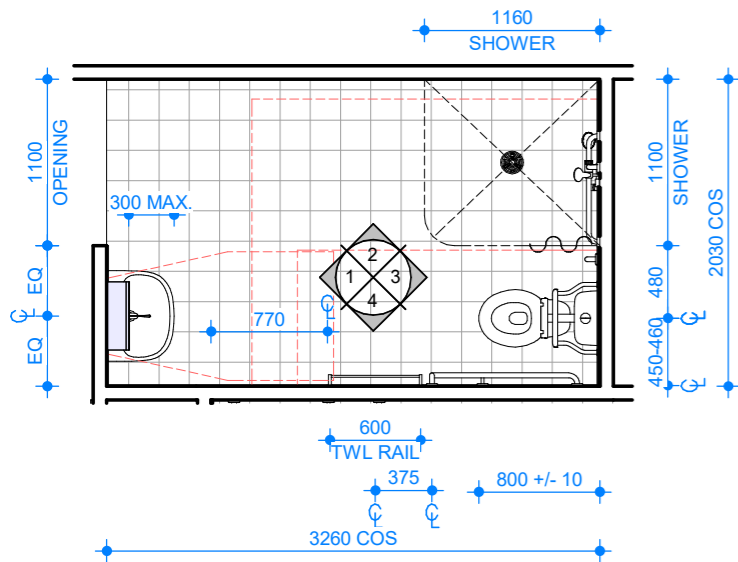
1/37 Ascot Dr, Huntingfield TAS 7055
P +61 3 6289 6601

Home: **ABELIA-12.5(05H.03)**
Client: **SJM**
Location: **52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172**
Drawing: **WET AREA ELEVATIONS - WC**

Facade: **A-ZARA
01-MONUMENT**

DRAWING DETAILS	
6/6/2024 8:48:07 AM	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	490N
Drwg No:	D07b
Issue	A01

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ENSUITE 1 PLAN

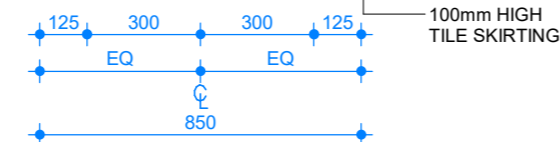
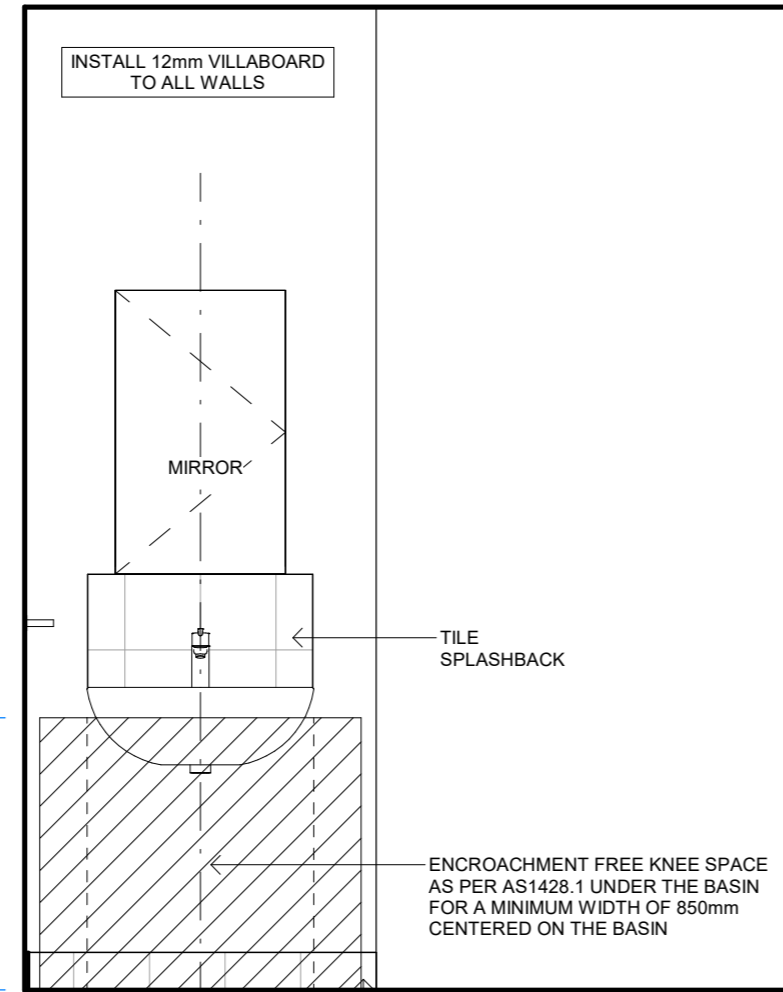
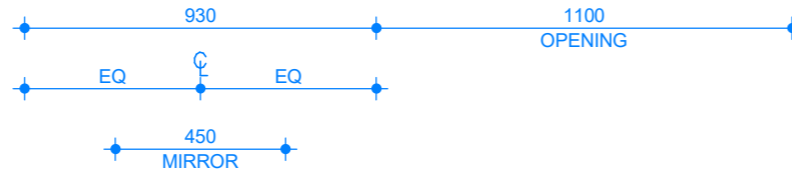
1 : 50

D PULL HANDLE:
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PUSH TO RELEASE MECHANISMS FOR BOTH OVERHEAD AND UNDER BENCH CUPBOARDS

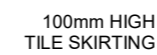
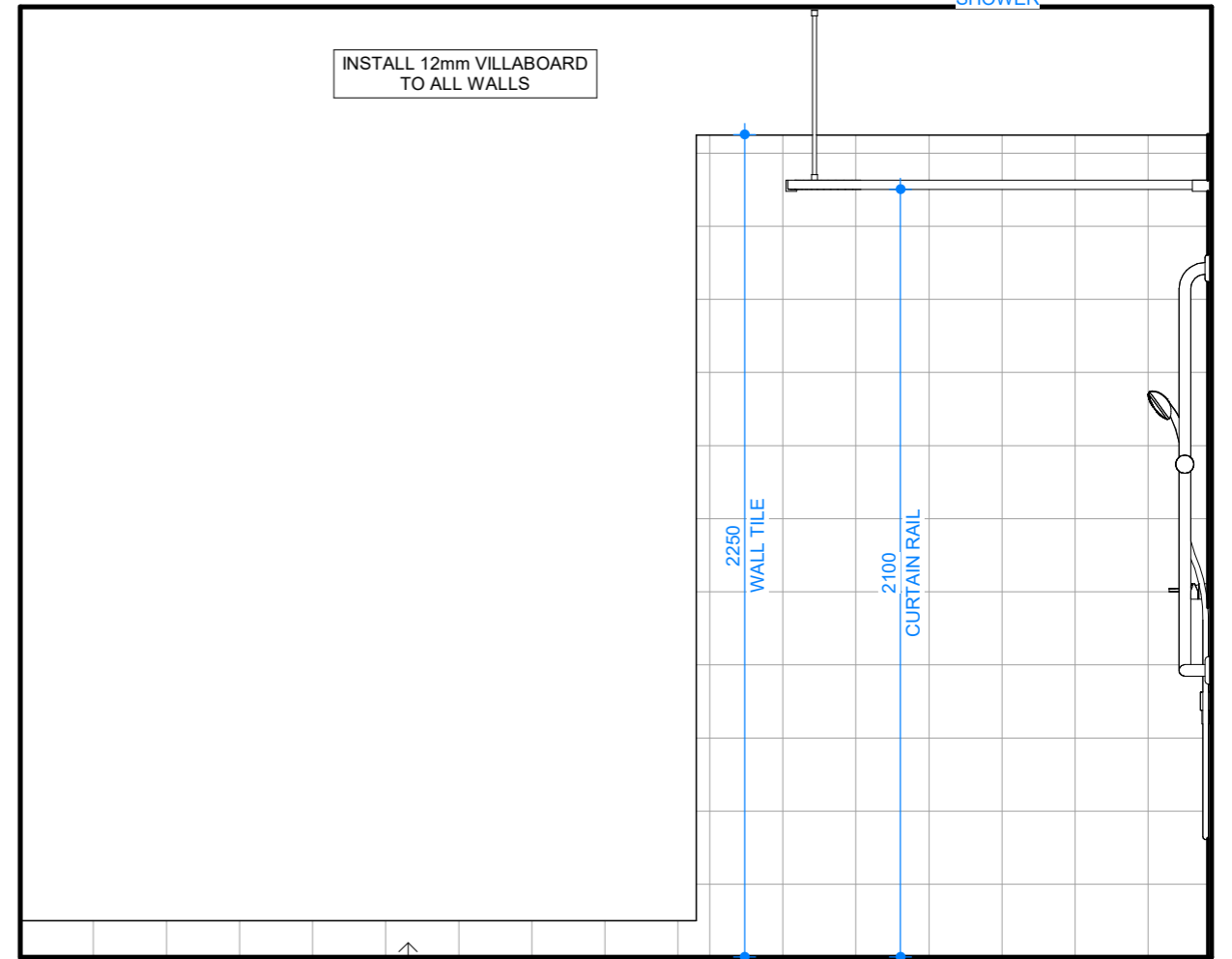
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BENCHTOP:
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)



1 ENSUITE 1 ELEVATION

D07c 1 : 20



2 ENSUITE 1 ELEVATION

D07c 1 : 20

Sorell Council
Development Application: Development Application - 52 Friendship Drive, Sorell - P1.pdf
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1/37 Ascot Dr, Huntingfield TAS 7055
P +61 3 6289 6601

Home: ABELIA-12.5(05H.03)

