

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for planning approval for the following development:

SITE: 4 Rantons Road, Dodges Ferry

**PROPOSED DEVELOPMENT:
OUTBUILDING & FRONT FENCE**

The relevant plans and documents can be inspected at the Council Offices at 47 Cole Street, Sorell during normal office hours, or the plans may be viewed on Council's website at www.sorell.tas.gov.au until **Monday 22nd July 2024**.

Any person may make representation in relation to the proposal by letter or electronic mail (sorell.council@sorell.tas.gov.au) addressed to the General Manager. Representations must be received no later than **Monday 22nd July 2024**.

APPLICANT: R A McLeod

APPLICATION NO: DA 2024 / 129 - 1

DATE: 04 July 2024

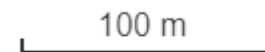


4 Rantons Road, Dodges Ferry - Representation Close Monday 22nd July 2024

4-Jul-2024



Disclaimer: This map is a representation of the information currently held by Sorell Council. While every effort has been made to ensure the accuracy of the product, Council accepts no responsibility for any errors or omissions. Any feedback on omissions or errors would be appreciated.



Part B: Please note that Part B of this form is publicly exhibited.

| | |
|-------------------------------------------|---------------------------------------------------------------------------------------|
| Full description of Proposal: | Use: Storage |
| | Development: Outbuilding and front boundary fence replacement |
| | <i>Large or complex proposals should be described in a letter or planning report.</i> |
| Design and construction cost of proposal: | \$ 24,500 |

| | |
|-----------------------------------------------|-----------------------------------------------------------------------|
| Is all, or some the work already constructed: | No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/> |
|-----------------------------------------------|-----------------------------------------------------------------------|

| | |
|-----------------------------|----------------------------------------------------------------|
| Location of proposed works: | Street address: 4 Rantons Road |
| | Suburb: Dodges Ferry Postcode: 7173 |
| | Certificate of Title(s) Volume: 104571 Folio: 38 |
| | |

| | |
|---------------------|--------------------|
| Current Use of Site | Residential |
|---------------------|--------------------|

| | |
|------------------|-----------------------------------------|
| Current Owner/s: | Name(s) Robert and Stacey McLeod |
|------------------|-----------------------------------------|

| | | |
|--------------------------------------------------------------------------------------|-----------------------------------------------------------------------|-----------------------------------------------------------------------------------|
| Is the Property on the Tasmanian Heritage Register? | No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/> | <i>If yes, please provide written advice from Heritage Tasmania</i> |
| Is the proposal to be carried out in more than one stage? | No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/> | <i>If yes, please clearly describe in plans</i> |
| Have any potentially contaminating uses been undertaken on the site? | No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/> | <i>If yes, please complete the Additional Information for Non-Residential Use</i> |
| Is any vegetation proposed to be removed? | No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/> | <i>If yes, please ensure plans clearly show area to be impacted</i> |
| Does the proposal involve land administered or owned by either the Crown or Council? | No: <input checked="" type="checkbox"/> Yes: <input type="checkbox"/> | <i>If yes, please complete the Council or Crown land section on page 3</i> |

If a new or upgraded vehicular crossing is required from Council to the front boundary please complete the Vehicular Crossing (and Associated Works) application form
<https://www.sorell.tas.gov.au/services/engineering/>



Sorell Council
 Development Application: Development Application - 4 Rantons Road, Dodges Ferry.pdf
 Plans Reference:P1
 Date Received:5/06/2024

Part B continued: Please note that Part B of this form is publicly exhibited

| Declarations and acknowledgements | |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> • I/we confirm that the application does not contradict any easement, covenant or restriction specified in the Certificate of Title, Schedule of Easements or Part 5 Agreement for the land. • I/we consent to Council employees or consultants entering the site and have arranged permission and/or access for Council’s representatives to enter the land at any time during normal business hours. • I/we authorise the provision of a copy of any documents relating to this application to any person for the purposes of assessment or public consultation and have permission of the copyright owner for such copies. • I/we declare that, in accordance with s52(1) of the <i>Land Use Planning and Approvals Act 1993</i>, that I have notified the owner(s) of the intention to make this application. • I/we declare that the information in this application is true and correct. <p><i>Details of how the Council manages personal information and how you can request access or corrections to it is outlined in Council’s Privacy Policy available on the Council website.</i></p> <ul style="list-style-type: none"> • I/we acknowledge that the documentation submitted in support of my application will become a public record held by Council and may be reproduced by Council in both electronic and hard copy format in order to facilitate the assessment process, for display purposes during public exhibition, and to fulfil its statutory obligations. I further acknowledge that following determination of my application, Council will store documentation relating to my application in electronic format only. • Where the General Manager’s consent is also required under s.14 of the <i>Urban Drainage Act 2013</i>, by making this application I/we also apply for that consent. | |
| Applicant Signature: | Signature: <u>R McLeod</u> Date: <u>25-05-24</u> <small>Signature: ..R McLeod (May 25, 2024 19:04 GMT+10)...</small> |

| Crown or General Manager Land Owner Consent | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------|
| <p>If the land that is the subject of this application is owned or administered by either the Crown or Sorell Council, the consent of the relevant Minister or the Council General Manager whichever is applicable, must be included here. This consent should be completed and signed by either the General Manager, the Minister, or a delegate (as specified in s52 (1D-1G) of the <i>Land Use Planning and Approvals Act 1993</i>).</p> <p>Please note:</p> <ul style="list-style-type: none"> • If General Manager consent is required, please first complete the General Manager consent application form available on our website www.sorell.tas.gov.au • If the application involves Crown land you will also need a letter of consent. • Any consent is for the purposes of making this application only and is not consent to undertaken work or take any other action with respect to the proposed use or development. | |
| I _____ being responsible for the administration of land at _____ declare that I have given permission for the making of this application for _____ | |
| Signature of General Manager, Minister or Delegate: | Signature: Date: |



Sorell Council

Development Application: Development Application - 4 Rantons Road, Dodges Ferry.pdf

Plans Reference: P1
Date Received: 5/06/2024

To Whom it may concern,

Please see attached my application to erect an outbuilding and replace the existing timber paling front boundary fence on my property at 4 Rantons Road Dodges Ferry.

Due to the position of the existing dwelling, as well as the location of the absorption trenches, the proposed location is the only suitable space available on the site.

As the proposed outbuilding does not meet **10.4.3 Acceptable solution A1 or A2**, below I have addressed **Performance criteria P1 & P2**.

10.4.3 P1 Performance criteria

b) There are multiple properties around the surrounding area with outbuildings having similar setbacks which highlights that the outbuilding is compatible with the character of development existing on the established properties in the area. For example, No.2 Rantons Rd has an outbuilding of similar height and setback, as does No.8 Richards Ave which is in the neighbouring street. 45 Rantons Rd also has a similar height and style boundary fence.

c) The new outbuilding will be lower in height, shorter in length and of considerably less bulk than the existing residence already on the property.

d) As Rantons Rd is a sloping street, the ground level of the site is elevated from the road by nearly 2m. When viewed from the road and public open spaces adjacent to the site, there will be a very minimal amount of the new outbuilding visible as it will be concealed behind the new front boundary fence. The streetscape will also be greatly improved with the new, clean and sleek looking horizontal aluminium slat front fence, which will be coloured Colourbond Classic cream to match the new outbuilding and the upper story of the existing residence.

I have attached a picture of the current streetscape and a concept picture of the proposed streetscape to this application.

10.4.3 P2 Performance criteria

b) The new outbuilding and front fence will not cause any loss of amenity to the adjoining properties due to the size, shape, or orientation of the site.

c) There will be no Loss of Amenity to any of the adjoining properties caused by the setbacks of the surrounding buildings.

d) The neighbouring properties were taken into consideration when designing the outbuilding and boundary fence, by keeping roof height as low profile as possible and the front fence having min 30% transparent as to not cause any loss of amenity and to allow for passive surveillance.

e) The existing residence will cause no loss of amenity to the neighbouring properties as it will remain unchanged in its same position.

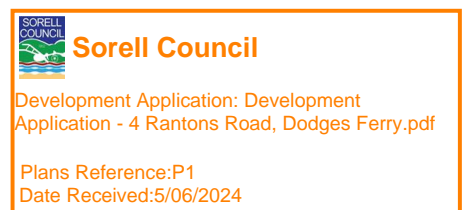
f) The position of neither the outbuilding or front boundary fence will not create any shading or loss of sunlight to any private open space or windows of habitable rooms of adjoining properties.

g) The front boundary fence and outbuilding will not cause any unreasonable loss of amenity to the character of any of the existing properties in the area and will allow for security and privacy.

Please don't hesitate to contact me if you require any further information.

Regards,

Robert McLeod



20th February 2024

ON-SITE WASTEWATER ASSESSMENT FOR 4 Rantons Road Lewisham

An Application has been submitted to the Sorell Council by the property owners of the above property to construct a shed

Council has requested that a suitably qualified person assess the current onsite wastewater system and provide a report showing that there is adequate area onsite to replace the existing OSWMS when an upgrade is required.

Description

The Dwelling of 4 bedrooms is situated on a block of approximately 917 M²

The existing wastewater management system consists of a min 2500L Concrete Septic Tank for WC & Kitchen wastewater only that discharges to a 10M absorption trench

All greywater is disposed to a separate absorption trench of approx. 12M

The Land Application Area for primary treated effluent from the septic tank and greywater fixtures are positioned in the southwestern area of the property and towards the side and rear of the dwelling as indicated on the attached site information.

The absorption trenches seem to be working satisfactorily with no visible signs of failure.

The House was constructed approx. 30yrs ago in 1994 and some renovations were carried out in 2009.

The soils in the area are predominantly deep Sands of dark silty fine and loose structure ref Land Systems of Tas. (Dept of Ag)

A Hand Auger was used to investigate the soil profile with dark silty sands of 2.0m in depth

Wastewater System Assessment

The septic tank was located, at the rear of the dwelling capacity of 2500Lts.

The septic tank treated wastewater from the wc's and kitchen sink.

The length and dimensions of the absorption trench indicated on Councils plan show 10M x 0.6M x 0.6M

All Greywater fixtures discharge to a separate absorption trench of 12Mx 0.6M x 0.6M.

There is adequate area at the rear of the dwelling for a suitable replacement wastewater system when necessary.

However due to the current Domestic Wastewater Standards and Guidelines for Onsite wastewater Management Systems there may not be enough area available considering the required boundary & house setbacks onsite for a replacement absorption trench system.

Conclusions & Recommendations

- Due to the information gained onsite regarding the existing Wastewater System it is recommended that the current Septic Tank and absorption trenches remain in operation until it is required to be replaced.
- The Septic Tank to be pumped out on a 4-5yrly basis and its recommended to install a filter in outlet junction to improve effluent discharge quality and prolong the life of the absorption trench.
- The hydraulic load on the wastewater system is currently 4 bedrooms with a max loading of 720ltrs/day i.e. for a maximum occupancy of 5 persons
- When its necessary to replace the onsite wastewater management system a site assessment to be carried out in accordance with the Directors Guidelines for Onsite wastewater Management and to AS/NZS 1547:2012 to determine the best method of wastewater management for the property
- When necessary, a Plumbing Application to be submitted to Sorell Council with all the required information for the approval of future replacement of the Onsite Wastewater Management System.

John Parkinson

Onsite Wastewater Solutions

www.oswws.com

johnparkinson@oswws.com

0409336306

NOTES:

1. A 65mm sock covered ag pipe covered by a 50mm layer of 20mm clean drainage rock will be installed between the side boundary and rear of outbuilding to divert any water runoff away from neighbouring property to LPOD as to not cause nuisance.
2. All stormwater from roof catchment area to discharge to water storage tank.
3. Water tank overflow/Ag drain will connect to LPOD via a 100mm PVC pipe, into a Cp6100 Subsoil end wall (as per B2.2) at existing concrete spillway in table drain located at front of property at point of road crossing as to not cause erosion. Table drain meets size requirements of B2.1 Stormwater in New development policy.
4. Existing 1.4m timber paling front boundary fence to be replaced with 1.8m aluminium horizontal slat fence and matching electric sliding gate with minimum 30% transparency. It will also be coloured to match the existing residence and new outbuilding to enhance the streetscape.

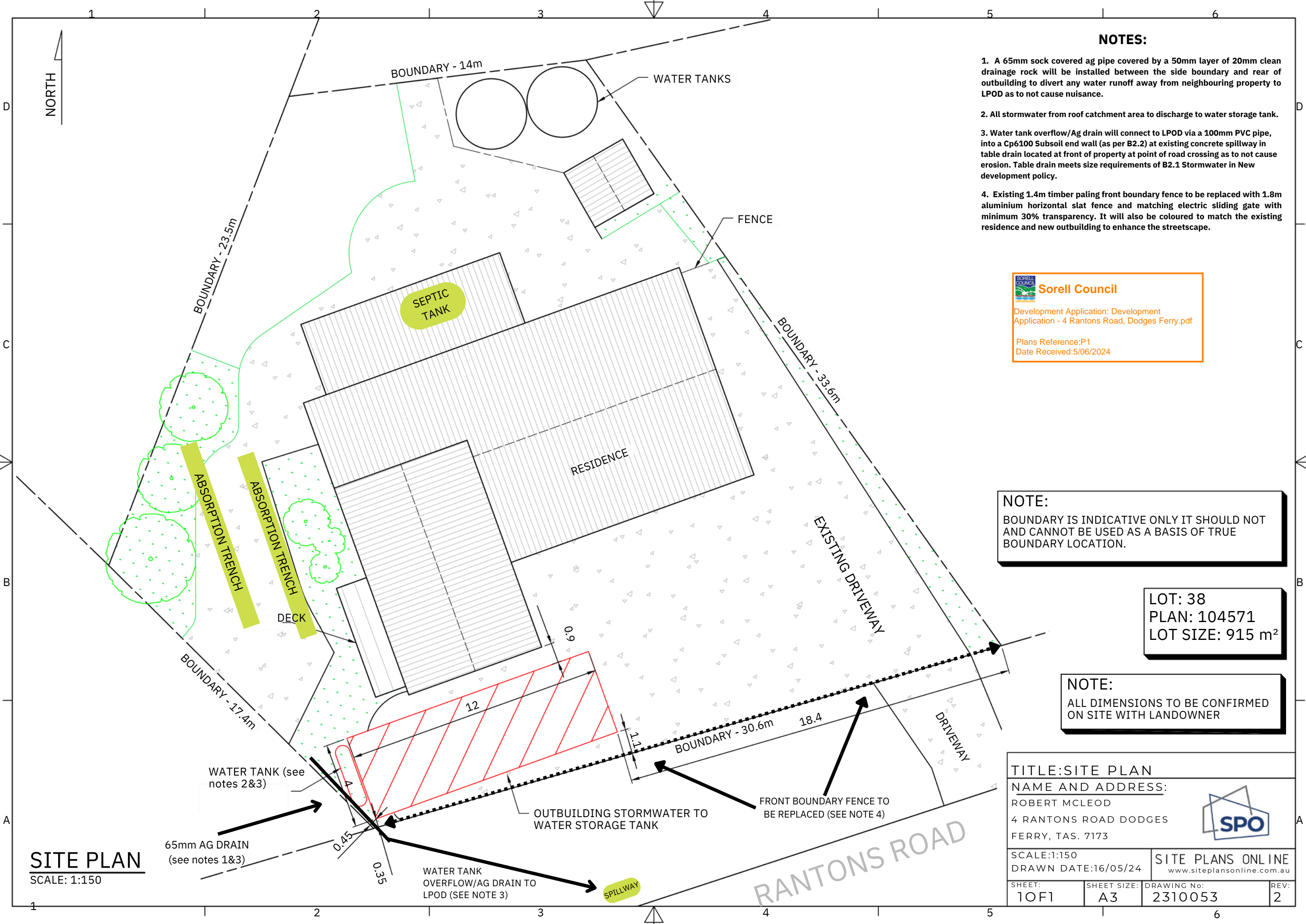
Sorell Council
 Development Application: Development Application - 4 Rantons Road, Dodges Ferry.pdf
 Plans Reference:P1
 Date Received:5/06/2024

NOTE:
 BOUNDARY IS INDICATIVE ONLY IT SHOULD NOT AND CANNOT BE USED AS A BASIS OF TRUE BOUNDARY LOCATION.

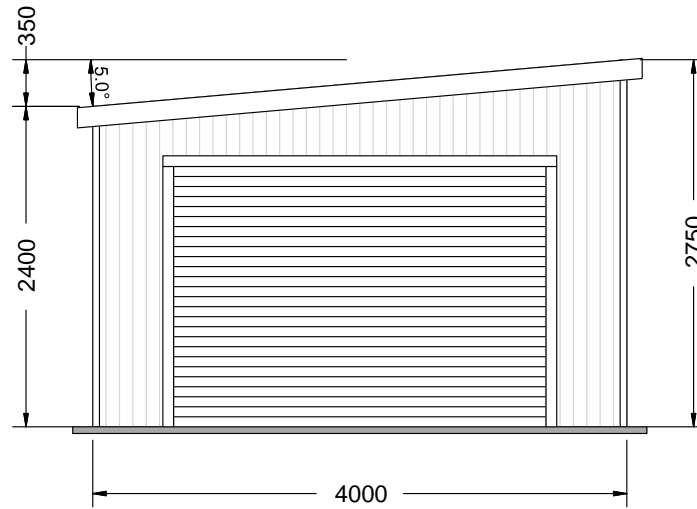
LOT: 38
PLAN: 104571
LOT SIZE: 915 m²

NOTE:
 ALL DIMENSIONS TO BE CONFIRMED ON SITE WITH LANDOWNER

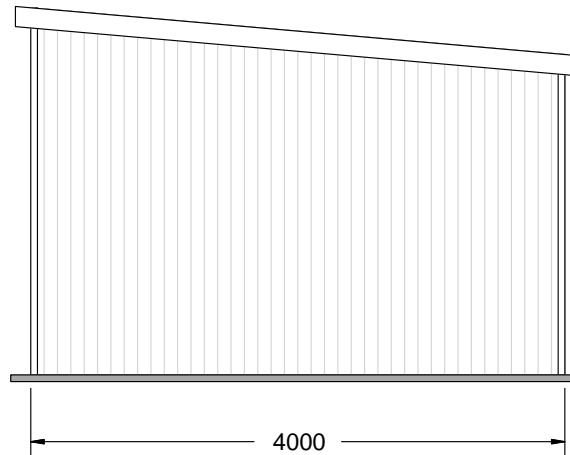
| | | | |
|-------------------------------------------------------------------------------------|----------------|-------------------------------------------------|--------|
| TITLE: SITE PLAN | | | |
| NAME AND ADDRESS: ROBERT MCLEOD 4 RANTONS ROAD DODGES FERRY, TAS. 7173 | | | |
| SCALE: 1:150 | | SITE PLANS ONLINE www.siteplansonline.com.au | |
| DRAWN DATE: 16/05/24 | | | |
| SHEET: 1 OF 1 | SHEET SIZE: A3 | DRAWING No: 2310053 | REV: 2 |



SITE PLAN
 SCALE: 1:150



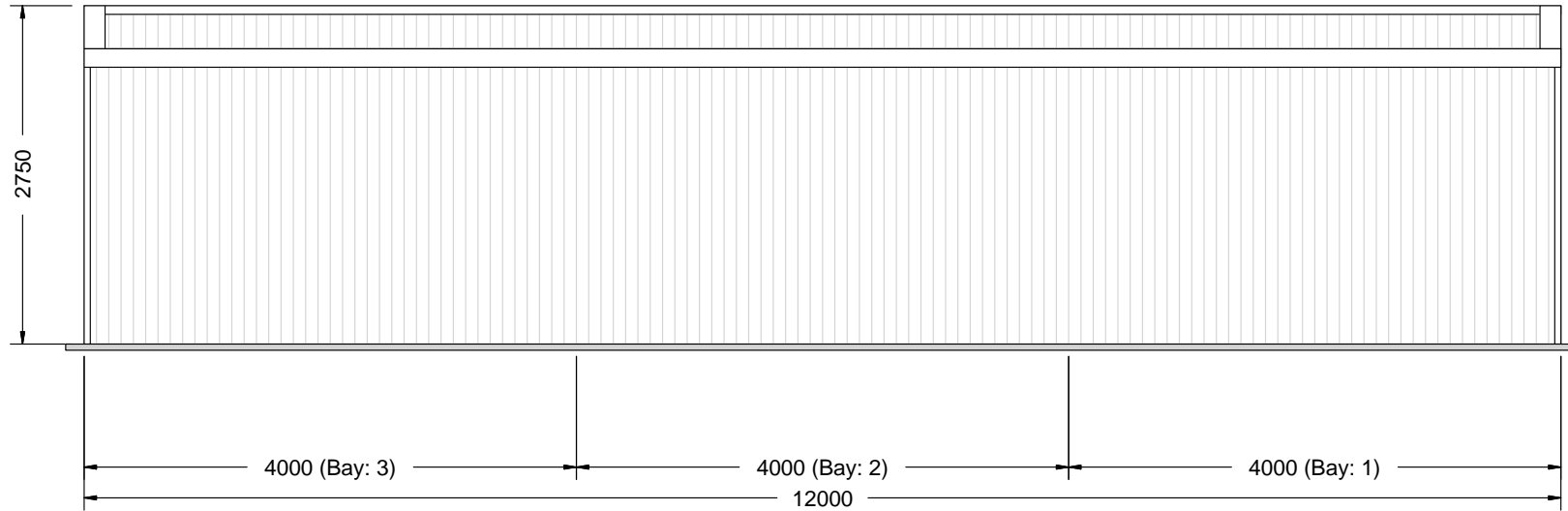
FRONT ELEVATION



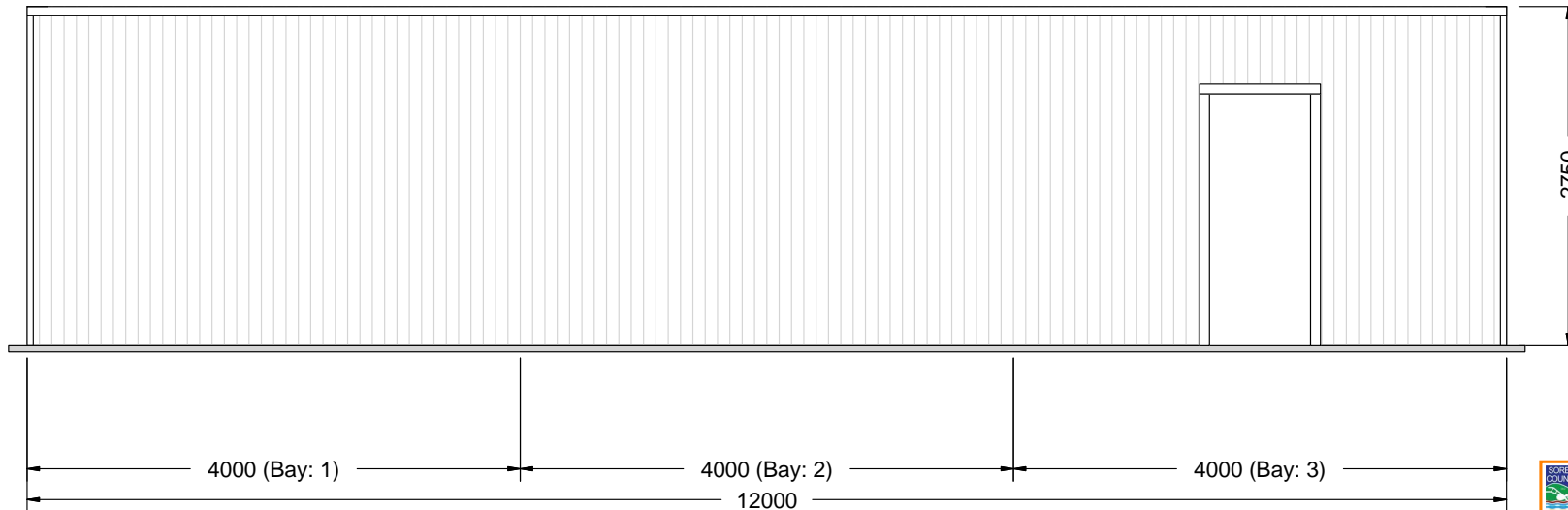
REAR ELEVATION


Sorell Council
 Development Application: Development
 Application - 4 Rantons Road, Dodges Ferry.pdf

 Plans Reference:P1
 Date Received:5/06/2024



LEFT ELEVATION



RIGHT ELEVATION

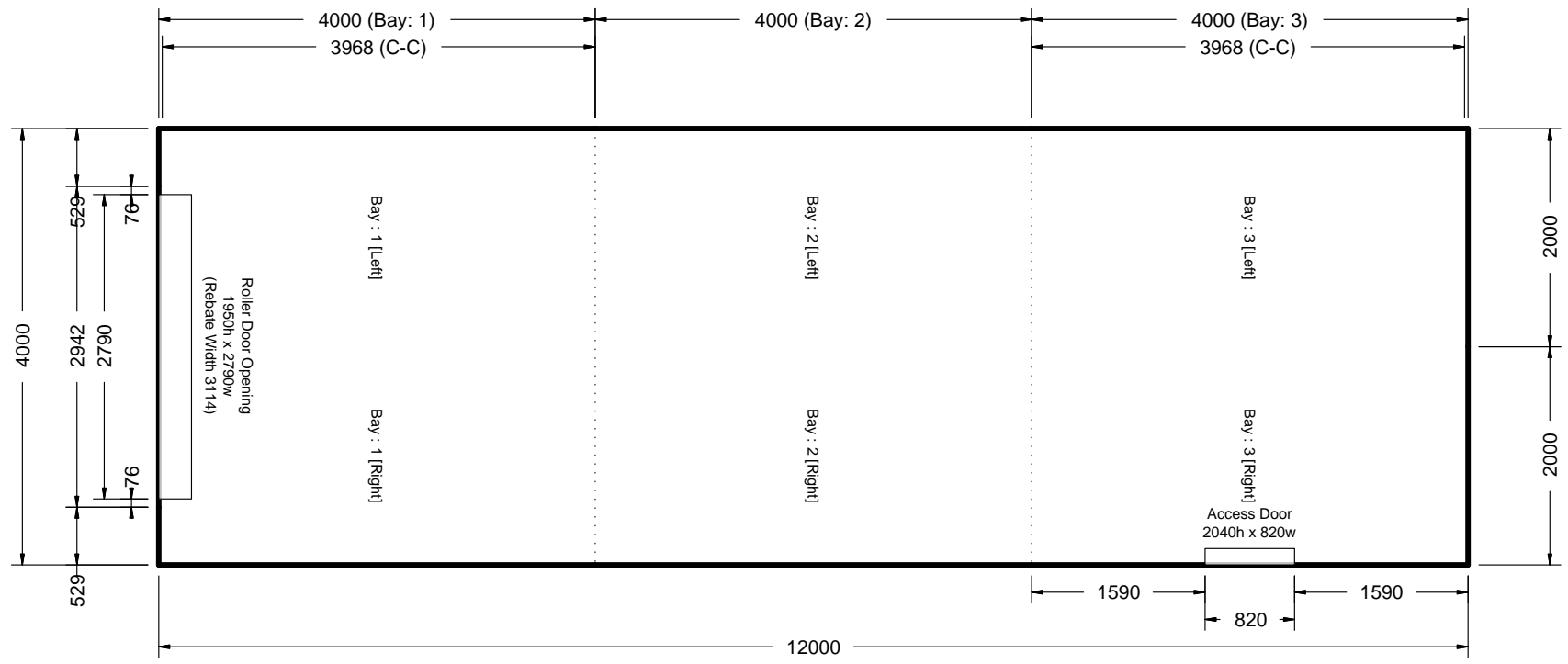

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139 Main Road,
 Sorell TAS 7172
 Phone: 1300 737 910
 Email: sales@rainbowbuilding.com.au

CLIENT: Robert McLeod
SITE ADDRESS: 4 Rantons Road, DODGES FERRY, TAS, 7173
PHONE:
EMAIL: robbiemc_1983@hotmail.com

DRAWING TITLE: Side Elevations
SCALE: 1:59.466
DATE: 04-09-2023
Job Number: SOR03_610
Drawing Number: SE





PLAN ELEVATION

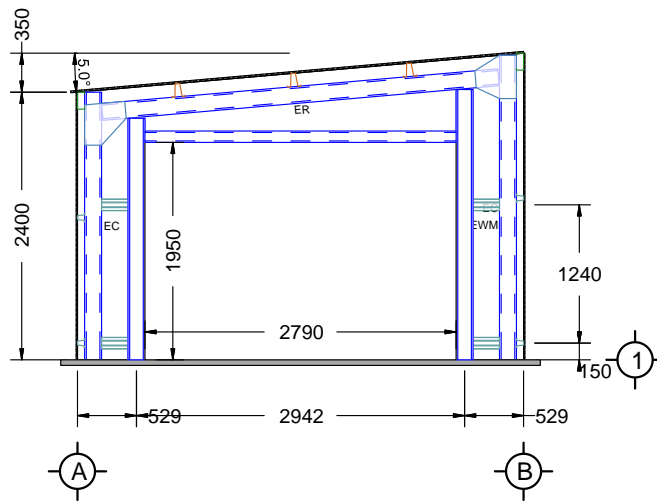
 **Sorell Council**
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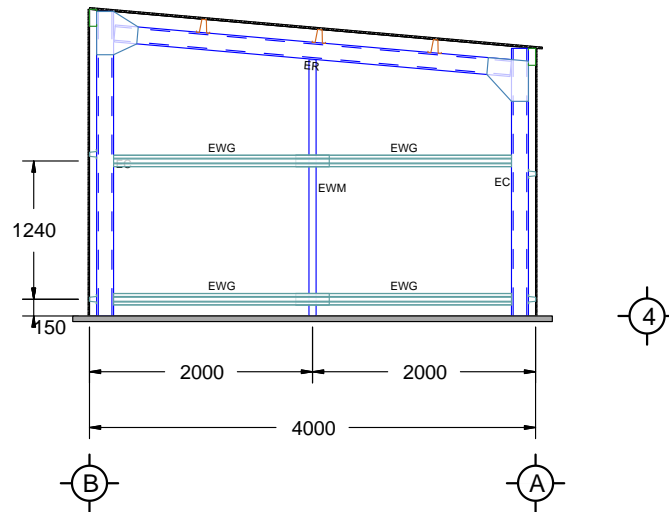
CLIENT: Robert McLeod
SITE ADDRESS: 4 Rantons Road, DODGES FERRY, TAS, 7173
PHONE:
EMAIL: robbiemc_1983@hotmail.com