Client: SJM

Location: 52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172

Drawing: WET AREA ELEVATIONS - ENSUITE 1

Facade: A-ZARA
01-MONUMENT

DRAWING DETAILS

6/6/2024 8:48:08 AM

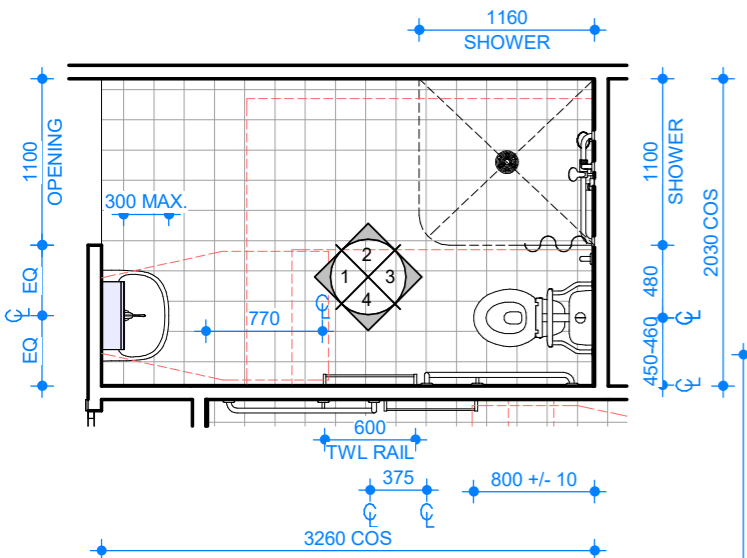
SCALE SHEET SIZE

As indicated A3

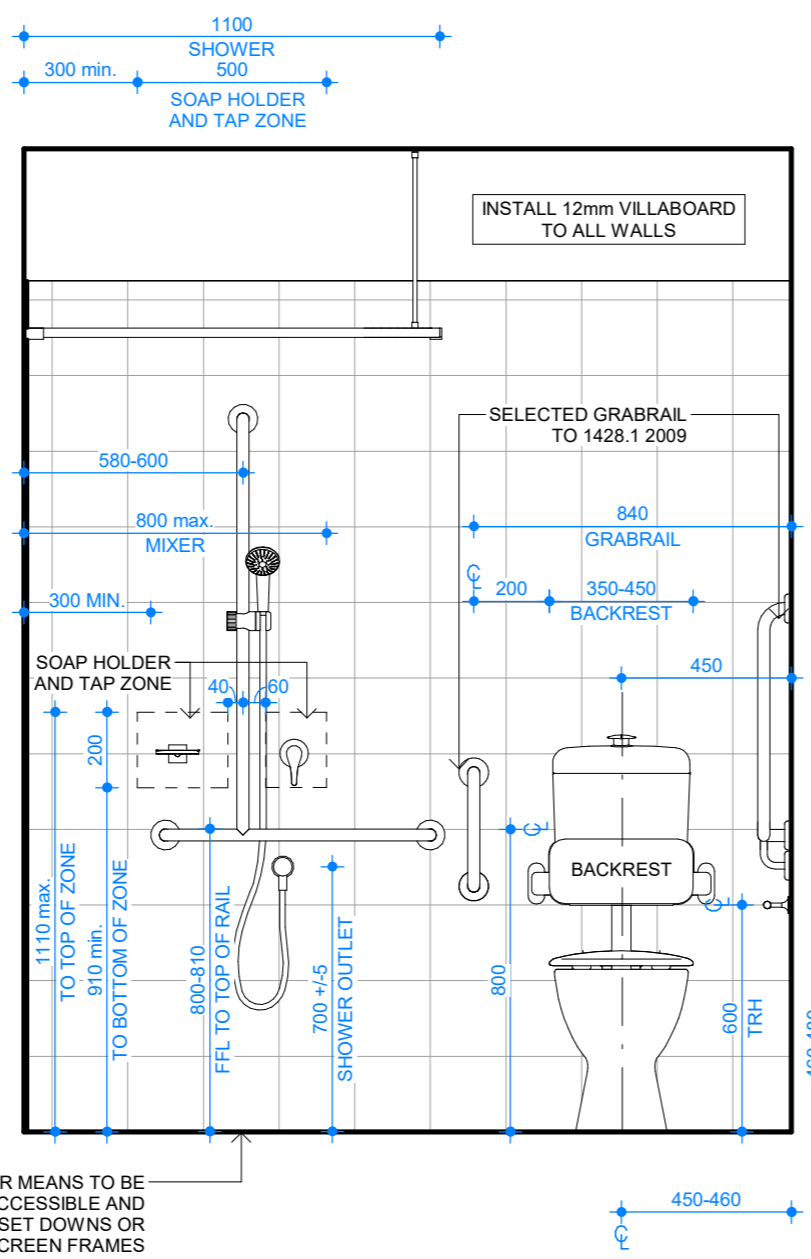
JOB No: 490N

Drwg No: D07c Issue A01

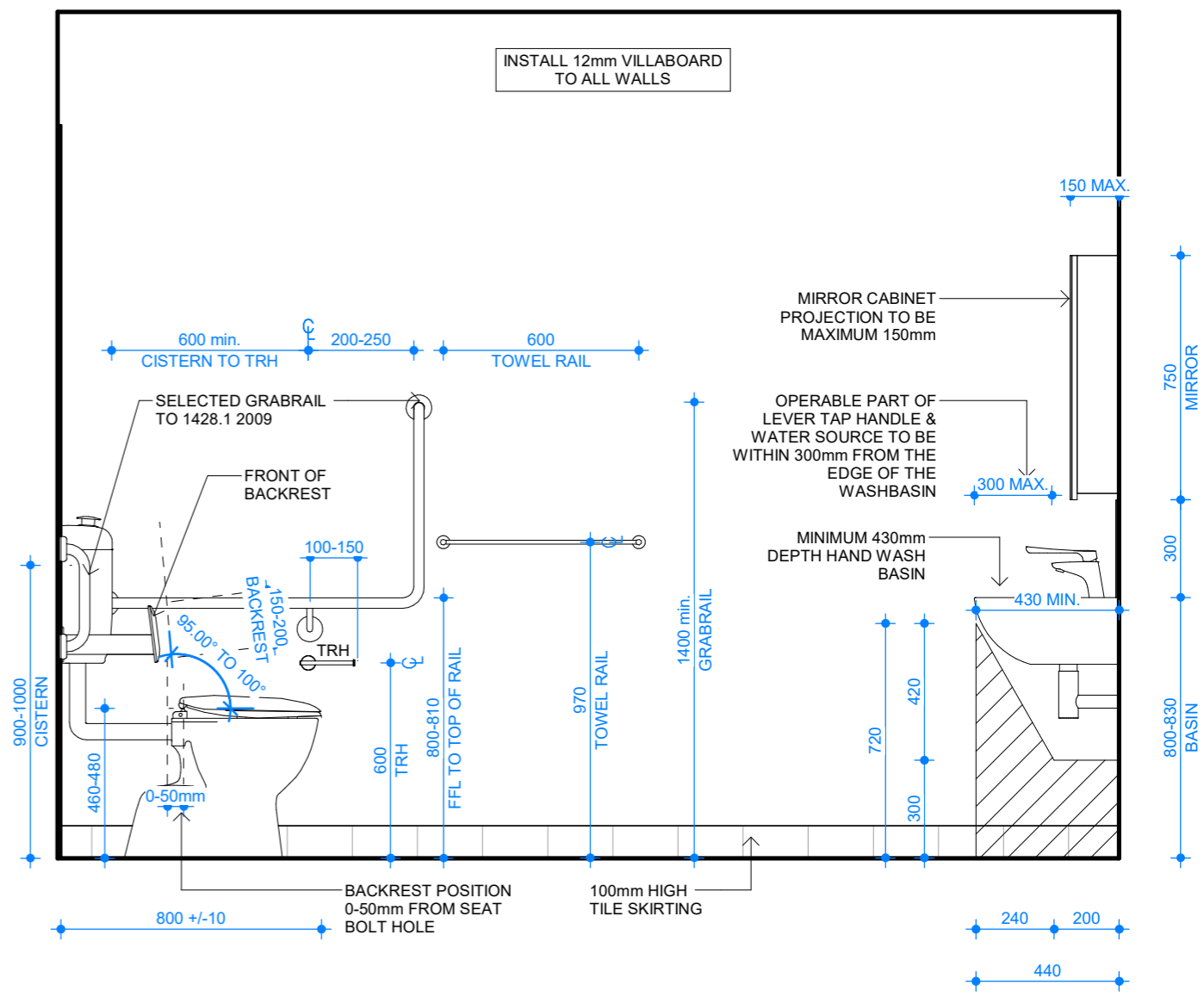
All dimensions to be verified on site



ENSUITE 1 PLAN
1 : 50



3 ENSUITE 1 ELEVATION
D07c 1 : 20



4 ENSUITE 1 ELEVATION
D07c 1 : 20

D PULL HANDLE:
D PULL CUPBOARD HANDLES TO ALL CUPBOARDS UNLESS NOTED OTHERWISE

PUSH TO RELEASE MECHANISMS FOR BOTH OVERHEAD AND UNDER BENCH CUPBOARDS

C.O.S. DIMENSION:
ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE

BENCHTOP:
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)

HOBLESS SHOWER MEANS TO BE WHEELCHAIR ACCESSIBLE AND EXCLUDES SET DOWNS OR SHOWER SCREEN FRAMES

Sorell Council
Development Application: Development
Application - 52 Friendship Drive, Sorell - P1.pdf
Plans Reference: P1
Date Received: 13/06/2024

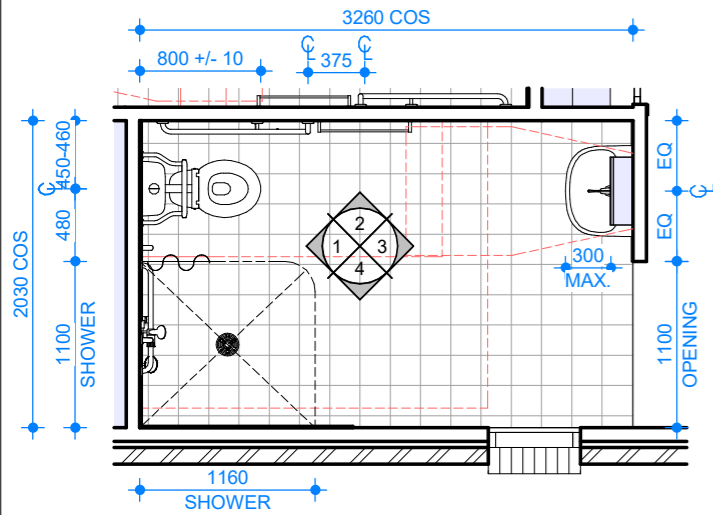
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SJM property developments
1/37 Ascot Dr, Huntingfield TAS 7055
P +61 3 6289 6601

Home: **ABELIA-12.5(05H.03)** Facade: **A-ZARA 01-MONUMENT**
Client: **SJM**
Location: **52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172**
Drawing: **WET AREA ELEVATIONS - ENSUITE 1**

DRAWING DETAILS	
6/6/2024 8:48:10 AM	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	490N
Drwg No:	D07d Issue A01