DRAWING TITLE: Plan Elevation
SCALE: 1:63.654
DATE: 04-09-2023
Job Number: SOR03_610
Drawing Number: FPE





FRONT ELEVATION



REAR ELEVATION

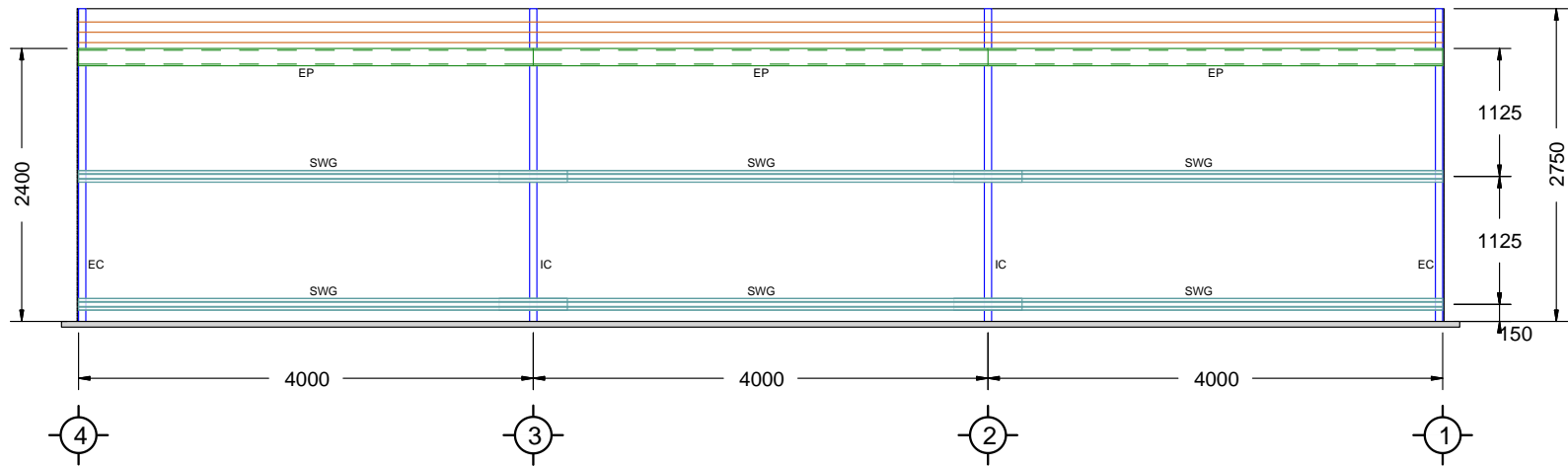
Sorell Council
 Development Application: Development
 Application - 4 Rantons Road, Dodges Ferry.pdf
 Plans Reference:P1
 Date Received:5/06/2024

139 Main Road,
 Sorell TAS 7172
 Phone: 1300 737 910
 Email: sales@rainbowbuilding.com.au

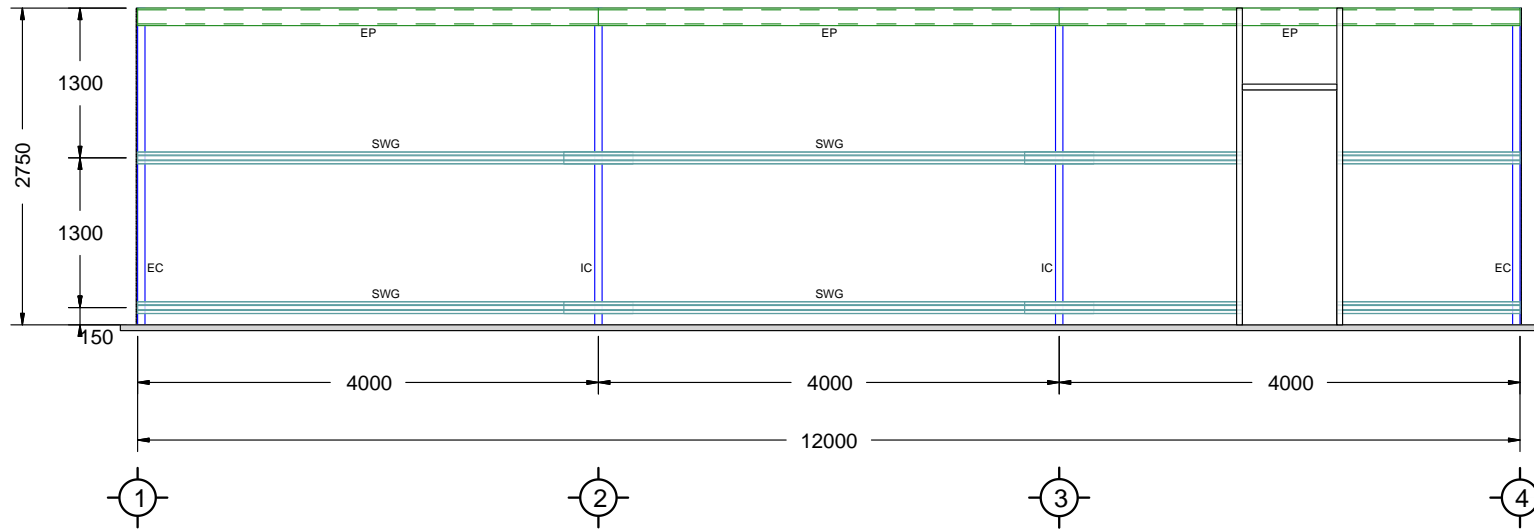
CLIENT: Robert McLeod
 SITE ADDRESS: 4 Rantons Road, DODGES FERRY, TAS, 7173
 PHONE:
 EMAIL: robbiemc_1983@hotmail.com

DRAWING TITLE: End Frame Elevations
 SCALE: 1:67.797
 DATE: 04-09-2023
 Job Number: SOR03_610
 Drawing Number: EFE



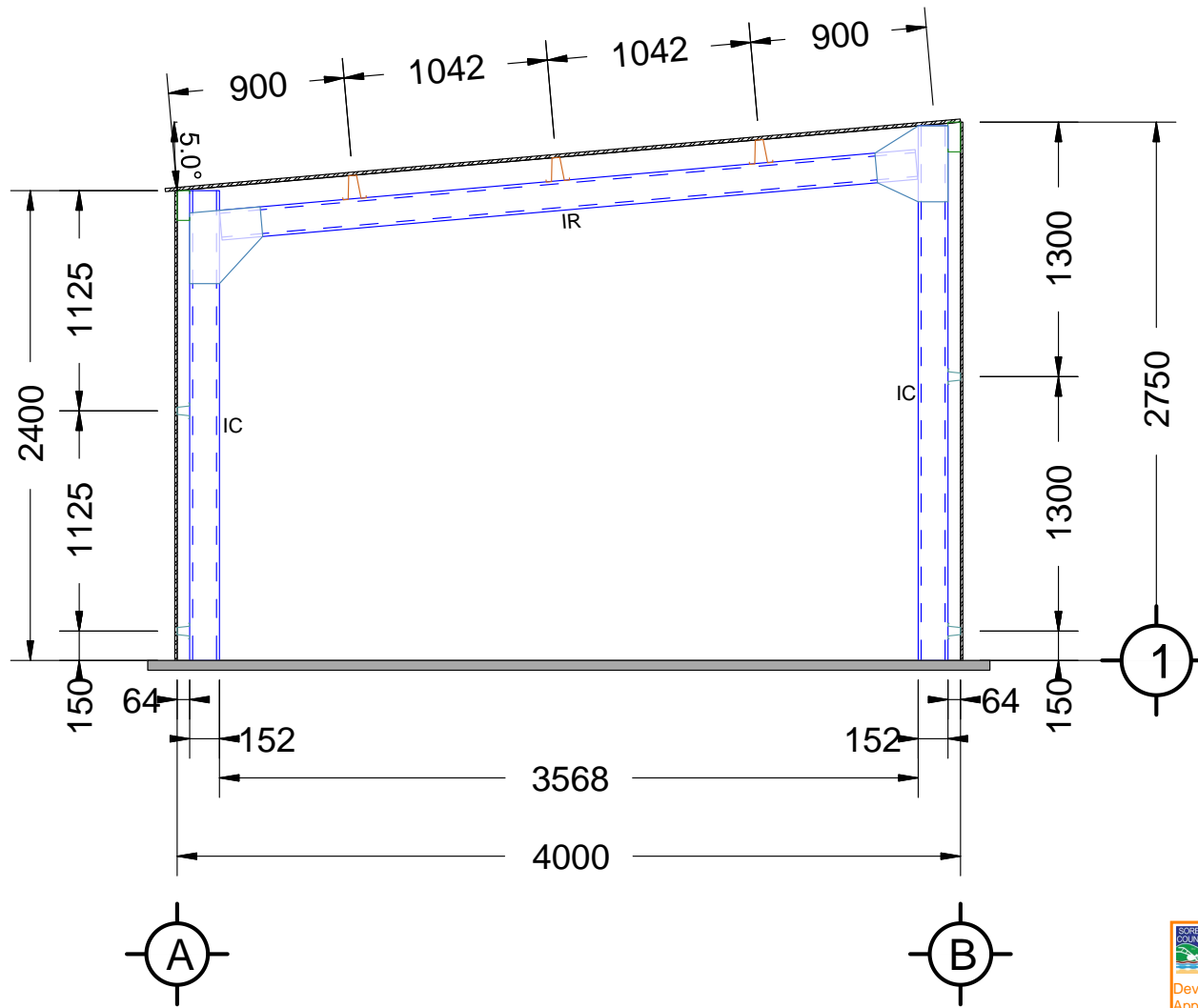


LEFT ELEVATION



RIGHT ELEVATION

Sorell Council
 Development Application: Development Application - 4 Rantons Road, Dodges Ferry.pdf
 Plans Reference:P1
 Date Received:5/06/2024



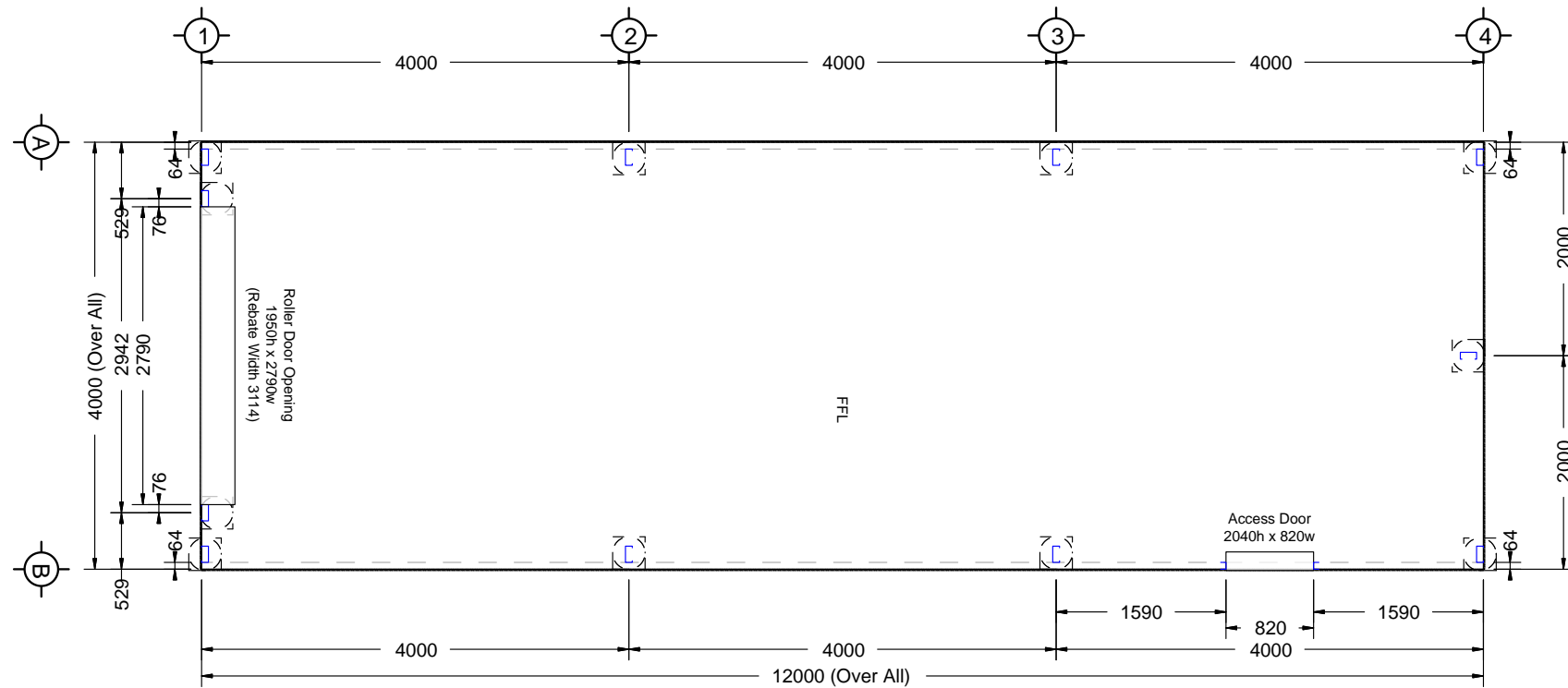
INTERMEDIATE ELEVATION


Sorell Council
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 Plans Reference:P1
 Date Received:5/06/2024

139 Main Road,
 Sorell TAS 7172
 Phone: 1300 737 910
 Email: sales@rainbowbuilding.com.au

CLIENT: Robert McLeod
SITE ADDRESS: 4 Rantons Road, DODGES FERRY, TAS, 7173
PHONE:
EMAIL: robbiemc_1983@hotmail.com

DRAWING TITLE: Cross Section
SCALE: 1:36.795
DATE: 04-09-2023
Job Number: SOR03_610
Drawing Number: CS



FLOOR PLAN


Sorell Council
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 Application - 4 Rantons Road, Dodges Ferry.pdf
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 Date Received: 5/06/2024