All dimensions to be verified on site



ENSUITE 2 PLAN

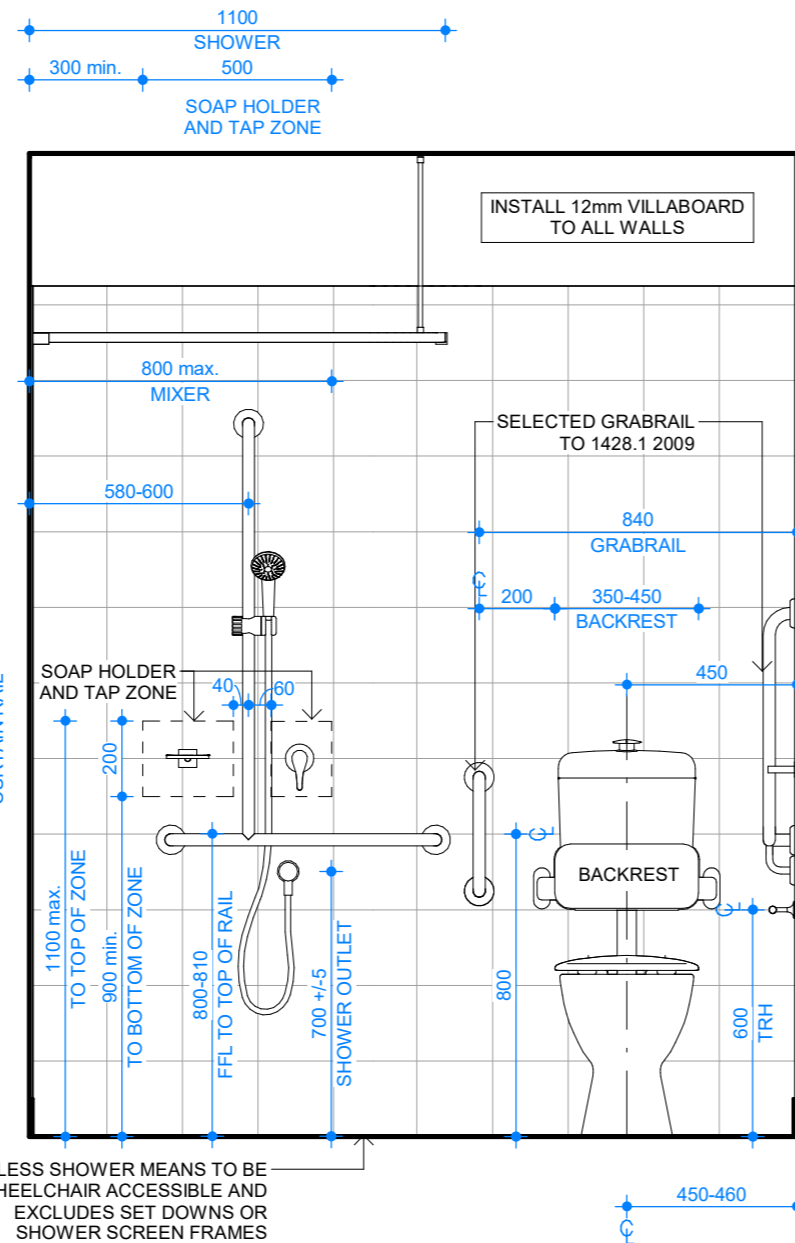
1:50

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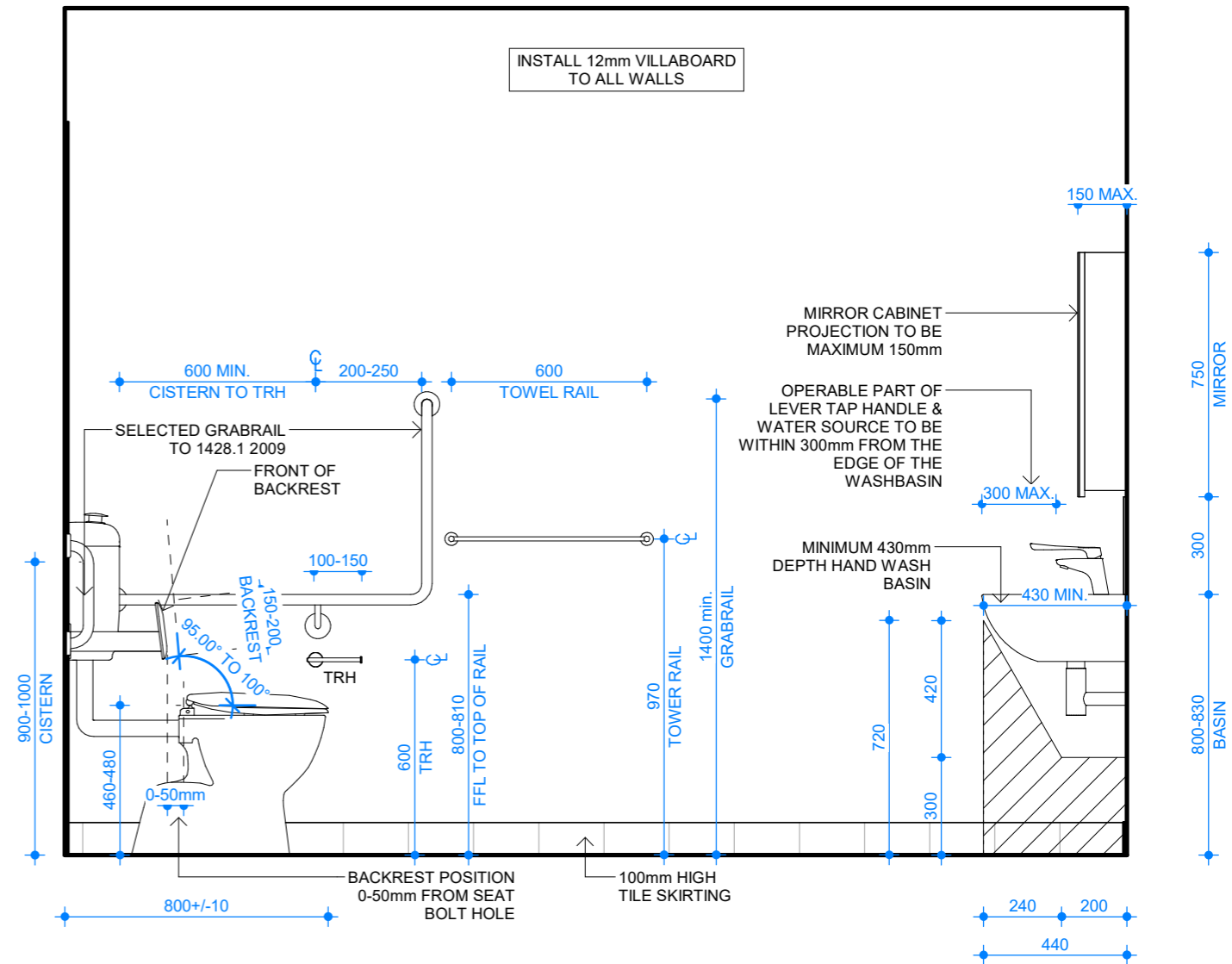
C.O.S. DIMENSION:
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BENCHTOP:
35mm POSTFORM LAMINATE BENCHTOPS THROUGHOUT (INCLUDING LAUNDRY)



1 ENSUITE 2 ELEVATION

D07e 1:20



2 ENSUITE 2 ELEVATION

D07e 1:20

Sorell Council
Development Application: Development Application - 52 Friendship Drive, Sorell - P1.pdf
Plans Reference: P1
Date Received: 13/06/2024

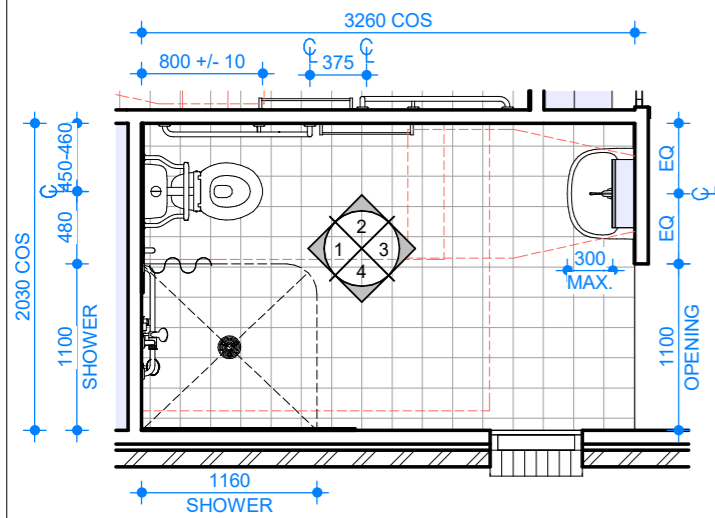
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Home: **ABELIA-12.5(05H.03)** Facade: **A-ZARA 01-MONUMENT**
Client: **SJM**
Location: **52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172**
Drawing: **WET AREA ELEVATIONS - ENSUITE 2**

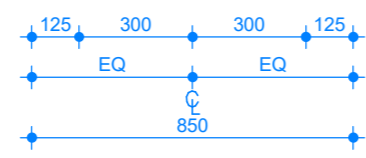
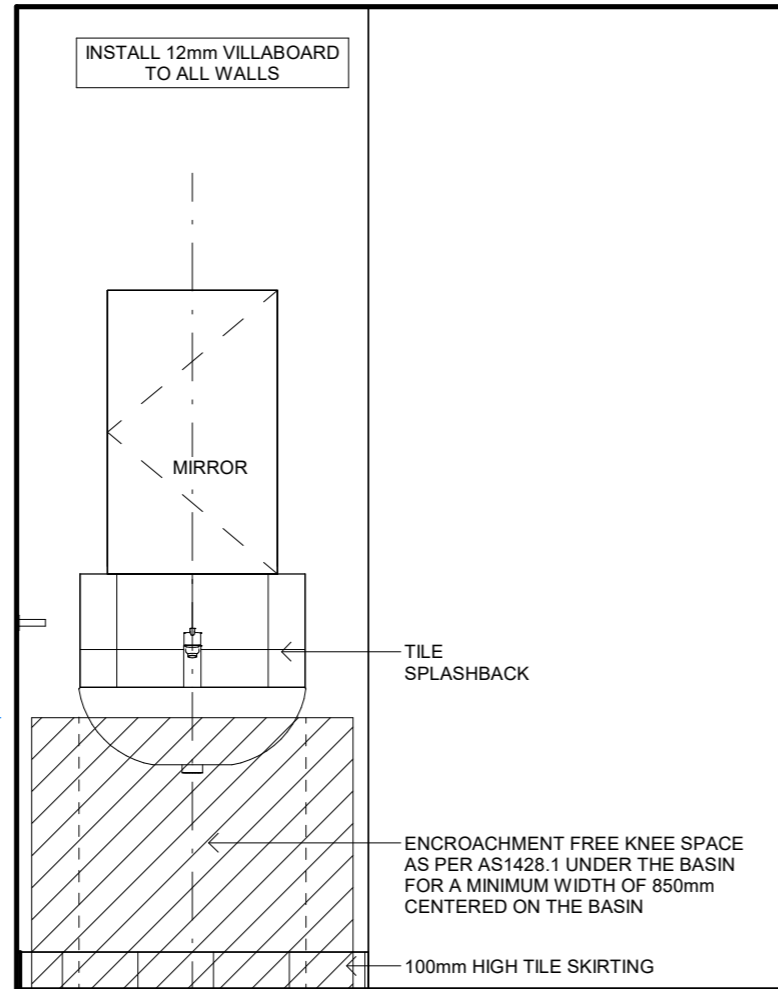
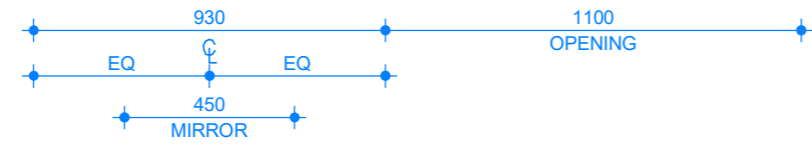
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SCALE	SHEET SIZE
As indicated	A3
JOB No:	490N
Drwg No:	D07e
Issue	A01

All dimensions to be verified on site



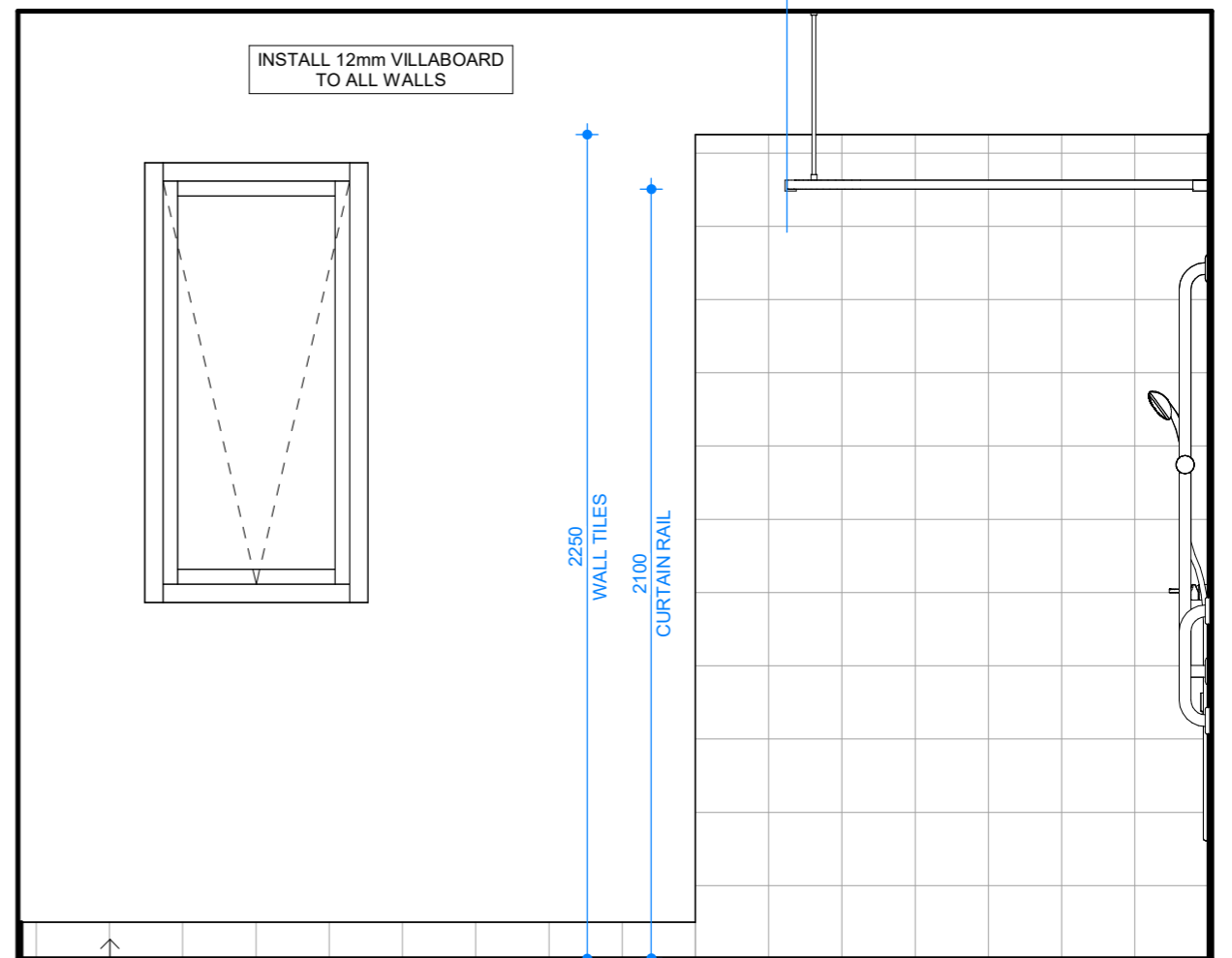
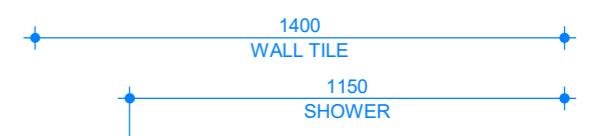
ENSUITE 2 PLAN

1 : 50



3 ENSUITE 2 ELEVATION

D07e 1 : 20



4 ENSUITE 2 ELEVATION

D07e 1 : 20

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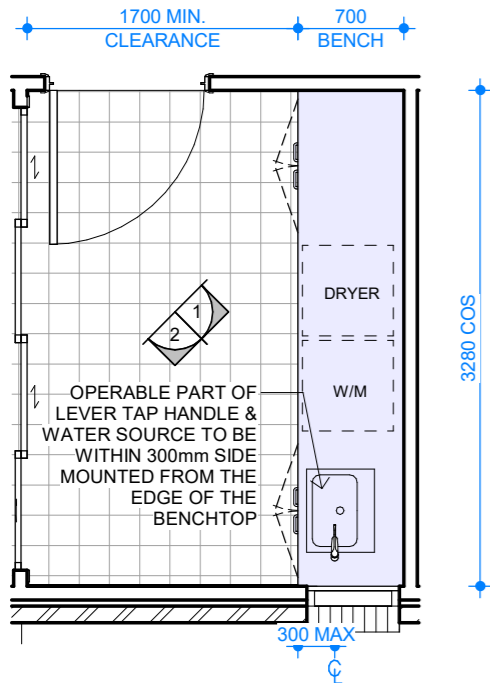
Sorell Council
Development Application: Development Application - 52 Friendship Drive, Sorell - P1.pdf
Plans Reference: P1
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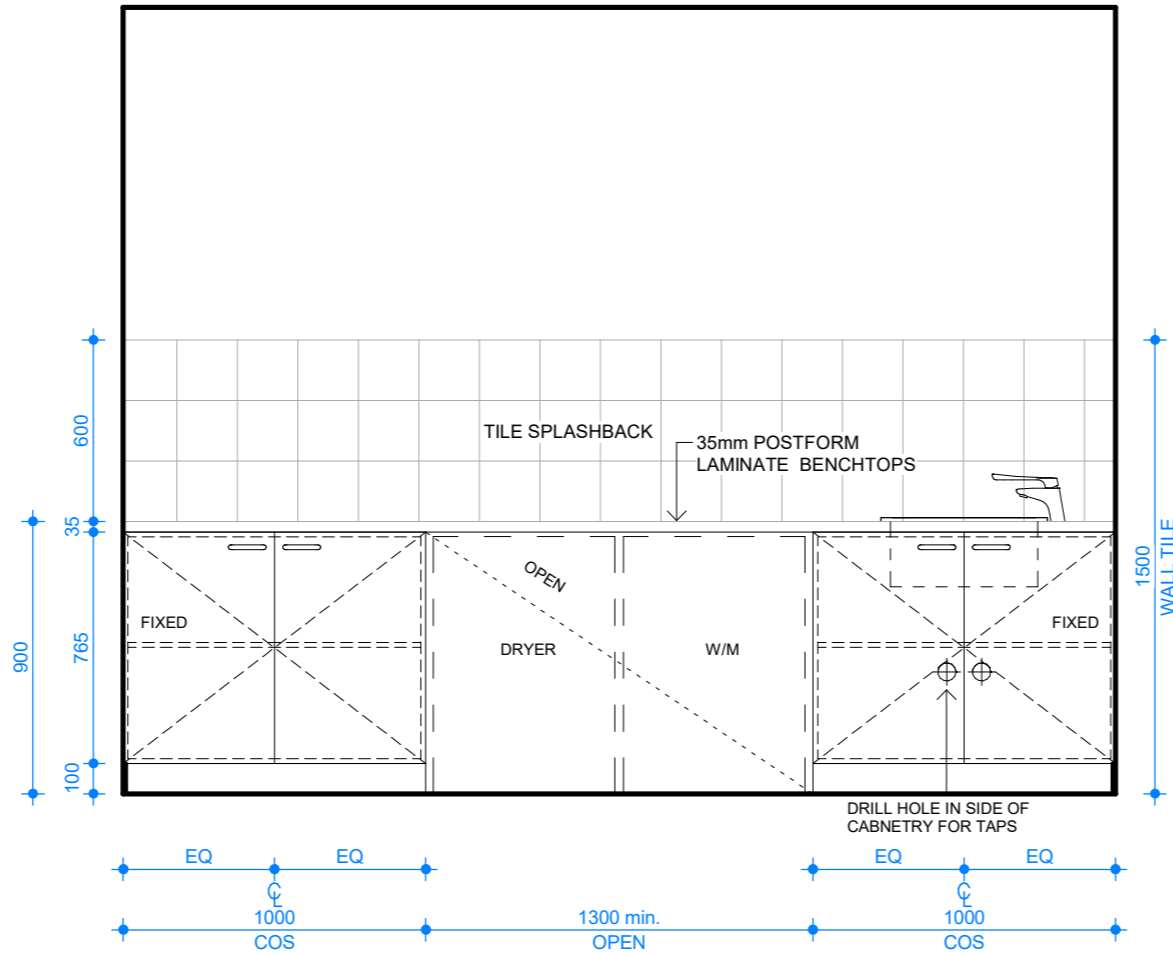
Home: **ABELIA-12.5(05H.03)** Facade: **A-ZARA 01-MONUMENT**
Client: **SJM**
Location: 52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172
Drawing: **WET AREA ELEVATIONS - ENSUITE 2**

DRAWING DETAILS	
6/6/2024 8:48:13 AM	
SCALE	SHEET SIZE
As indicated	A3
JOB No:	490N
Drwg No:	D07f Issue A01
All dimensions to be verified on site	



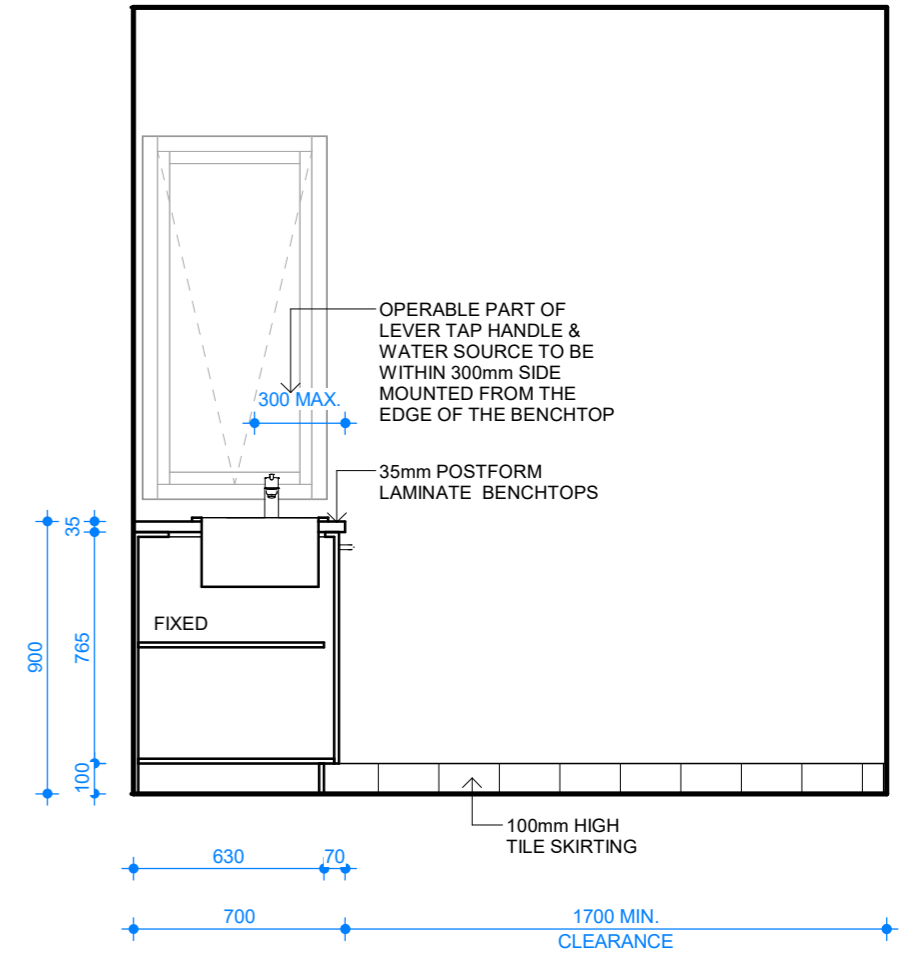
LAUNDRY PLAN

1 : 50



1 LAUNDRY ELEVATION

D07g 1 : 25



2 LAUNDRY ELEVATION

D07g 1 : 25

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BENCHTOP:
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Sorell Council
Development Application: Development Application - 52 Friendship Drive, Sorell - P1.pdf
Plans Reference:P1
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Home: ABELIA-12.5(05H.03)

Client: SJM

Location: 52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172

Drawing: WET AREA ELEVATIONS - LAUNDRY

Facade: A-ZARA

01-MONUMENT

DRAWING DETAILS

6/6/2024 8:48:14 AM

SCALE SHEET SIZE

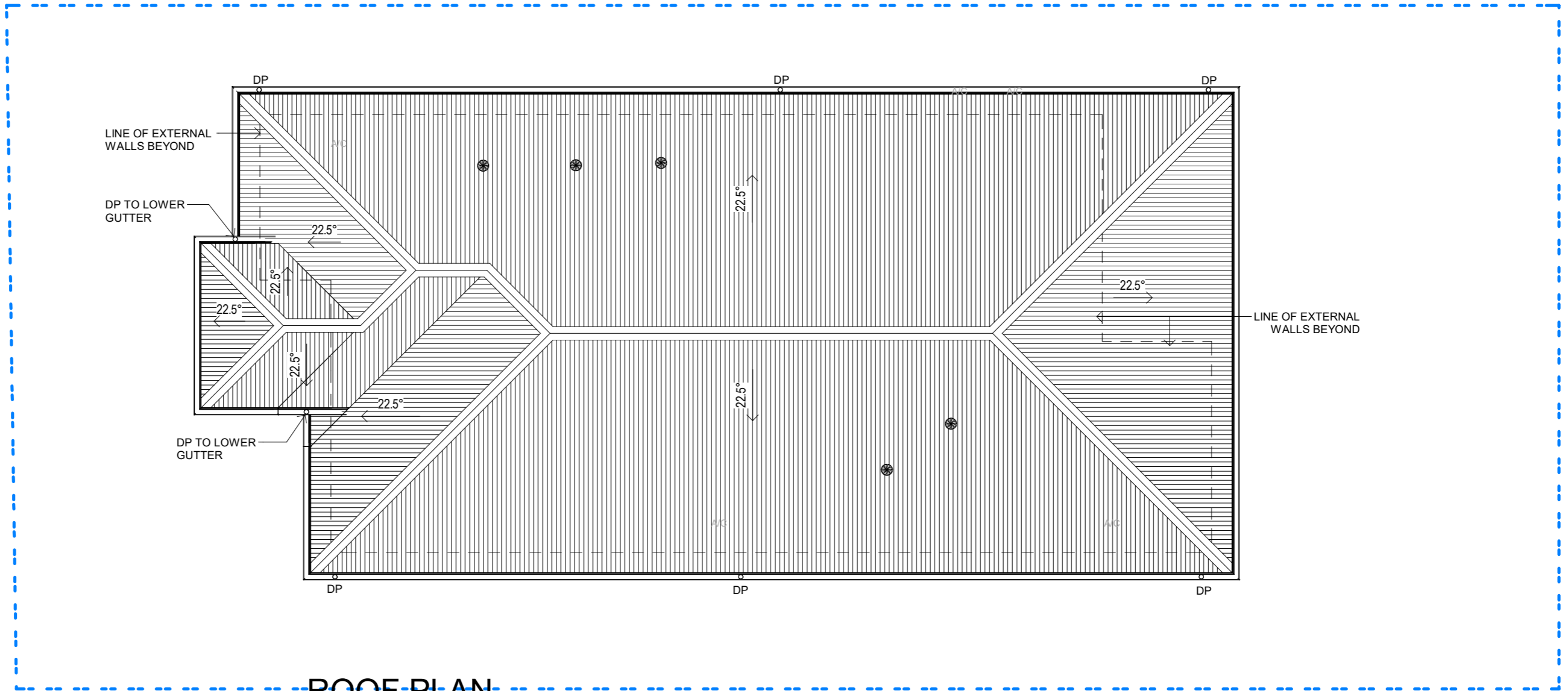
As indicated A3

JOB No: 490N

Drwg No: D07g Issue A01

All dimensions to be verified on site

LEGEND	
	ROOF VENTILATION - TO NCC REQUIREMENTS



ROOF PLAN

1 : 100

 **Sorell Council**
 Development Application: Development Application - 52 Friendship Drive, Sorell - P1.pdf
 Plans Reference: P1
 Date Received: 13/06/2024