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 Sorell TAS 7172
 Phone: 1300 737 910
 Email: sales@rainbowbuilding.com.au

CLIENT: Robert McLeod
SITE ADDRESS: 4 Rantons Road, DODGES FERRY, TAS, 7173
PHONE:
EMAIL: robbiemc_1983@hotmail.com

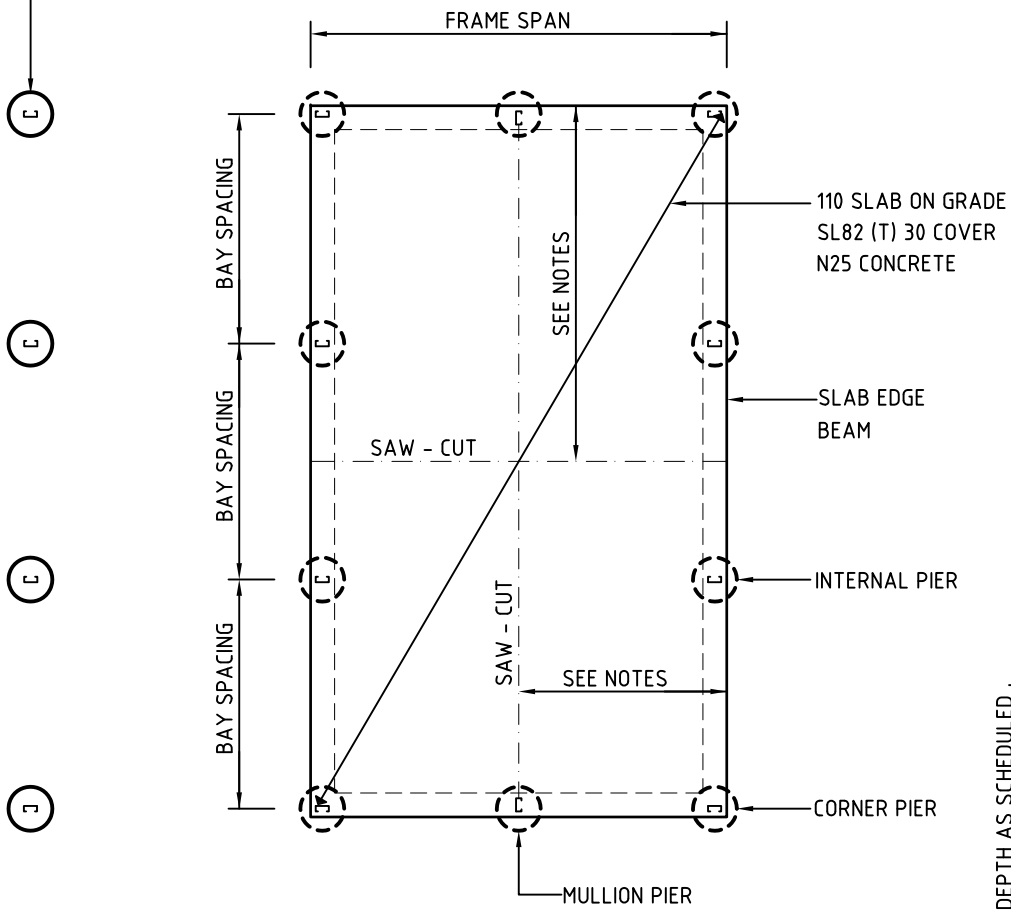
DRAWING TITLE: Floor Plan
SCALE: 1:65.401
DATE: 04-09-2023
Job Number: SOR03_610
Drawing Number: FP

| FOUNDATION SPECIFICATION FOR ALL CONCRETE PIERS | |
|-------------------------------------------------|----------------|
| FRAME SPAN MAX C/C | PIER SIZE |
| 6000 | 450 dia x 600d |
| 7500 | 450 dia x 750d |

NOTE: STRIP SITE OF TOPSOIL VEGETATION MIN. 100 ROOT BALLS AND SOFT AREAS TO APPROVAL BEFORE PLACING ANY FILL BELOW SLAB ALL CONCRETE EDGE BEAMS MUST BE FOUNDED ON FIRM NATURAL SUB-GRADE. DEEPEN EDGE BEAMS AS REQUIRED

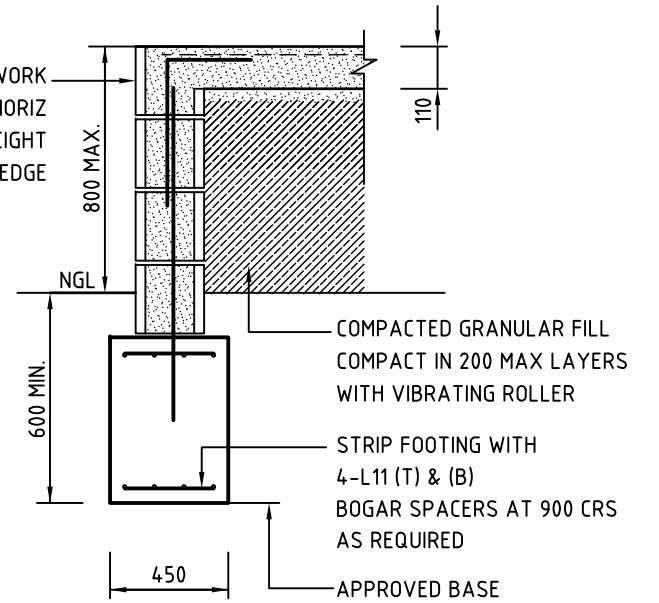
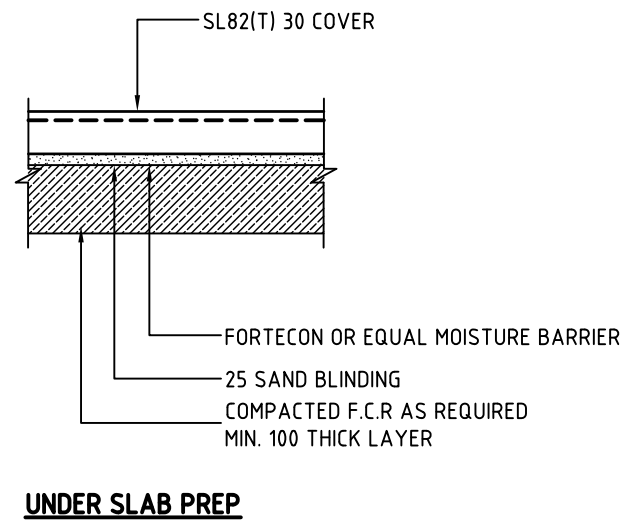
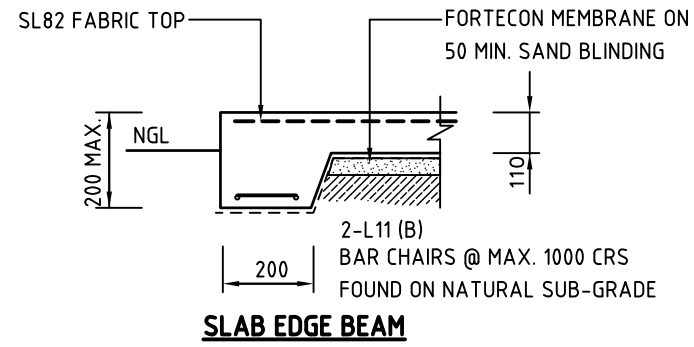
FOR SITE CLASSIFICATION A,S & M OTHER SITE CLASSES BY OTHERS

SKILLION PIER FOUNDATION WHERE REQUIRED (OPTIONAL)
NOTE : REFER SITE SPECIFICATION & ELEVATION DRAWINGS

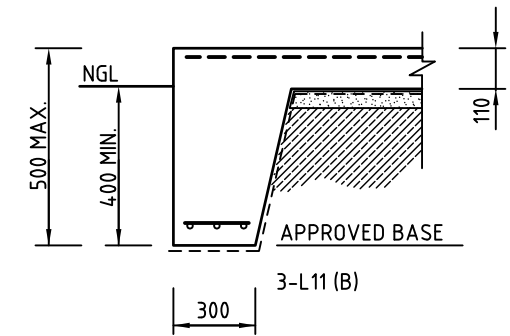


TYPICAL SLAB & PIER LAYOUT

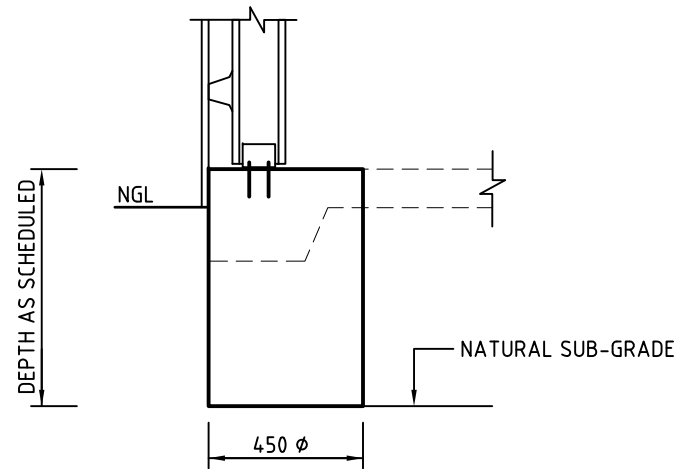
NOTES :
SLAB DESIGN FOR CLASS A,S & M TO AS 2870
TYPICALLY N25 CONCRETE 30mm COVER TO REO
LAP REO MIN. 225mm SUPPORT ON BAR CHAIRS AT 1000 MAX crs
POUR PIER FOOTINGS INTEGRAL WITH SLAB,
DO NOT PLACE INFILL CONCRETE SLAB AGAINST WALL SHEETING
PROVIDE 25mm POLYSTYRENE SHEET AS BARRIER



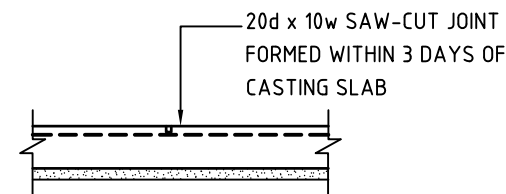
RETAINING WALL DETAILS
HEIGHT > 500mm HEIGHT < 1000mm



RETAINING WALL DETAILS
HEIGHT < 500mm



PIER/SLAB DETAIL

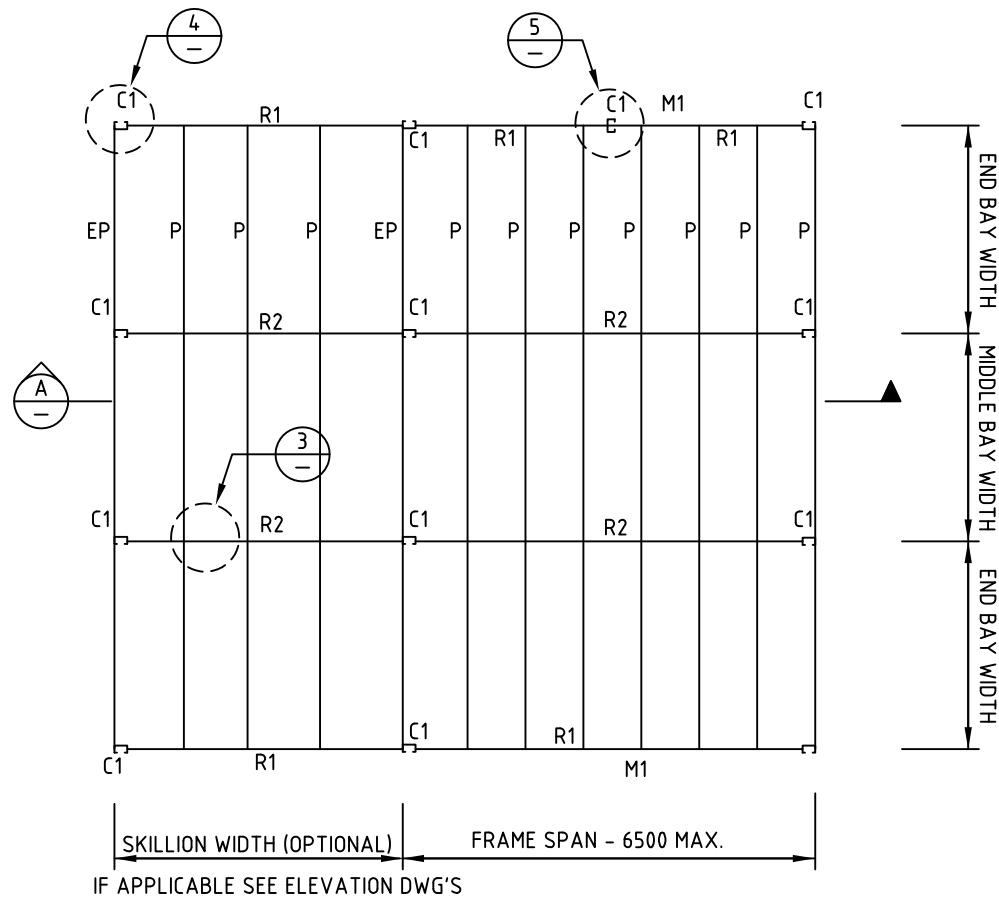


SLAB SAW-CUT DETAIL
WHERE SLAB O/A LENGTH > 9.0m
PLACE SAW CUTS AT NO MORE THAN 6m INTERVALS

NOTE : REFER RAINBOW BUILDING SOLUTIONS SPECIFICATIONS FOR SITE SPECIFIC INFORMATION & STRUCTURAL CERTIFICATION

Sorell Council
Development Application: Development Application - 4 Rantons Road, Dodges Ferry.pdf
Plans Reference:P1
Date Received:5/06/2024

| | | | |
|--------------------------------|----------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------|
| | | Project Title: RAINBOW BUILDING SOLUTIONS STEEL FRAMED BUILDINGS, 7.5m MAX SKILLION SHED CONSTRUCTION FOOTING/SLAB DETAILS - CLASS 10A STRUCTURES ONLY | Scale: N.T.S |
| | | Designed by: E.D. | ED Accreditation Number: CC164C |
| 139 Main Road Sorell, TAS 7172 | www.rainbowbuilding.com.au | T: 1300 737 910 | Drawing No. S10 |
| | | | Rev. 0 |

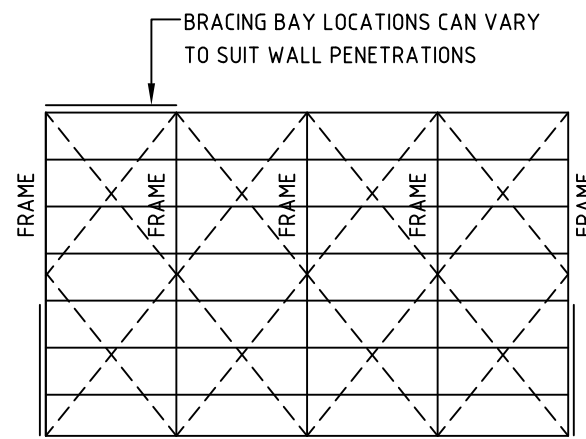


ROOF FRAMING PLAN

| ROOF & WALL SHEETING MAX. SPAN TABLES | | | |
|---------------------------------------|----------|----------|----------|
| CLADDING | LOCATION | END SPAN | INT SPAN |
| CORRUGATED 0.42 BMT | ROOF | 900 | 1200 |
| CORRUGATED 0.42 BMT | WALL | 1200 | 1500 |
| K-PANEL 0.42 BMT | WALL | 1200 | 1500 |
| MONOCLAD 0.42 BMT | ROOF | 900 | 1200 |
| MONOCLAD 0.42 BMT | WALL | 1200 | 1500 |

RBS CONSTRUCTION NOTES:

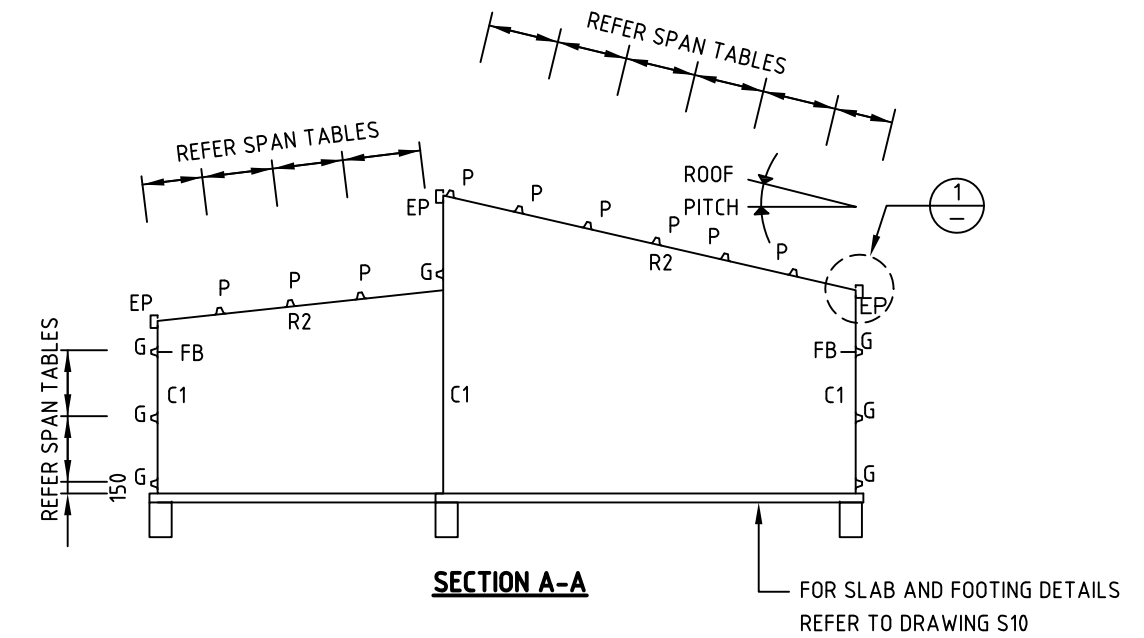
- NOTES:
1. REFER RAINBOW BUILDING SPECIFICATIONS FOR SITE SPECIFIC INFORMATION
 2. END WALL CLADDING CAN BE DELETED TO ENABLE OPEN END BAYS
 3. WALL CLADDING CAN BE DELETED ONE FULL SIDE PROVIDE MIN. 1 BRACED BAY EACH SIDE
 4. WHERE 2 OR MORE BAYS OPEN SIDED & COLUMNS > 3.0m IN HEIGHT PROVIDE BACK TO BACK COLUMNS



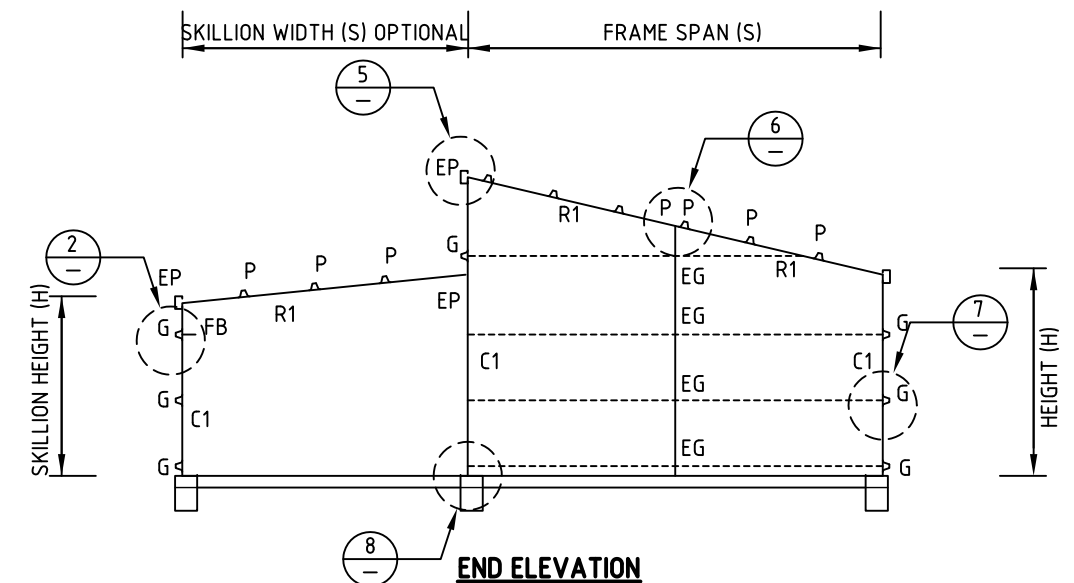
ROOF & WALL BRACING

ALL BRACING 32 X 1.2 G500 GI STRAP 2 - 14g X 22 TEK SCREWS EACH END TO FRAMES WITH TENSIONER FIX TO EXTERNAL FACE OF COLUMNS & RAFTERS

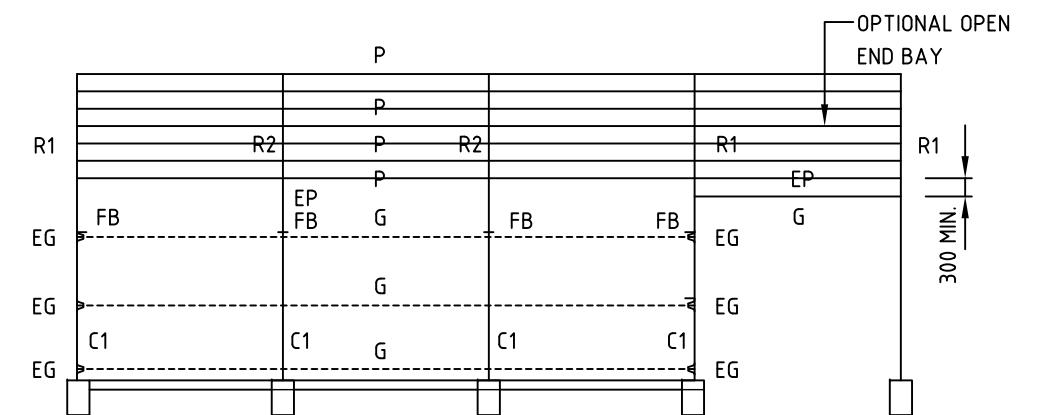
NOTE : REFER RAINBOW BUILDING SOLUTIONS SPECIFICATIONS FOR SITE SPECIFIC INFORMATION & STRUCTURAL CERTIFICATION



SECTION A-A



END ELEVATION



SIDE ELEVATION

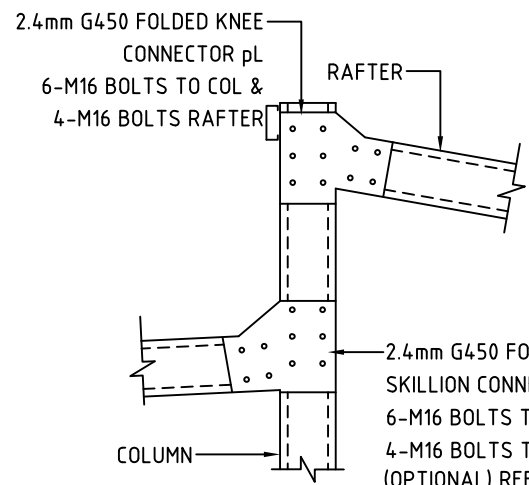
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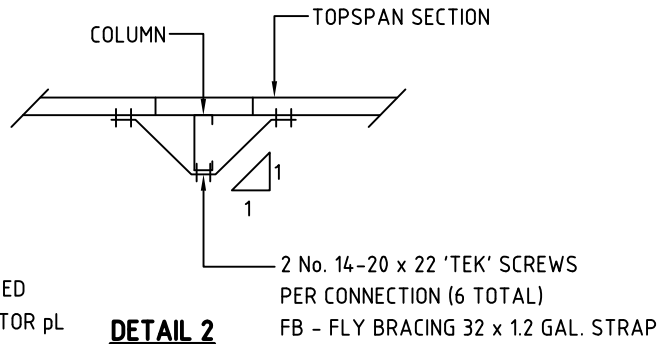
CONSULTING ENGINEERS
 Emmanuel Dellas Pty Ltd
 phone: 6228 2225 fax: 6228 2235
 mobile: 0418 232 811
 email: edellas@bigpond.com
 GPO Box 1805 Hobart 7001

Project Title:
RAINBOW BUILDING SOLUTIONS
STEEL FRAMED BUILDINGS, 7.5m MAX
SKILLION SHED CONSTRUCTION
TYPICAL WALL FRAMING & ROOF FRAMING DETAILS
 Designed by: E.D. ED Accreditation Number: CC164C Date: June '15

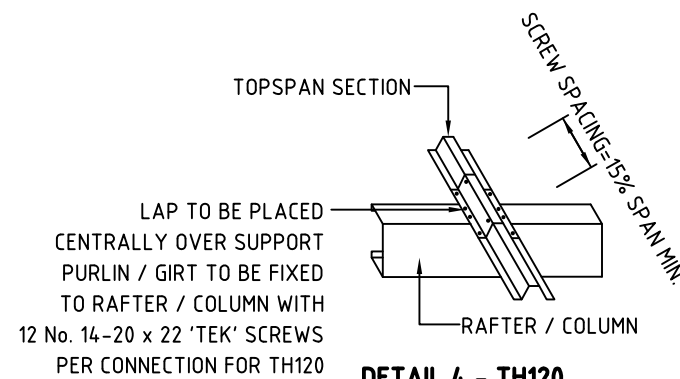
Scale:
 N.T.S.
 Job No.
 RAINB - 7.5
 Drawing No. Rev.
S11 0



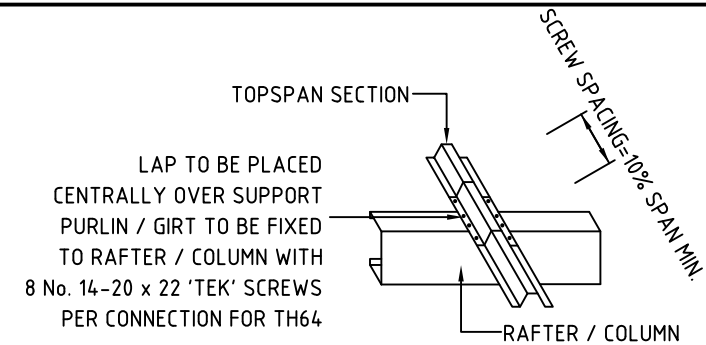
DETAIL 1
KNEE CONNECTION DETAIL



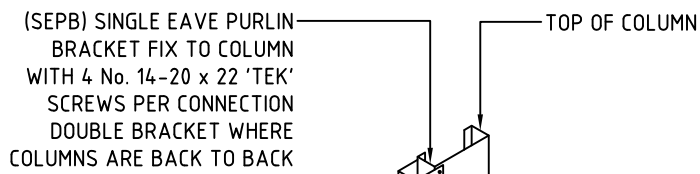
DETAIL 2
FLY BRACE COLUMNS AT MID-SPAN WHERE COLUMN HEIGHT > 4000



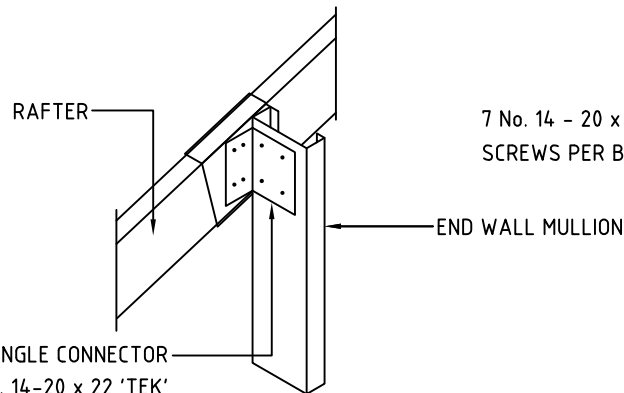
DETAIL 4 - TH120
GIRTS & PURLIN OVERLAP (OVER SUPPORTS ONLY)



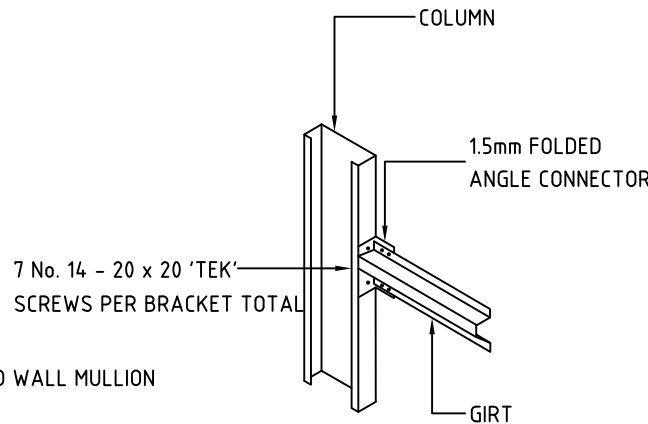
DETAIL 4 - TH64
GIRTS & PURLIN OVERLAP (OVER SUPPORTS ONLY)