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Home: **ABELIA-12.5(05H.03)**

Client: **SJM**

Location: **52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172**

Drawing: **ROOF PLAN**

Facade: **A-ZARA
01-MONUMENT**



All dimensions to be verified on site

DRAWING DETAILS

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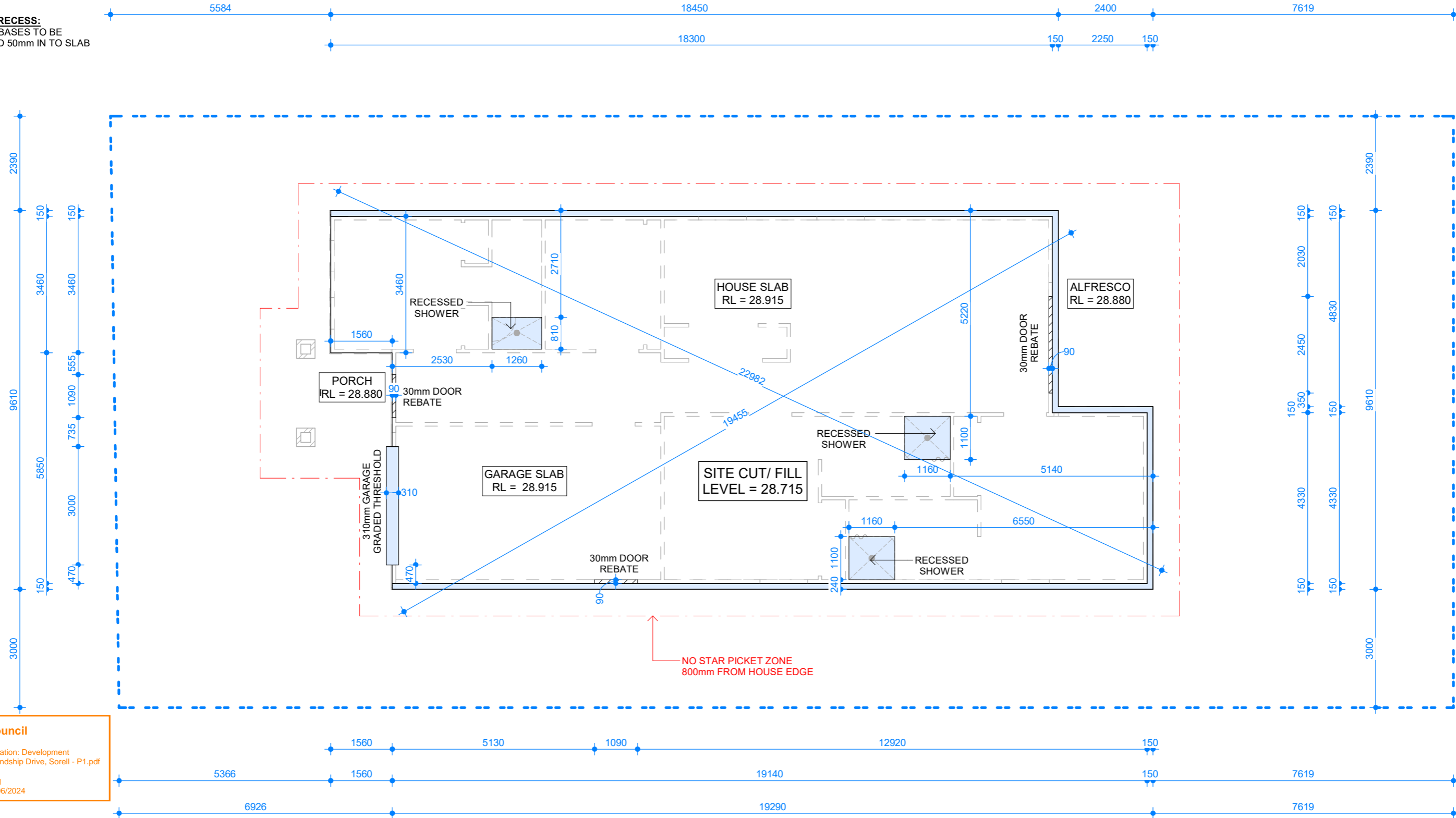
SCALE 1 : 100 SHEET SIZE A3

JOB No: **490N**

Drwg No: **D08** Issue **A01**

SLAB PLAN NOTE:
 REFER TO DRAWING D09 FOR SLAB PENETRATIONS.
 REFER TO STRUCTURAL ENGINEER'S PLANS FOR CONCRETE
 SLAB CONSTRUCTION. SLAB TO BE DESIGNED BASED ON
 SOIL CLASSIFICATION AS PER AS2870

SHOWER RECESS:
 SHOWER BASES TO BE
 RECESSED 50mm IN TO SLAB



Sorell Council
 Development Application: Development
 Application - 52 Friendship Drive, Sorell - P1.pdf
 Plans Reference: P1
 Date Received: 13/06/2024

SLAB PLAN

1 : 100



1/37 Ascot Dr, Huntingfield TAS 7055
 P +61 3 6289 6601

Home: **ABELIA-12.5(05H.03)**
 Client: **SJM**
 Location: **52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172**
 Drawing: **SLAB PLAN**

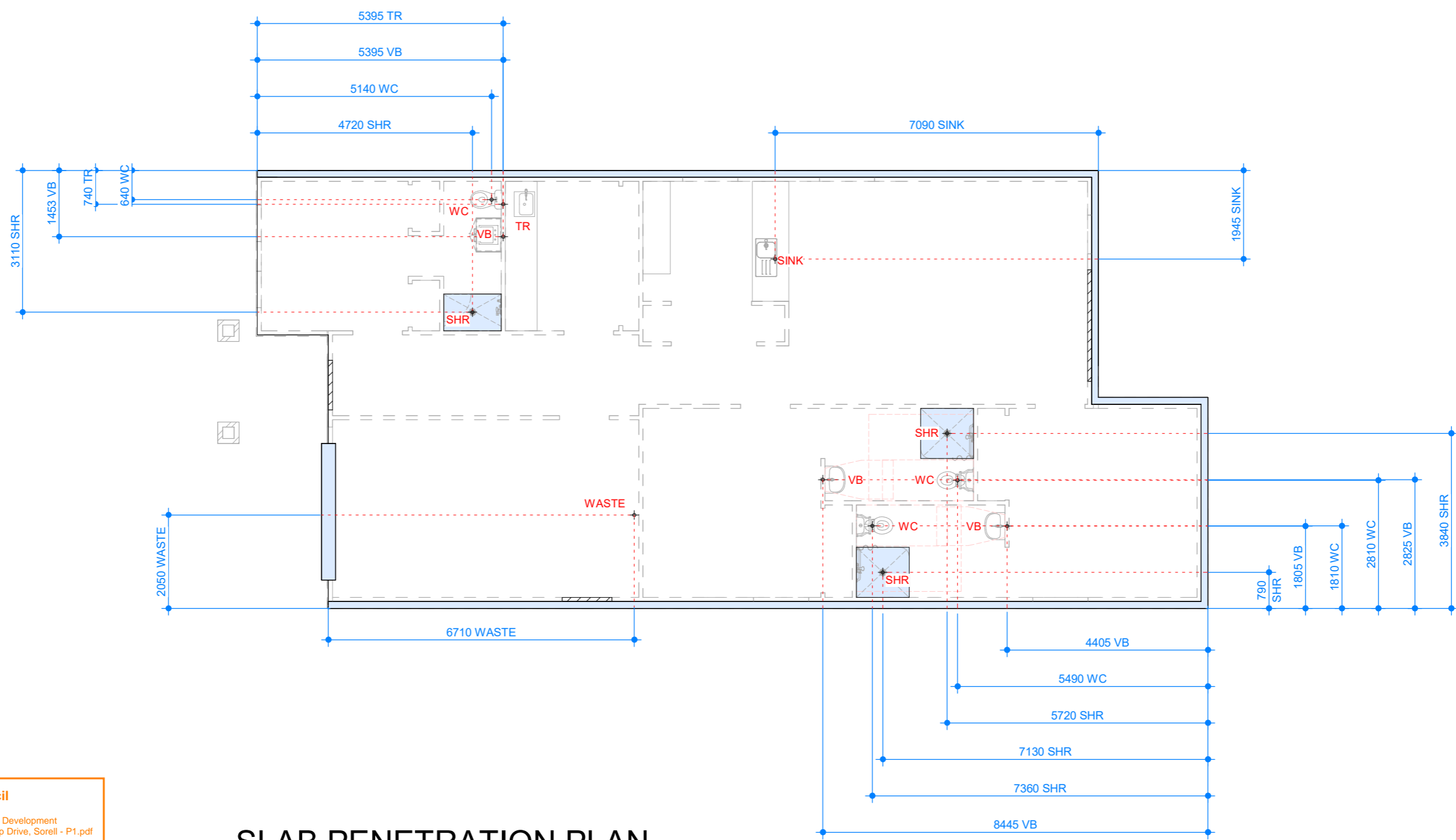
Facade: **A-ZARA
 01-MONUMENT**



DRAWING DETAILS	
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1 : 100	A3
JOB No:	490N
Drwg No:	D09 Issue A01

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SLAB PENETRATION PLAN

1 : 100

Sorell Council
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 Plans Reference: P1
 Date Received: 13/06/2024

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 Client: **SJM**
 Location: **52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172**
 Drawing: **SLAB PENETRATION PLAN**

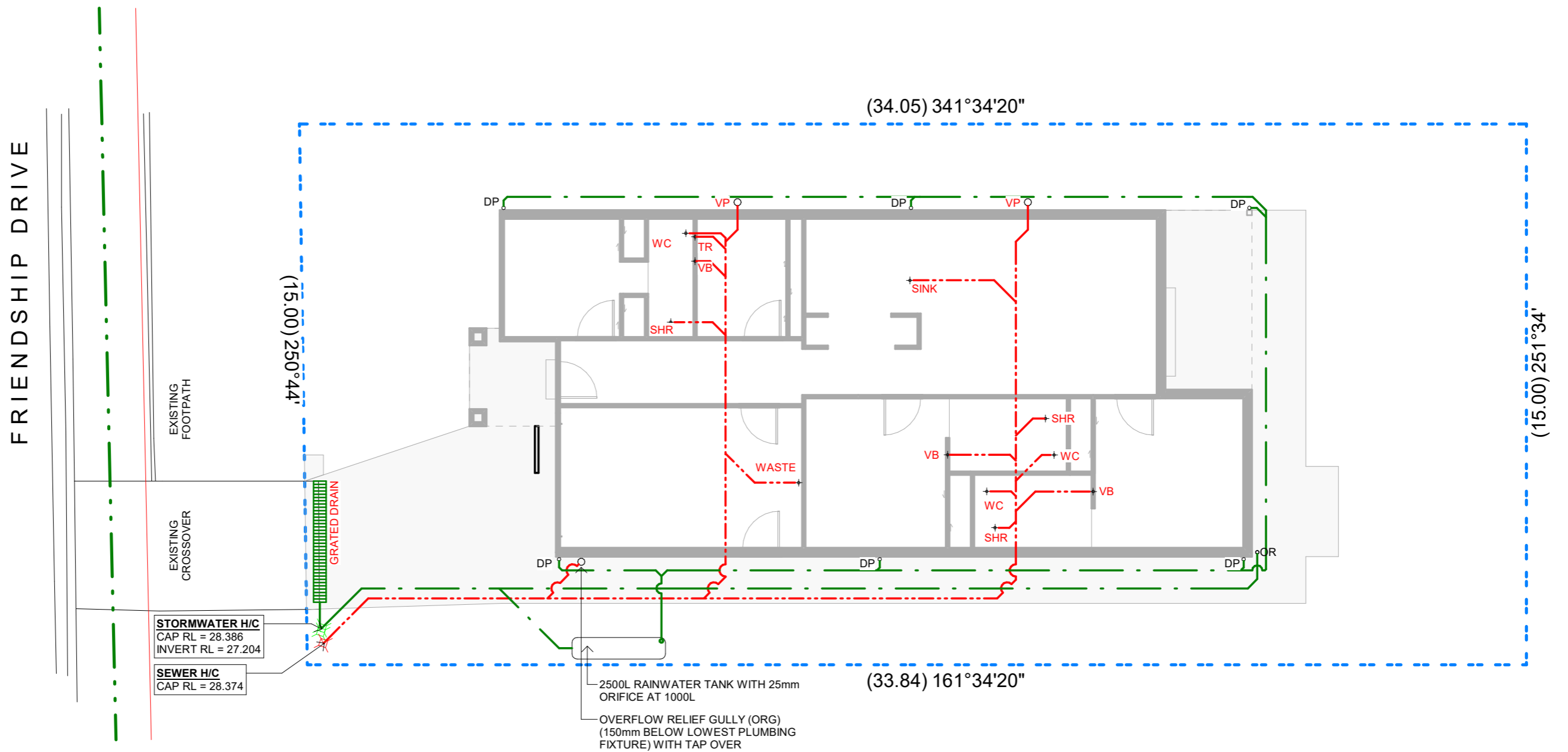
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6/6/2024 8:48:17 AM	
SCALE	SHEET SIZE
1 : 100	A3
JOB No:	490N
Drwg No:	D10a
Issue	A01

All dimensions to be verified on site

PLUMBING LEGENDS:

	100Ø SEWER PIPE
	100Ø STORMWATER PIPE
WC	Ø100 WATER CLOSER
VP	Ø50 VENT PIPE
TR	Ø50 TROUGH
SHR	Ø50 SHOWER
SINK	Ø50 SINK
VB	Ø40 VANITY/BASIN
AAV	AIR ADMITTANCE VALVE
DP	Ø90 DOWNPIPE

NOTE:
VENTING OF DRAINS TO COMPLY WITH AS/NZS 3500.2 3.9.2.1 CLAUSE.



STORMWATER H/C
CAP RL = 28.386
INVERT RL = 27.204

SEWER H/C
CAP RL = 28.374

Sorell Council
Development Application: Development
Application - 52 Friendship Drive, Sorell - P1.pdf
Plans Reference: P1
Date Received: 13/06/2024

PLUMBING PLAN

1 : 125

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Home: **ABELIA-12.5(05H.03)**

Client: **SJM**

Location: **52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172**

Drawing: **PLUMBING PLAN**

Facade: **A-ZARA
01-MONUMENT**



All dimensions to be verified on site

DRAWING DETAILS

6/6/2024 8:48:18 AM

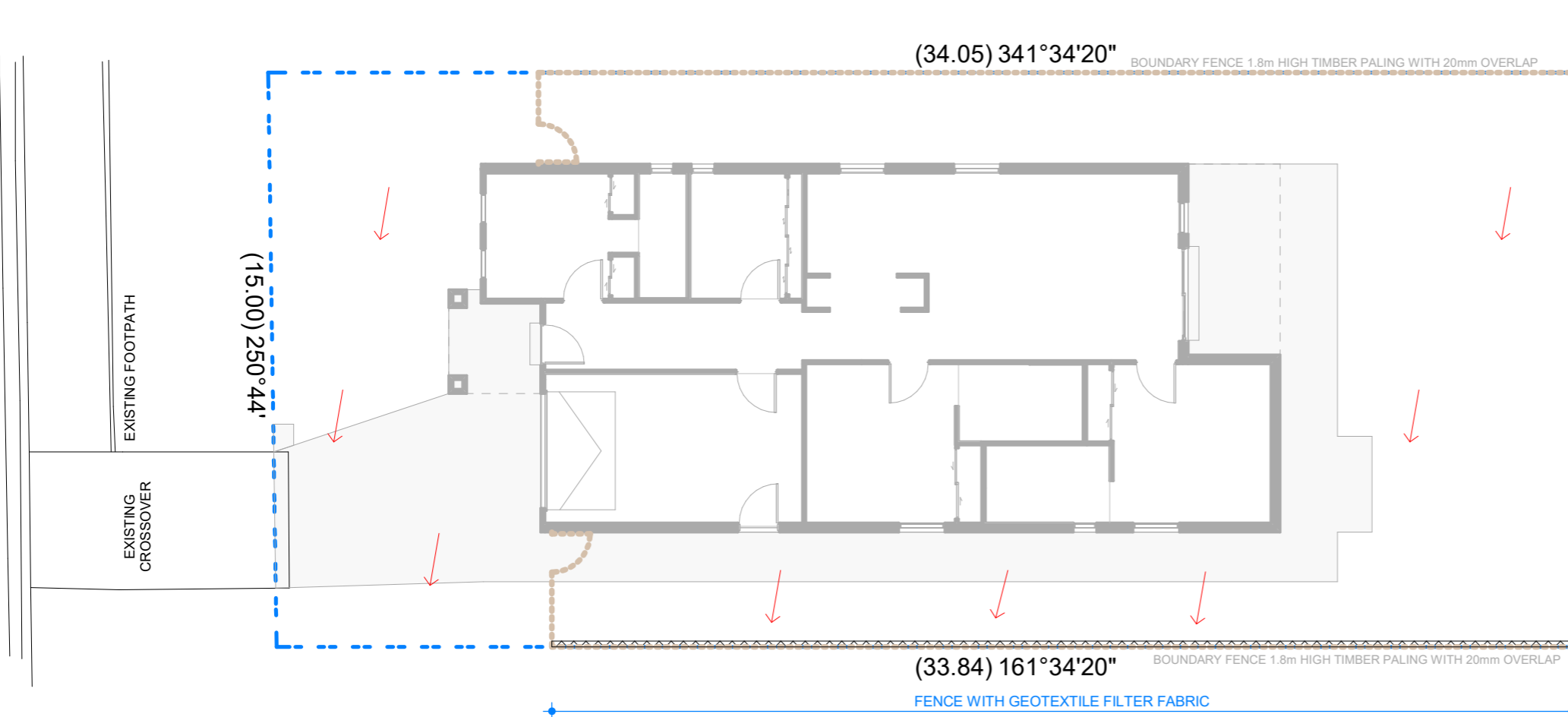
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As indicated A3

JOB No: **490N**

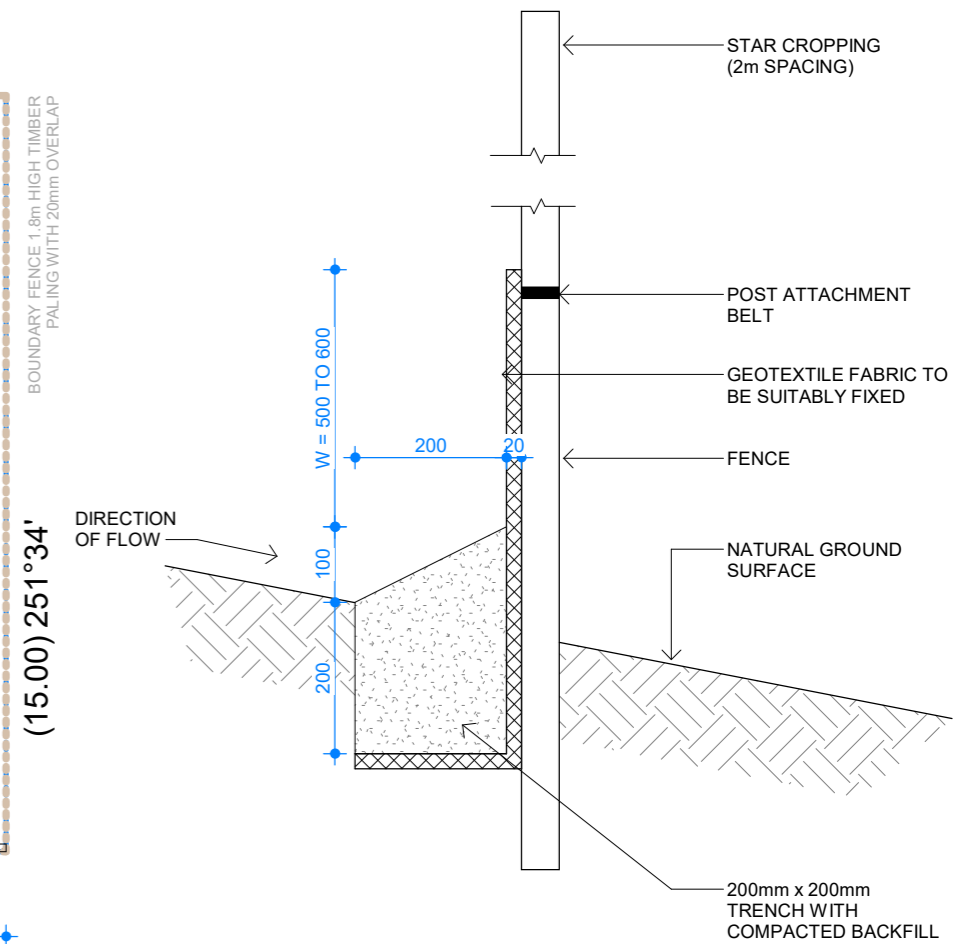
Drwg No: **D10b** Issue **A01**

FRIENDSHIP DRIVE



STORMWATER MANAGEMENT PLAN

1 : 150



SEDIMENT FENCE SECTION DETAIL

1 : 10

LEGEND:

- FLOW DIRECTION
- SEDIMENT FENCE
- PAVING AREA

Sorell Council
 Development Application: Development Application - 52 Friendship Drive, Sorell - P1.pdf
 Plans Reference:P1
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Home: **ABELIA-12.5(05H.03)** Facade: **A-ZARA 01-MONUMENT**
 Client: **SJM**
 Location: 52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172
 Drawing: **STORMWATER MANAGEMENT PLAN**