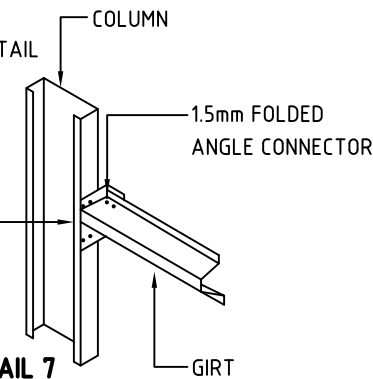
DETAIL 5
SINGLE EAVE PURLIN BRACKET



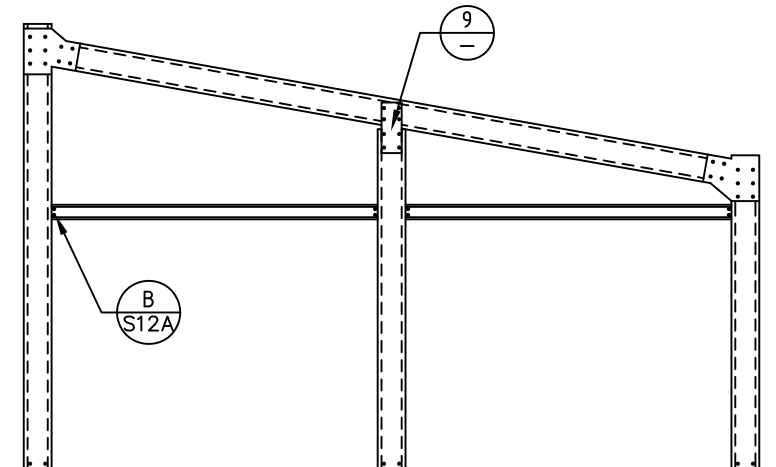
DETAIL 6
END WALL MULLION FIXING ANGLE



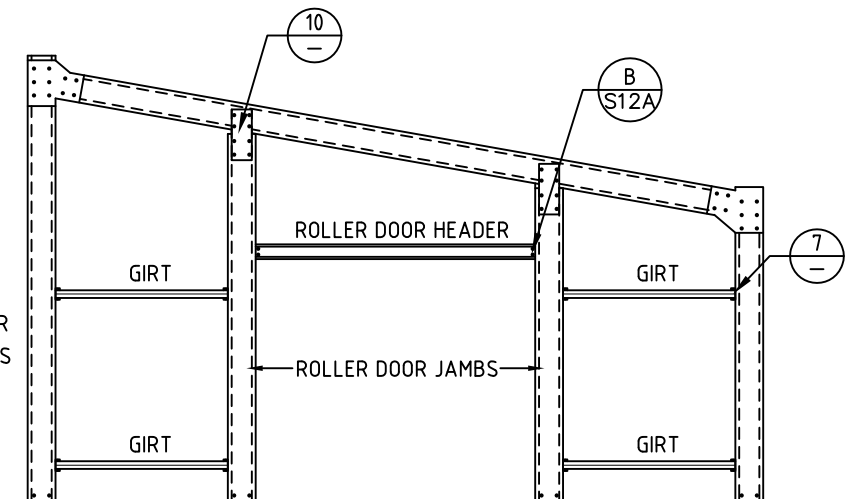
DETAIL 7
GIRTS TO CORNER COLUMN DETAIL (64mm TOP HATS)



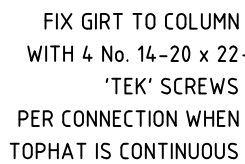
DETAIL 7
GIRTS TO CORNER COLUMN DETAIL (120mm TOP HATS)



2 ROLLER DOORS IN SKILLION END WALL
GENERAL ARRANGEMENTS (VIEWED FROM INSIDE BUILDING)



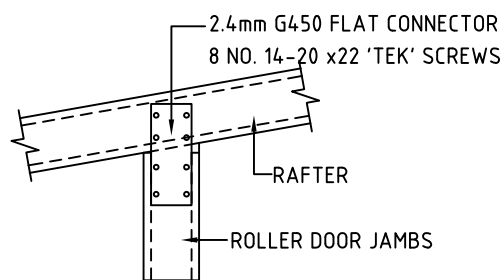
ROLLER DOOR IN SKILLION END WALL
GENERAL ARRANGEMENTS (VIEWED FROM INSIDE BUILDING)



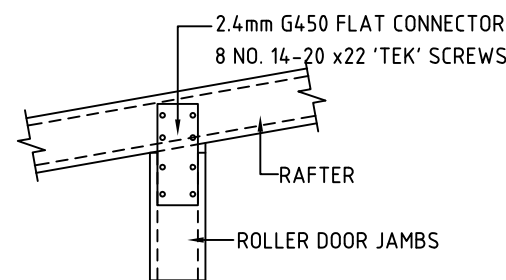
DETAIL 8
3mm G450 BASE CLEAT

| FRAME / SLAB / PIER FIXING | BOLT TO COLUMN | |
|----------------------------|--------------------|----------------------------------------------------------|
| C100 FRAME | 2-M12100 DYNABOLTS | 2-M12x30 PURLIN BOLT, NUT & WASHER |
| C150 FRAME | 2-M12100 DYNABOLTS | 2-M16x30 PURLIN BOLT, NUT & WASHER |
| C200 FRAME | 2-M16100 TRUBOLTS | 2-M16x30 PURLIN BOLT, NUT & WASHER |
| C250 FRAME | 2-M20160 TRUBOLTS | 2-M16x40 (GR 8.8) HIGH TENSILE PURLIN BOLT, NUT & WASHER |
| C300 FRAME | 3-M20160 TRUBOLTS | 3-M16x40 (GR 8.8) HIGH TENSILE PURLIN BOLT, NUT & WASHER |

NOTE : REFER RAINBOW BUILDING SOLUTIONS SPECIFICATIONS FOR SITE SPECIFIC INFORMATION & STRUCTURAL CERTIFICATION



DETAIL 9
COL. TO RAFTER CONNECTION (TYPICAL)



DETAIL 10
DOOR JAMB TO RAFTER CONNECTION (TYPICAL)

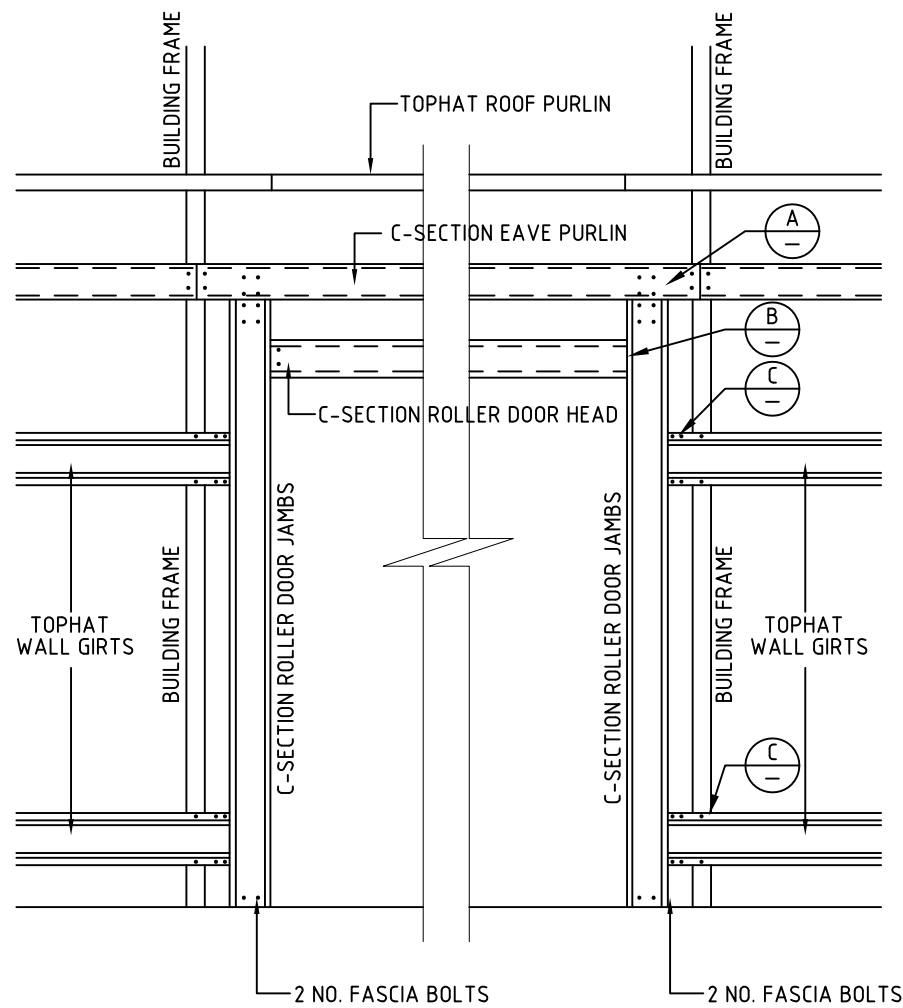
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Project Title:
RAINBOW BUILDING SOLUTIONS STEEL FRAMED BUILDINGS, 7.5m MAX SKILLION SHED CONSTRUCTION
STEEL CONNECTION DETAILS SHEET 1
Designed by: E.D. ED Accreditation Number: CC164C Date: June '15

Scale: N.T.S.
Job No. RAINB - 7.5
Drawing No. **S12** Rev. 0

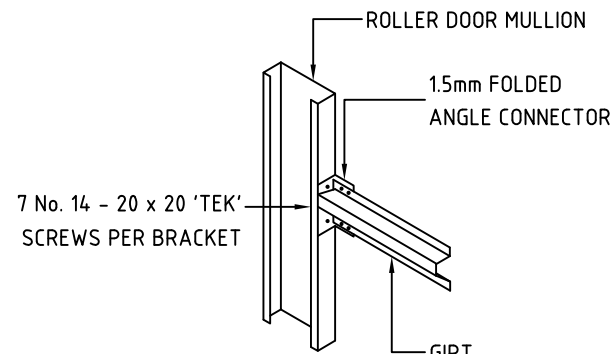


ROLLER DOOR SIDE (GUTTER) WALL DETAIL

ROLLER DOOR KIT COMPRISES
 C150 ROLLER DOOR JAMBS
 2 NO. M16x30 FASCIA BOLTS
 2 NO. M12x100 DYNA BOLTS
 C100 ROLLER DOOR JAMBS
 2 NO. M12x30 FASCIA BOLTS
 2 NO. M12x100 DYNA BOLTS

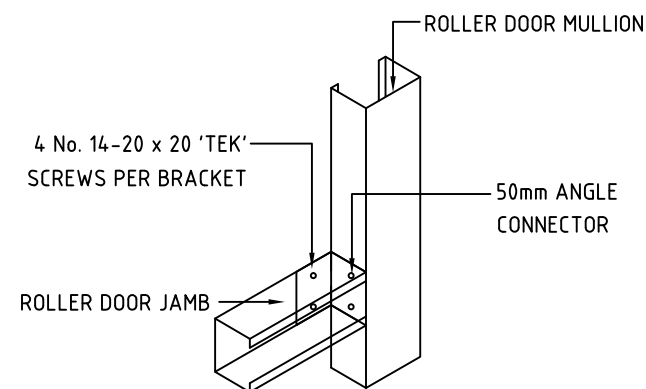
WINDOW FRAME KIT COMPRISES
 2 NO. WINDOW JAMBS (WJ)
 24 NO. 14-20x20 'TEKS' SCREWS
 1 NO. WINDOW & WINDOW HARDWARE

NOTE : REFER RAINBOW BUILDING SOLUTIONS SPECIFICATIONS FOR SITE SPECIFIC INFORMATION & STRUCTURAL CERTIFICATION

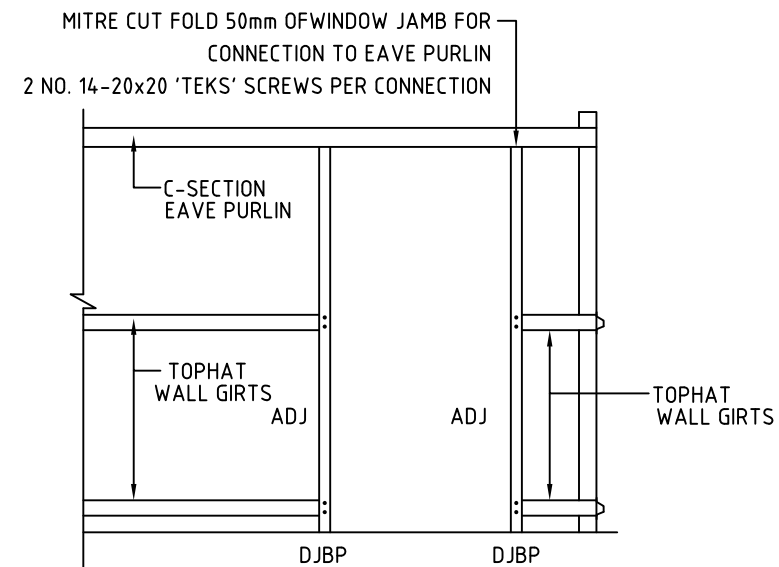


ROLLER DOOR MULLION DETAIL C

TOPHAT WALL GIRTS BUTTS INTO ROLLER DOOR MULLION USING 1.5mm END WALL GIRT BRACKET

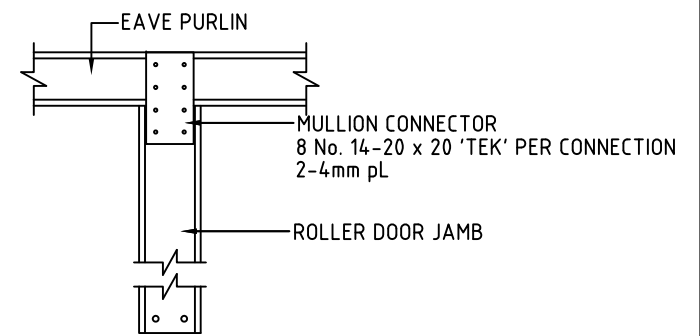


ROLLER DOOR MULLION DETAIL-B



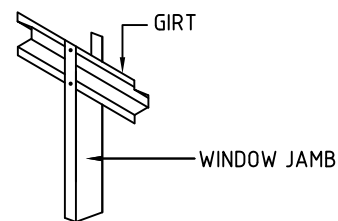
PERSONAL ACCESS DOOR DETAIL

ACCESS DOOR KIT COMPRISES
 2 NO. ACCESS DOOR JAMBS (ADJ)
 BASE PLATE DJBP 2 NO. M12 x 70 DYNABOLTS
 2 NO. 50mm ANGLE CONNECTORS
 32 NO. 14-20x20 'TEKS' SCREWS
 2 NO. DYNABOLTS PER PA DOOR HEX HEAD -(Z)
 1 NO. ACCESS DOOR AND DOOR HARDWARE
 DOOR HEAD FLASHING - 50x50 CORNER



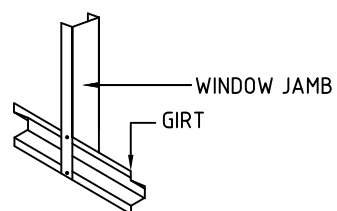
SIDE WALL R/DOOR JAMB DETAIL-A

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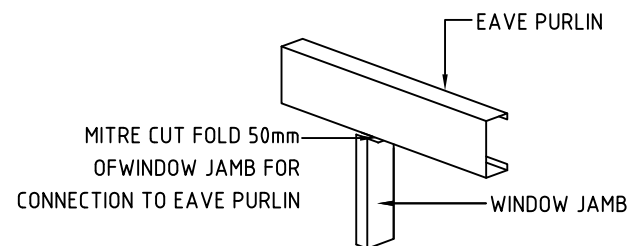
WINDOW DETAIL BOTTOM CONNECTION DETAIL-D & E