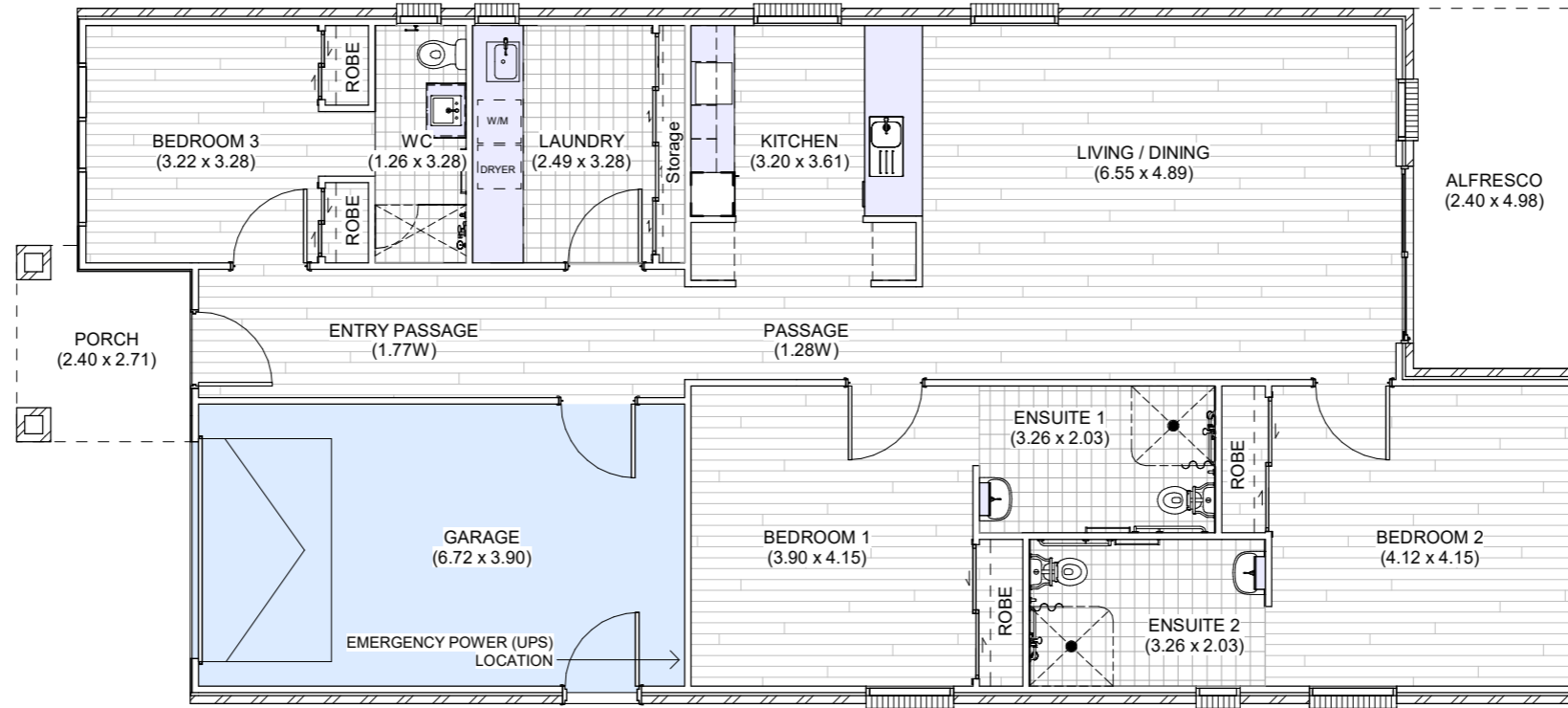
DRAWING DETAILS
 6/6/2024 8:48:19 AM
 SCALE: As indicated SHEET SIZE: A3
 JOB No: **490N**
 Drwg No: **D10c** Issue: **A01**

All dimensions to be verified on site

NOTE:
 ALL FLOOR COVERINGS TO BE FIRM AND EVEN AND FEATURE A TRANSITION BETWEEN ABUTTING SURFACES (A MAXIMUM VERTICAL TOLERANCE OF 3mm OR 5mm BETWEEN SURFACES IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELED.)

ALL INTERNAL FLOOR FINISHES SHALL HAVE A MINIMUM SLIP RESISTANCE OF P3 OR R10.

LEGEND	
	TIMBER OVERLAY
	CERAMIC TILE
	CONCRETE



FLOOR FINISHES PLAN

1 : 100

 **Sorell Council**
 Development Application: Development
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 Plans Reference:P1
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- ALL DIMENSION ARE NOMINAL AND MUST BE VERIFIED ON SITE.



1/37 Ascot Dr, Huntingfield TAS 7055
 P +61 3 6289 6601

Home: **ABELIA-12.5(05H.03)**

Client: **SJM**

Location: **52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172**

Drawing: **FLOOR FINISHES PLAN**

Facade: **A-ZARA
01-MONUMENT**



All dimensions to be verified on site

DRAWING DETAILS

6/6/2024 8:48:19 AM

SCALE SHEET SIZE

1 : 100 A3

JOB No: **490N**

Drwg No: **D11** Issue **A01**

ELECTRICAL LEGEND:

- ⊕ **Ceiling Mounted LED - 10W, Sealed, IC-F rated**
- ⊕ **Pendant Light as Selected LED - 10W**
- ⊕ **External Wall Mounted Light**
@ 1800 above adjoining floor level unless otherwise indicated by height shown in brackets
- X **Light Switch - Single**
@ 1000 above adjoining floor level unless otherwise indicated by height shown in brackets
- XD **Light Switch - Dimmer**
@ 1000 above adjoining floor level unless otherwise indicated by height shown in brackets
- X2 **Light Switch - Two Way**
@ 1000 above adjoining floor level unless otherwise indicated by height shown in brackets
- X **Isolator Switch - 6mm 32 AMP**
@300mm of bench top edge
- X^R **Rangehood Switch**
@300mm of bench top edge
- ▲ **GPO - Single**
@ 700 above adjoining floor level unless otherwise indicated by height shown in brackets
- ▲ **GPO - Double**
@ 700 above adjoining floor level unless otherwise indicated by height shown in brackets
- ▲ **GPO - Double (External)**
@ 1200 above adjoining floor level unless otherwise indicated by height shown in brackets
- ▲ **GPO - Single (Capped)**
At window head height
- ▲ **GPO - Double (Capped)**
At window head height
- ▲ **GPO - 3 Phase for Car Charge**
ALLOW FOR FUTURE INSTALLATION ONLY
@ 1100 above adjoining floor level unless otherwise indicated by height shown in brackets
- **Conduit for 3 Phase Car Charge**
ALLOW FOR FUTURE CABLE INSTALLATION ONLY
- TV **TV Socket**
@ 300 above adjoining floor level unless otherwise indicated by height shown in brackets
- T **Phone Socket**
@ 300 above adjoining floor level unless otherwise indicated by height shown in brackets
- ⊗ **Ceiling Mounter Exhaust Fan**
250mm diameter
- ⊗ **Ceiling Fan with Light**
- ⊗ **Ceiling Fan**
- **Motion Sensor**
- ☼ **Smoke Alarm**
- ↻ **Reverse Cycle Air Conditioning**
- ⊕ **Thermostat**
- MH **Man Hole**
600x600 (Approx. Position)
- I **Intercom (1000mm above FFL)**

ELECTRICAL NOTES:

- LIGHT AND GPO SWITCHES SHALL BE ROCKER ACTION, TOGGLE OR PUSH PAD IN DESIGN WITH A MINIMUM WIDTH OF 35mm.
- DIMMABLE LIGHTING SWITCHES SHALL BE PROVIDED IN LIVING AREAS AND BEDROOMS.
- PROVIDE POWER AND CONTROL CABLING TO HEAD OF ENTRY DOORS OF BEDROOMS, ONE EXTERNAL ENTRY DOORWAY AND ONE EXTERNAL DOORWAY TO LIVING
- POWER POINT IN CEILING SPACE FOR DUCTED HEATING & COOLING
- PROVIDE POWER AND CONTROL CABLING TO WINDOWS OF BEDROOMS, AND LIVING AREAS FOR FUTURE WINDOW BLIND AUTOMATION. PROVIDE A CAPPED GPO AT WINDOW HEAD WHERE INDICATED.
- GPO'S IN BEDROOMS TO BE MINIMUM 600mm HIGH FROM FFL.
- GPO'S ABOVE BENCHES AND DESKS TO BE A MINIMUM 300mm FROM EDGE OF BENCH/DESK.
- PROVIDE MINIMUM 300LUX LIGHTING LEVELS AT MAXIMUM INTERVALS OF 1500MM MEASURED DIRECTLY OVER BENCHTOPS.
- ALL LIGHT SWITCHES SHALL BE POSITIONED IN A CONSISTENT LOCATION :
- 1000mm ABOVE FINISHED FLOOR LEVEL
- HORIZONTALLY ALIGNED WITH THE DOOR HANDLE AT THE ENTRANCE TO A ROOM.
- A MINIMUM OF 500mm FROM AN INTERNAL CORNER TO C/L OF THE LIGHT SWITCH.
- STANDARD VIDEO INTERCOM TO BEDROOMS & KITCHEN/LIVING.
- BEDROOMS SHALL HAVE A PROVISION FOR POWER AND INBUILT STRUCTURE, CAPABLE OF INSTALLATION OF A CONSTANT CHARGE CEILING HOIST
- EMERGENCY POWER SOLUTIONS SHALL BE PROVIDED TO CATER FOR A MINIMUM 2-HOUR OUTAGE IN NO LESS THAN 2 DOUBLE GPOs IN PARTICIPANT BEDROOMS AND ANY PROVIDED AUTOMATED DOORS THAT ARE USED FOR ENTRY OR EGRESS.
- BACKUP FOR LIFE SUPPORT SYSTEMS IF NEEDED BY PARTICIPANTS.

LEGEND - SERVICES

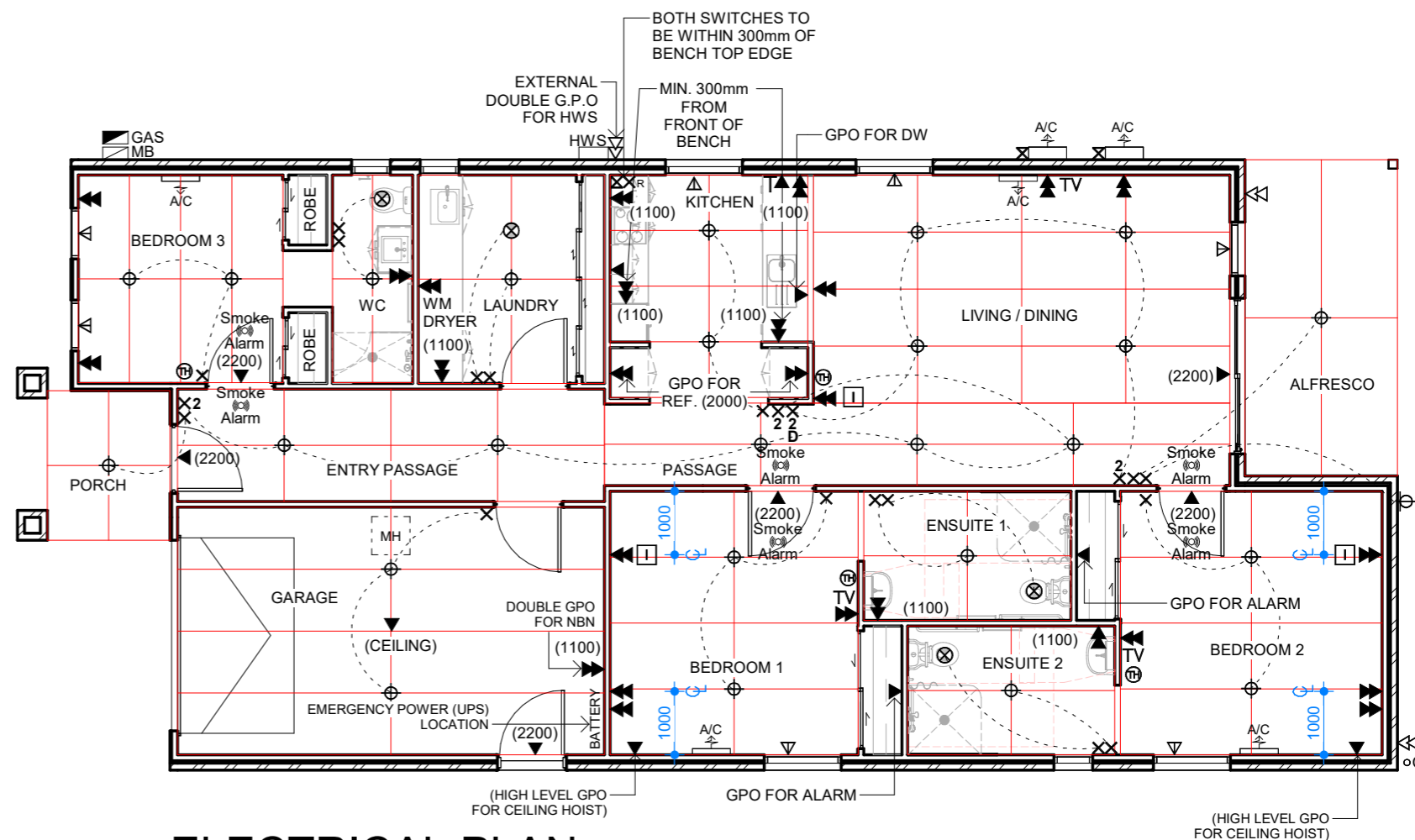
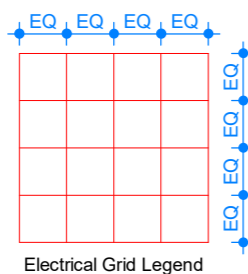
- HWS HOT WATER SERVICE
- MB METER BOX
- GAS GAS
- GAS METER GAS METER
- OR OVERFLOW RISER