ALL CONNECTIONS TO BE 'TEKS' SCREWED USING 2 NO. 14-20x20 'TEKS' SCREWS PER CONNECTION



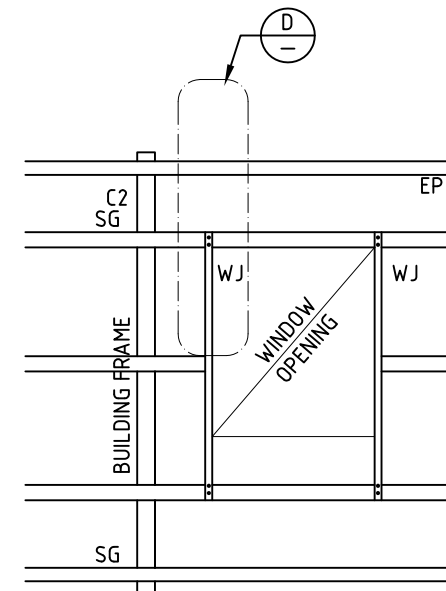
WINDOW DETAIL TOP CONNECTION DETAIL-D

ALL CONNECTIONS TO BE 'TEKS' SCREWED USING 2 NO. 14-20x20 'TEKS' SCREWS PER CONNECTION



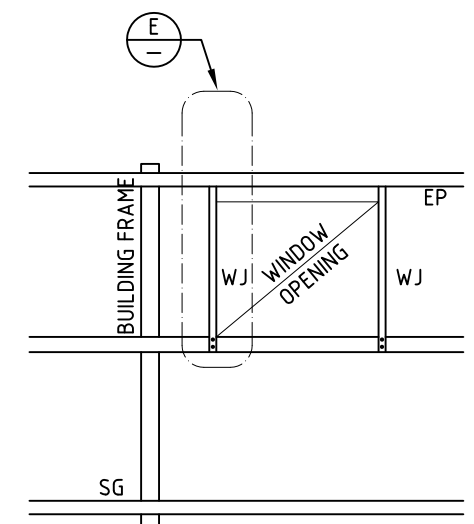
WINDOW DETAIL TOP CONNECTION DETAIL-E

ALL CONNECTIONS TO BE 'TEKS' SCREWED USING 2 NO. 14-20x20 'TEKS' SCREWS PER CONNECTION



WINDOW DETAIL - OPTION 1

ALL CONNECTIONS TO BE 'TEKS' SCREWED USING 4 NO. 14-20x20 'TEKS' SCREWS PER CONNECTION

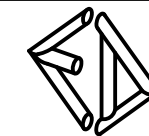


WINDOW DETAIL - OPTION 2

ALL CONNECTIONS TO BE 'TEKS' SCREWED USING 4 NO. 14-20x20 'TEKS' SCREWS PER CONNECTION

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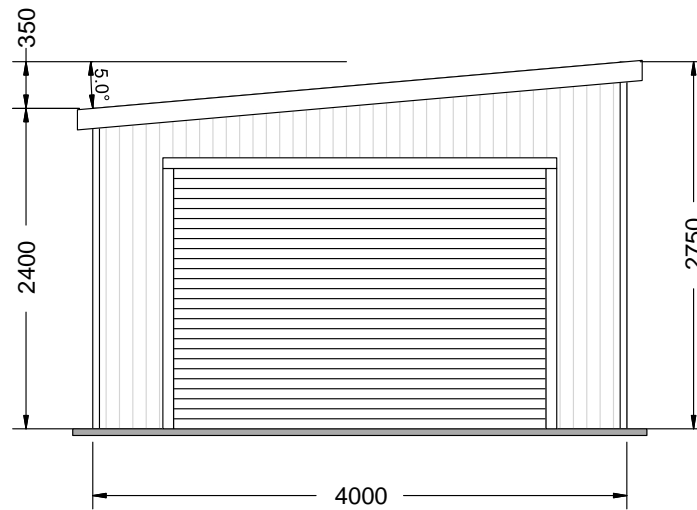


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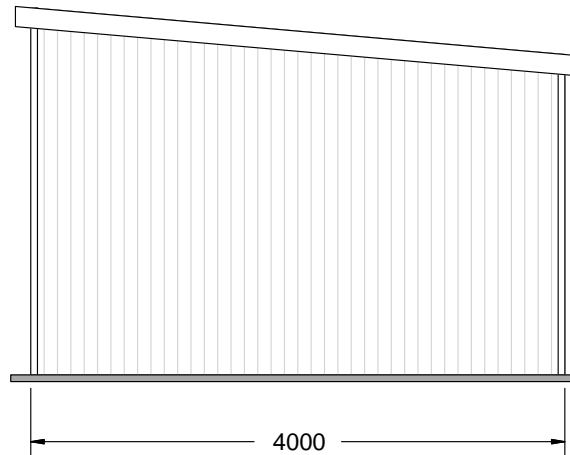
Project Title:
**RAINBOW BUILDING SOLUTIONS
 STEEL FRAMED STRUCTURES 7.5 MAX
 SKILLION SHED CONSTRUCTION
 STEEL CONNECTION DETAILS SHEET 2**

Designed by: E.D. ED Accreditation Number: CC164C Date: June '15

Scale:
 N.T.S
 Job No.
 RAINB - 7.5
 Drawing No. Rev.
S12A 0

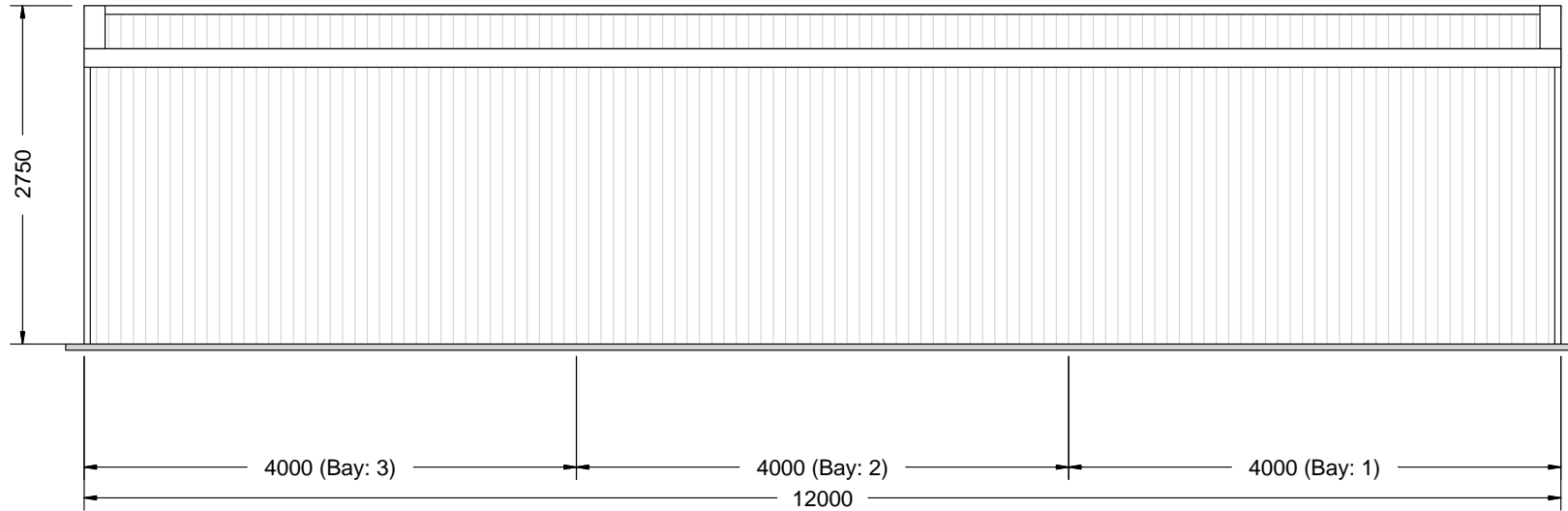


FRONT ELEVATION

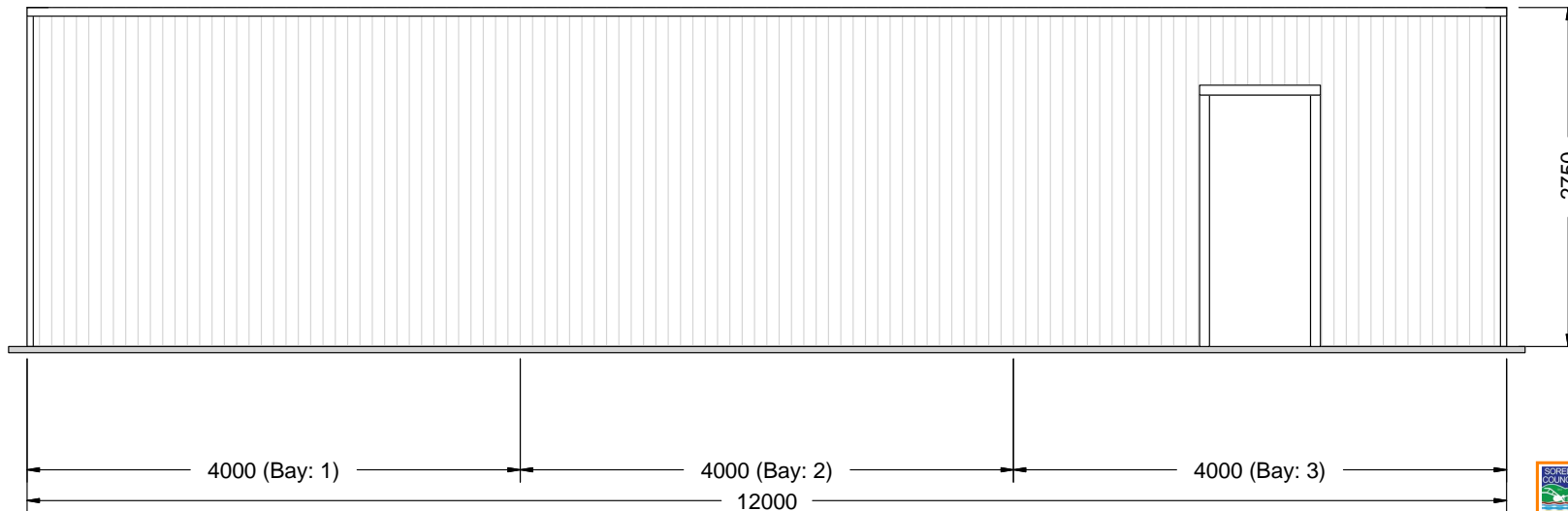


REAR ELEVATION


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LEFT ELEVATION



RIGHT ELEVATION

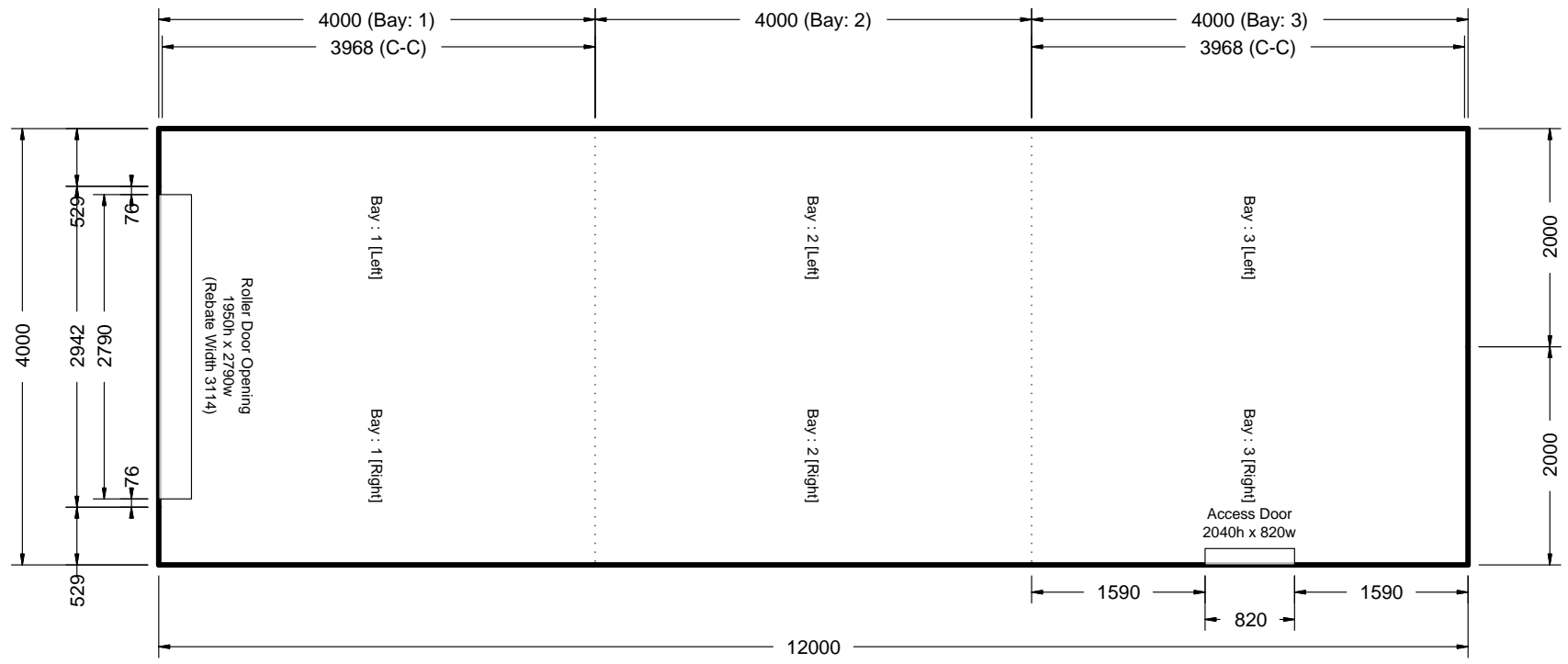

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139 Main Road,
 Sorell TAS 7172
 Phone: 1300 737 910
 Email: sales@rainbowbuilding.com.au

CLIENT: Robert McLeod
SITE ADDRESS: 4 Rantons Road, DODGES FERRY, TAS, 7173
PHONE:
EMAIL: robbiemc_1983@hotmail.com

DRAWING TITLE: Side Elevations
SCALE: 1:59.466
DATE: 04-09-2023
Job Number: SOR03_610
Drawing Number: SE





PLAN ELEVATION

 **Sorell Council**

Development Application: Development
Application - 4 Rantons Road, Dodges Ferry.pdf

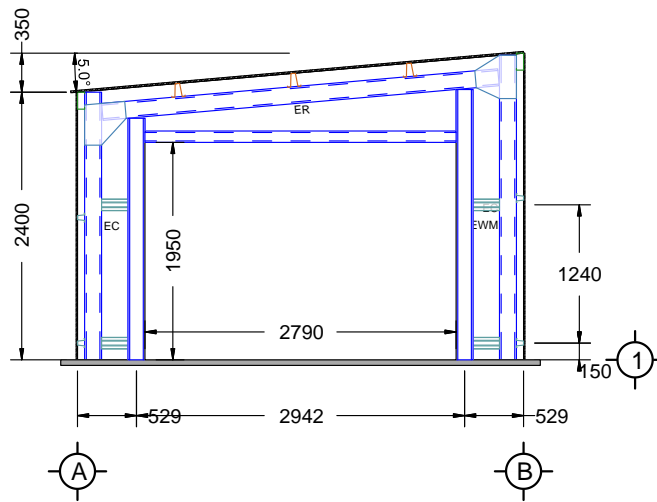
Plans Reference:P1
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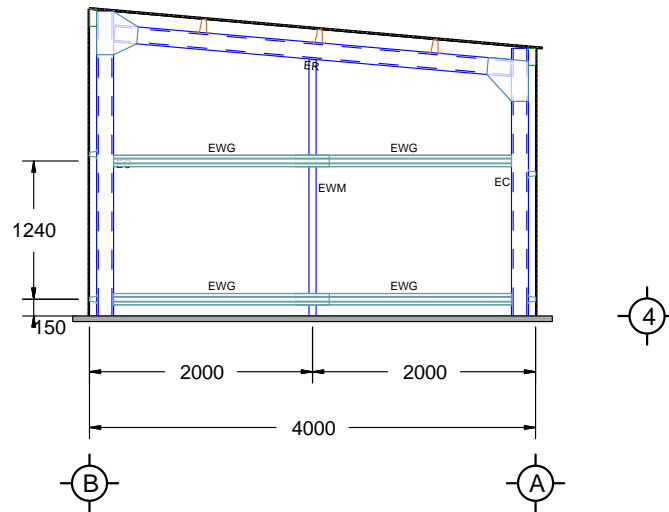
CLIENT: Robert McLeod
SITE ADDRESS: 4 Rantons Road, DODGES FERRY, TAS, 7173
PHONE:
EMAIL: robbiemc_1983@hotmail.com

DRAWING TITLE: Plan Elevation
SCALE: 1:63.654
DATE: 04-09-2023
Job Number: SOR03_610
Drawing Number: FPE



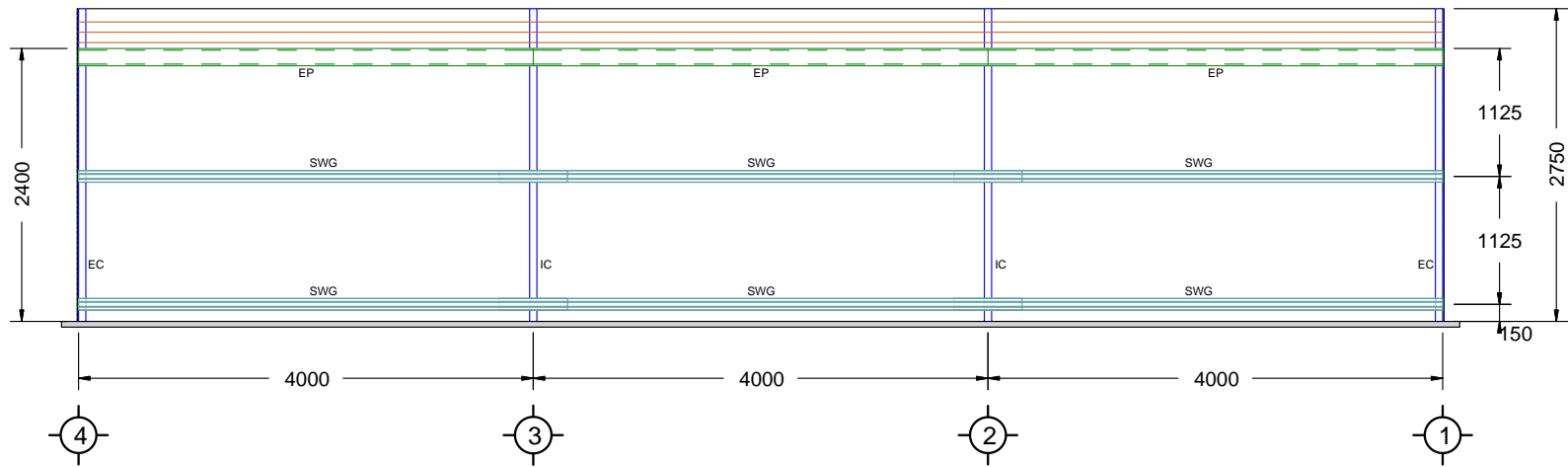


FRONT ELEVATION

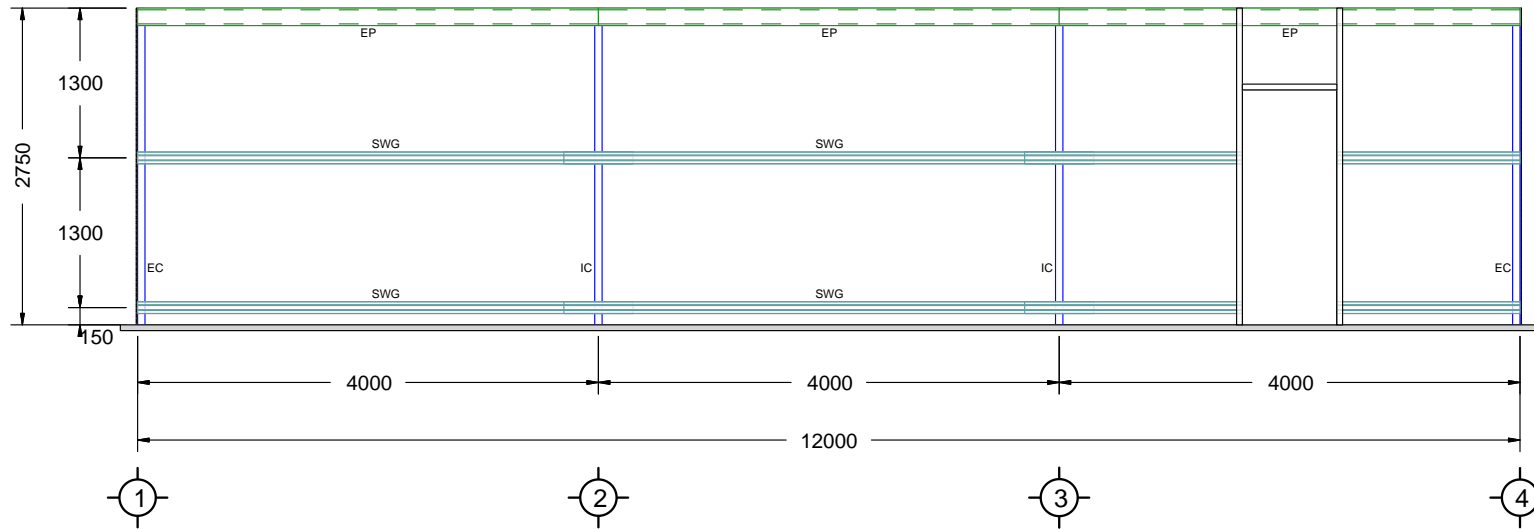


REAR ELEVATION


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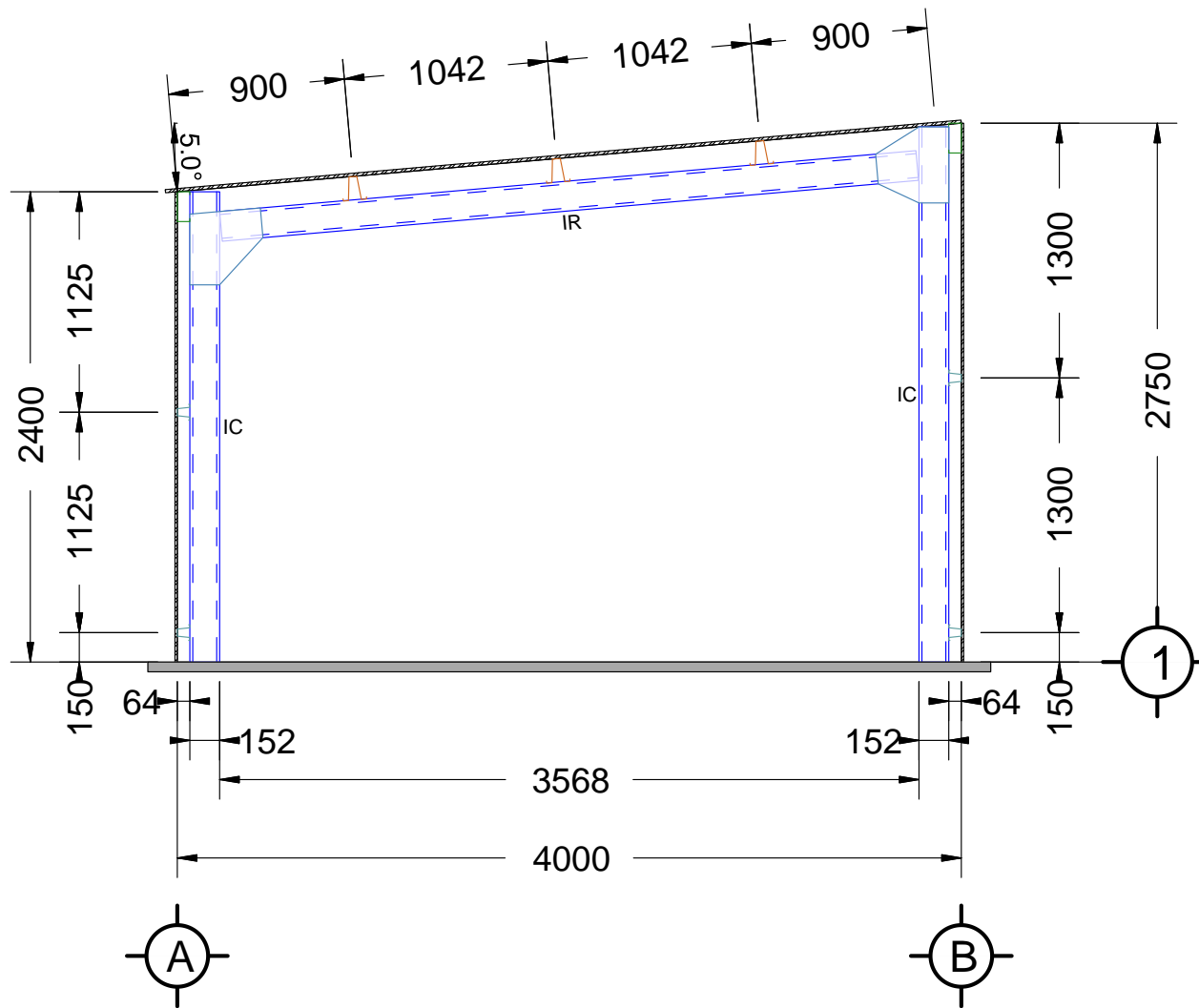


LEFT ELEVATION



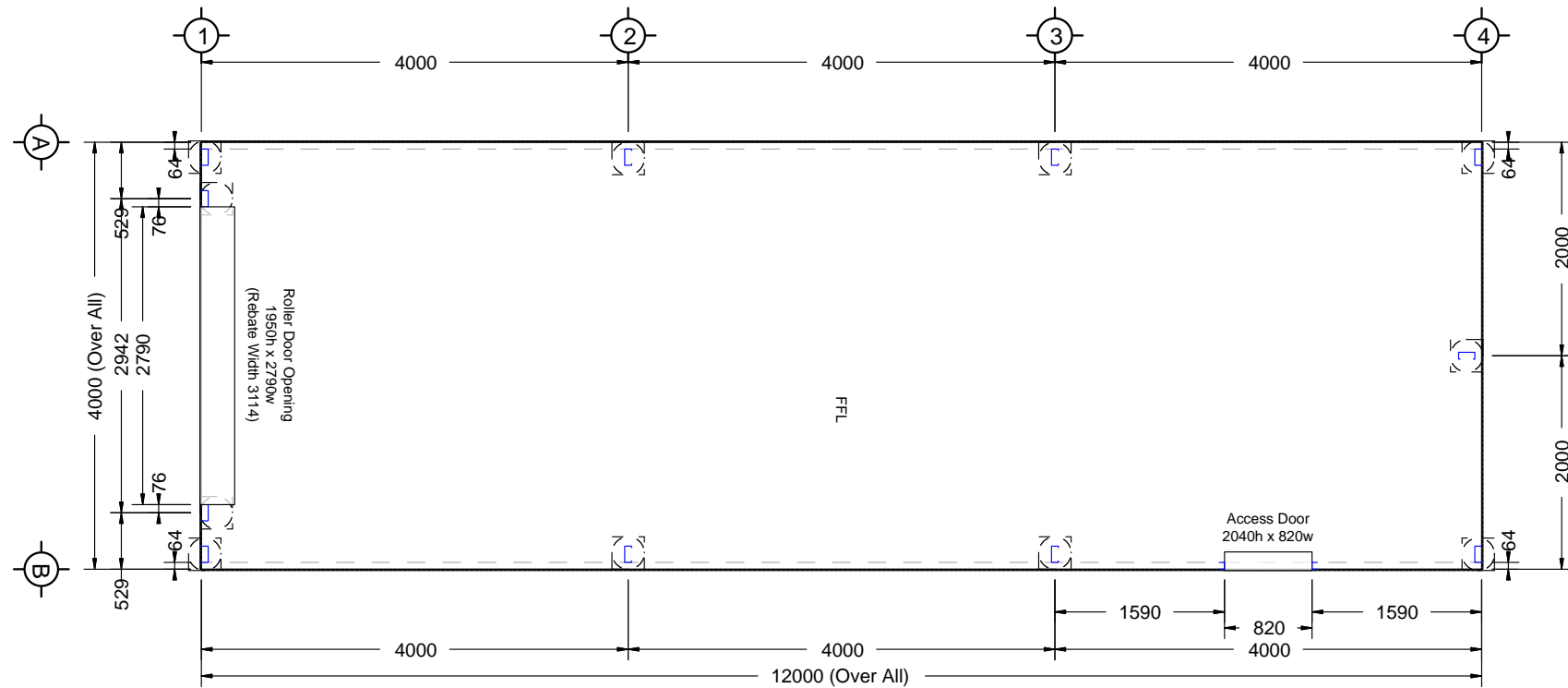
RIGHT ELEVATION


Sorell Council
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INTERMEDIATE ELEVATION


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FLOOR PLAN

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CLIENT: Robert McLeod
SITE ADDRESS: 4 Rantons Road, DODGES FERRY, TAS, 7173
PHONE:
EMAIL: robbiemc_1983@hotmail.com

DRAWING TITLE: Floor Plan
SCALE: 1:65.401
DATE: 04-09-2023
Job Number: SOR03_610
Drawing Number: FP

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Ferry, Tasmania
oogle Street View



3



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