ILLUMINATION POWER DENSITY

LIVING AREA:	151.00m ²	
TOTAL MAXIMUM ALLOWABLE FOR LIVING AREA AT 5WATTS/m ²	755.00 WATTS	
ACTUAL USAGE = 10WATTS x 21 DOWNLIGHTS	210.00 WATTS	
TOTAL WATTS USAGE =	1.39 WATTS/m ²	

GARAGE AREA:	28.30m ²	
TOTAL MAXIMUM ALLOWABLE FOR GARAGE AREA AT 3WATTS/M ²	84.90 WATTS	
ACTUAL USAGE = 10WATTS x 2 DOWNLIGHTS	20.00 WATTS	
TOTAL WATTS USAGE =	0.71 WATTS/m ²	

PORCH / ALFRESCO AREA:	17.90m ²	
TOTAL MAXIMUM ALLOWABLE FOR PORCH / ALFRESCO AREA AT 4WATTS/M ²	71.6 WATTS	
ACTUAL USAGE = 8WATTS x 2 DOWNLIGHTS	16.00 WATTS	
TOTAL WATTS USAGE =	0.89 WATTS/m ²	



IMPORTANT NOTES:

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2. ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS TO BE CHECKED BY CONTRACTOR AND VERIFIED BEFORE COMMENCEMENT OF WORKS ON SITE. ANY DISCREPANCIES TO BE REPORTED TO THE OFFICE IMMEDIATELY.
3. WINDOW SIZES ARE NOMINAL ONLY, SIZES MAY CHANGE DUE TO AVAILABILITY.
4. FLOOR PLANS ARE DIMENSIONED TO TIMBER STUD FRAME.
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Sorell Council
Development Application: Development Application - 52 Friendship Drive, Sorell - P1.pdf
Plans Reference:P1
Date Received:13/06/2024



1/37 Ascot Dr, Huntingfield TAS 7055
P +61 3 6289 6601

Home: **ABELIA-12.5(05H.03)**

Client: **SJM**

Location: **52 FRIENDSHIP DRIVE (LOT 316), SORELL TAS 7172**

Drawing: **ELECTRICAL & LIGHTING PLANS**

Facade: **A-ZARA 01-MONUMENT**



All dimensions to be verified on site

DRAWING DETAILS

6/6/2024 8:48:21 AM

SCALE SHEET SIZE

1: 100 A3

JOB No: **490N**

Drwg No: **D12** Issue **A01**

NOTES:

THIS PLAN IS FOR A PROVISIONAL WATER LINE TO BE CONNECTED TO THE TOWN'S MAIN VIA THE DRINKING WATER METER. THIS PLAN IS NOT TO BE USED FOR TANK & PUMP WATER SUPPLIES.

INSTALLATION REQUIREMENTS

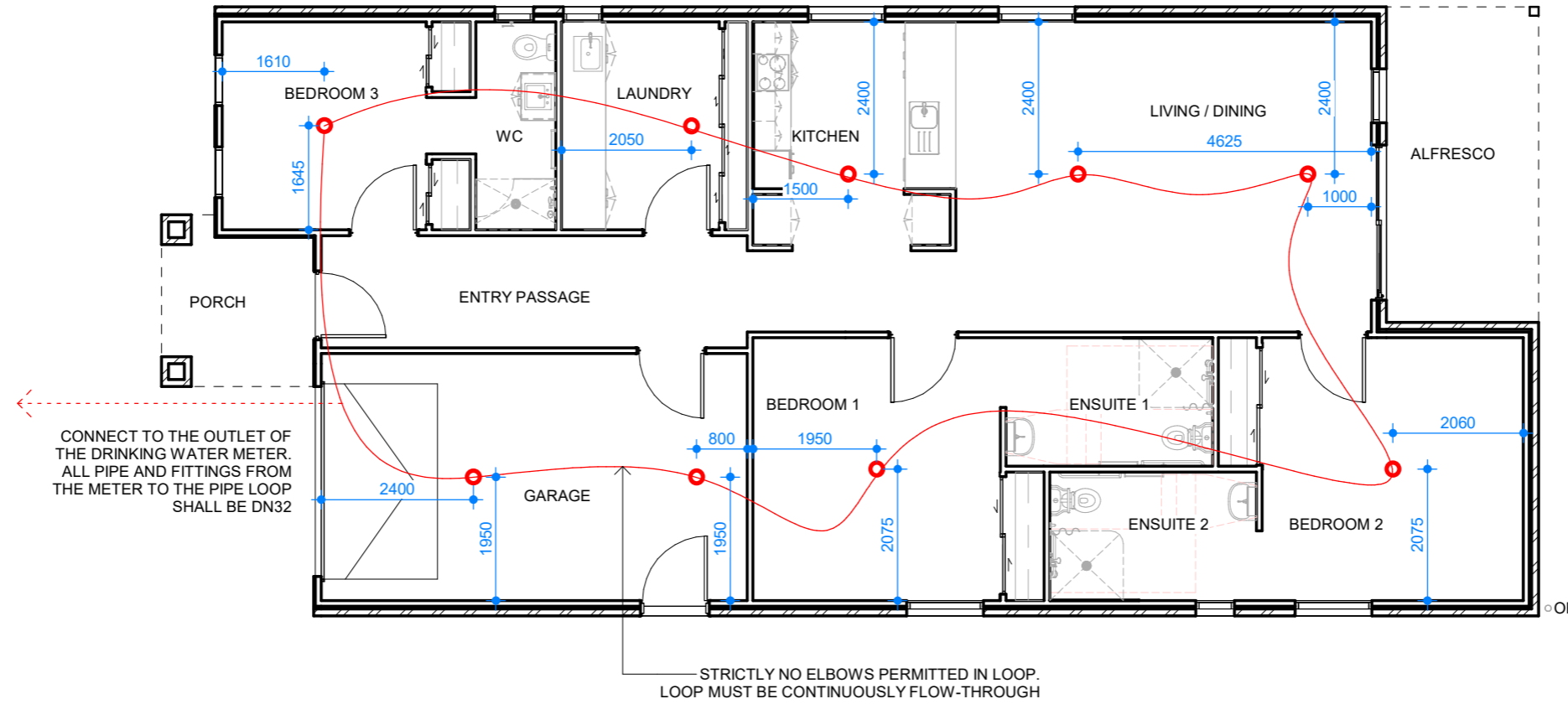
- FOR TOWN'S MAIN WATER SUPPLIES, ALL COLD-WATER DRINKING FIXTURES SHALL SUPPLIED BY THE SPRINKLER LOOP WITH THE ONLY PERMITTED EXCEPTION BEING THOSE THAT ARE REQUIRED TO BE SUPPLIED BY NON-POTABLE WATER SUPPLY, BY JURISDICTIONAL REQUIREMENTS.

HYDRAULIC REQUIREMENTS

- ALL PIPES, FITTINGS AND VALVES FEEDING THE LOOP FROM TOWNS' MAIN WATER METER, SHALL BE NOT LESS THAN DN 32.
- BRIDGING OF THE LOOP IS NOT PERMITTED.
- NO ELBOWS ARE PERMITTED IN THE PIPE LOOP. LOOP MUST BE CONTINUOUSLY FLOW-THROUGH ONLY.

LEGENDS:

- INDICATIVE SPRINKLER LOCATION
- OR OVERFLOW RISER





LAYOUT OF PROVISIONAL WATER LINE FOR OPTIONAL FUTURE SPRINKLER INSTALLATION

1 : 100

Sorell Council
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 Plans Reference: P1
 Date Received: 13/06/2024

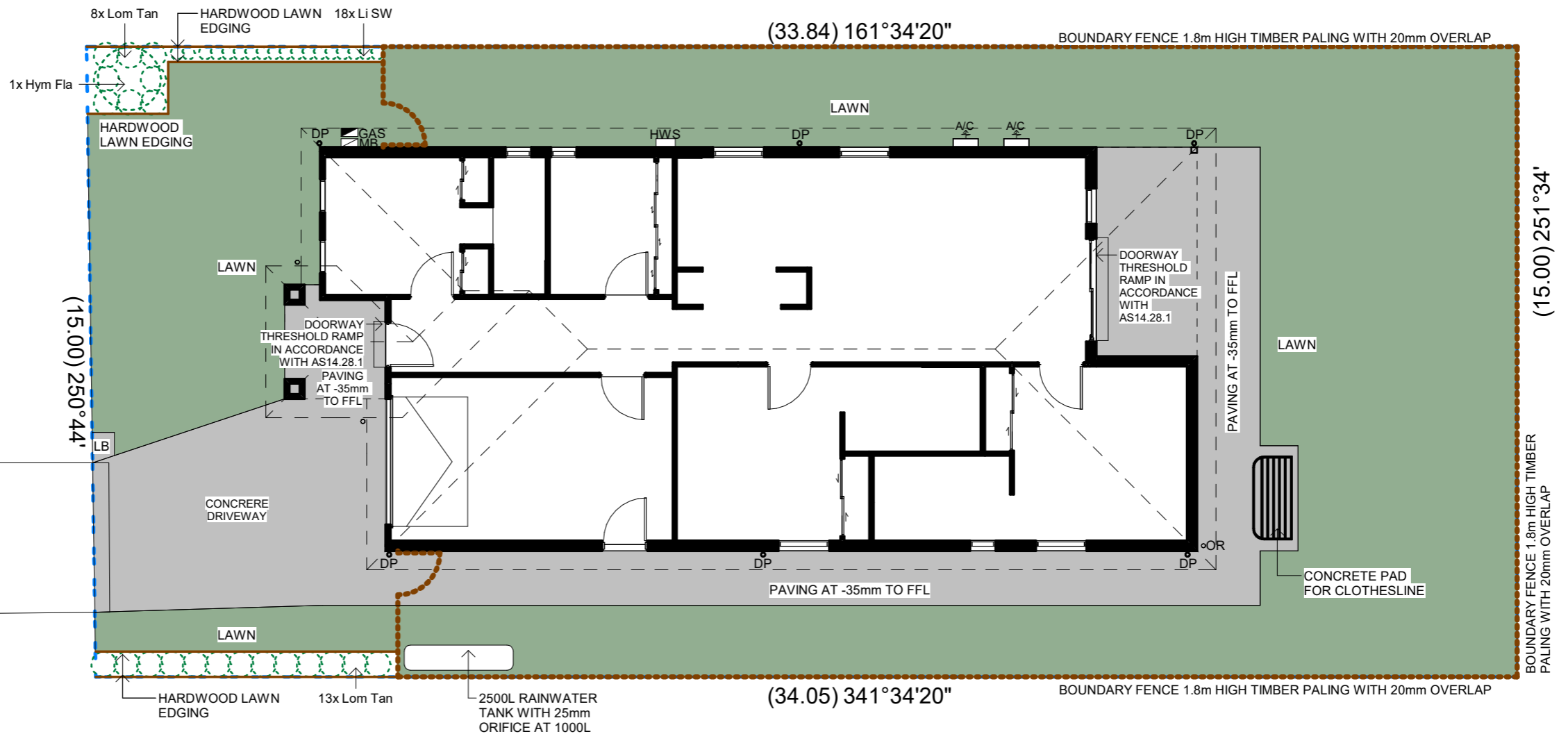
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	Drawing: SPRINKLER PLAN	JOB No: 490N Drwg No: D13 Issue A01		SCALE 1 : 100	SHEET SIZE A3

All dimensions to be verified on site

FRIENDSHIP DRIVE

EXISTING FOOTPATH
EXISTING CROSSOVER



LANDSCAPE PLAN

1 : 125

Sorell Council
 Development Application: Development Application - 52 Friendship Drive, Sorell - P1.pdf
 Plans Reference: P1
 Date Received: 13/06/2024

SELECTED PLANT LIST						
NO	CODE	POT	BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH
TREES						
1	Hym fla	400	Hymenosporum flavum	NATIVE FRANGIPANI	8.0	4.0
SHRUBS						
21	Lom Tan	140	Lomandra longifolia "Tanika"	MAT RUSH	0.4	0.6
GROUND COVERS						
18	Li SW	140	Liriope muscari 'Stripy White'	STRIPEY WHITE	0.3	0.4

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Facade: A-ZARA
 01-MONUMENT



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SCALE SHEET SIZE

As indicated A3

JOB No: 490N

Drwg No: D14 Issue A01